

City of Ryde
Development Control Plan 2014

Part: 5.3
Tyrell Street, Gladesville, Character Area

Translation

ENGLISH

If you do not understand this document please come to Ryde Civic Centre, 1 Devlin Street, Ryde Monday to Friday 8.30am to 4.30pm or telephone the Telephone and Interpreting Service on 131 450 and ask an interpreter to contact the City of Ryde for you on 9952 8222.

ARABIC

إننا نعتذر عليك فهم محتويات هذه الوثيقة، نرجو للحضور إلى مركز بلدية رايد Ryde Civic Centre على العنوان: 1 Devlin Street, Ryde 1 من الاثنين إلى للجمعة بين الساعة 8.30 صباحاً والساعة 4.30 بعد الظهر، أو الاتصال بمكتب خدمات للترجمة على الرقم 131 450 لكي تطلب من أحد المترجمين الاتصال بمجلس مدينة رايد، على الرقم 9952 8222، نيابة عنك.

ARMENIAN

Եթե այս գրությունը չէք հասկնար, խնդրեմ եկե՛ք՝ Բայր Սիվիք Սենթըր, 1 Տելվին փողոց, Բայր, (Ryde Civic Centre, 1 Devlin Street, Ryde) Երկուշաբթիէն Ուրբաթ կ.ա. ժամը 8.30 – կ.ե. ժամը 4.30, կամ հեռաձայնեցե՛ք Հեռաձայնի եւ Թարգմանություն Սպասարկության՝ 131 450, եւ խնդրեցե՛ք որ թարգմանիչ մը Բայր Քաղաքապետարանին հետ կապ հաստատուի ձեզի համար, հեռաձայնելով՝ 9952 8222 թիվին:

CHINESE

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FARSI

اگر این مدرک را نمی فهمید لطفاً از 8.30 صبح تا 4.30 بعد از ظهر دوشنبه تا جمعه به مرکز شهرداری رايد، Ryde Civic Centre, 1 Devlin Street, Ryde مراجعه کنید یا به سرویس مترجم تلفنی، شماره 131 450 تلفن بزنید و از یک مترجم بخواهید که از طرف شما با شهرداری رايد، شماره 9952 8222 تلفن بزند.

ITALIAN

Se non capite il presente documento, siete pregati di rivolgervi al Ryde Civic Centre al n. 1 di Devlin Street, Ryde, dalle 8.30 alle 16.30, dal lunedì al venerdì; oppure potete chiamare il Telephone Translating and Interpreting Service al 131 450 e chiedere all'interprete di contattare a vostro nome il Municipio di Ryde presso il 9952 8222.

KOREAN

이 문서가 무슨 의미인지 모르실 경우에는 1 Devlin Street, Ryde 에 있는 Ryde Civic Centre 로 오시거나 (월 – 금, 오전 8:30 – 오후 4:30), 전화 131 450 번으로 전화 통역 서비스에 연락하셔서 통역사에게 여러분 대신 Ryde 시청에 전화 9952 8222 번으로 연락을 부탁드립니다.

Amend. No.	Date approved	Effective date	Subject of amendment

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1.0 INTRODUCTION

1.1 Land to Which this Part Applies

This Part applies to the land shown edged by a thick black line on the map marked "Tyrell Street Character Area".

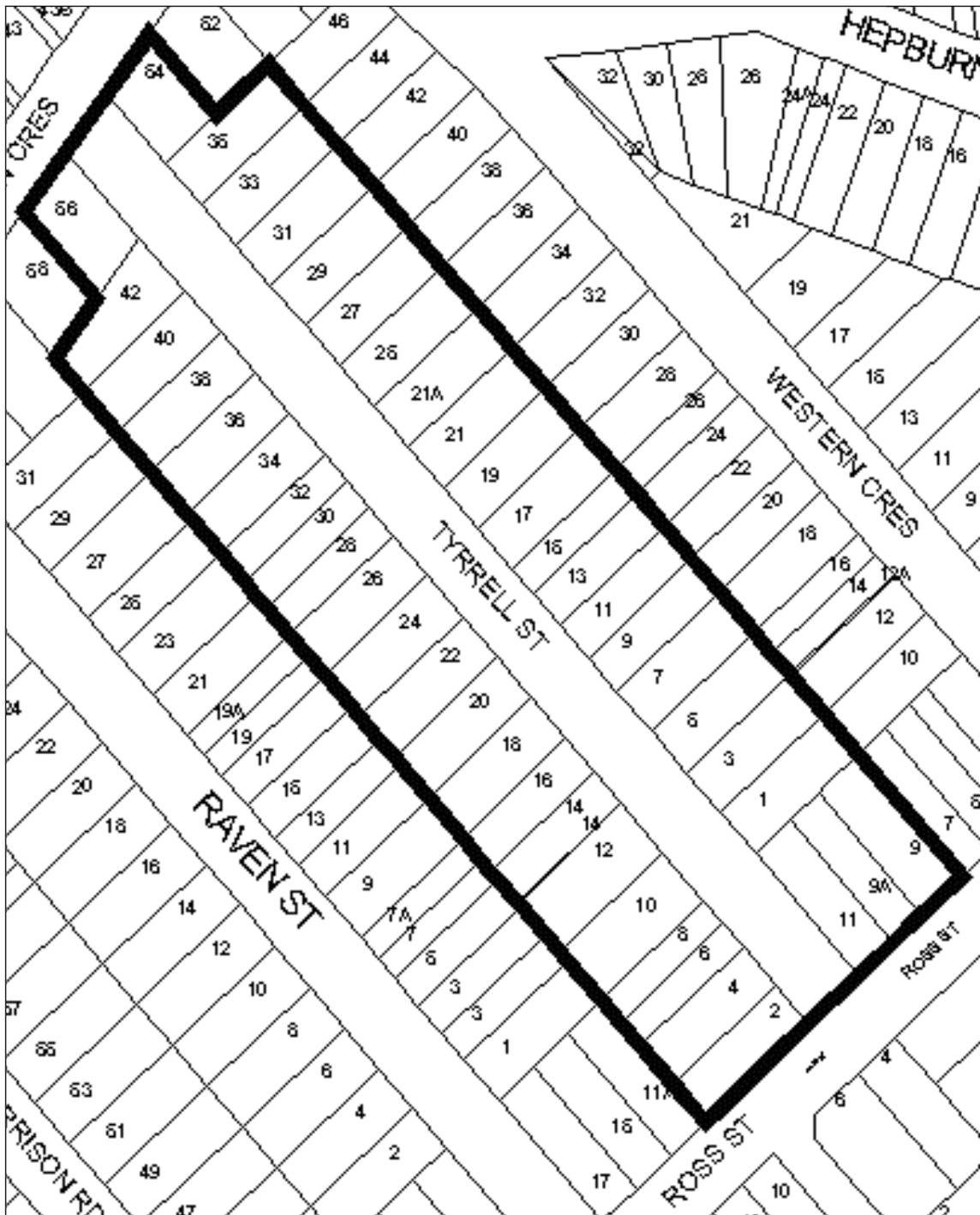


Figure 5.3.01 Tyrell Street Character Area

1.2 Background

This Part provides objectives, controls and guidelines to ensure the retention and enhancement of existing built and natural elements that contribute to the character, while allowing for sympathetic changes which meet the needs of the contemporary community.

The objectives and controls in this part were developed following extensive consultation with residents and owners of property in the area and included a survey, community workshops and meetings.

1.3 Objectives

The objectives of this Part are:

1. To conserve and enhance the positive characteristics and high amenity of the Tyrell Street Area.
2. To identify buildings and other elements that make a positive contribution to the character of Area.
3. To provide for future development that is sympathetic to the character of the Area.

1.4 Contributory Items

Buildings and other elements within the Area are of special value because collectively they contribute to the positive characteristics. Each property within the Area has been noted according to the contribution it makes. The properties are nominated as “highly contributory”, “contributory” or “uncharacteristic”. The relevant definitions are below.

Highly Contributory Items

These items display most of the important characteristics of the Area. They have a collective significance and their retention is essential if the character of the area is to be kept.

Contributory Items

These items generally display use of characteristic compatible forms, materials, and other characteristic features that contribute to the area as a whole, but to a lesser extent than highly contributory items. Alterations to contributory items should aim to make them highly contributory items.

Uncharacteristic Items

These items display qualities that detract from the character of the area. They are not to be considered as a precedent for new work when assessing the merit of an application.

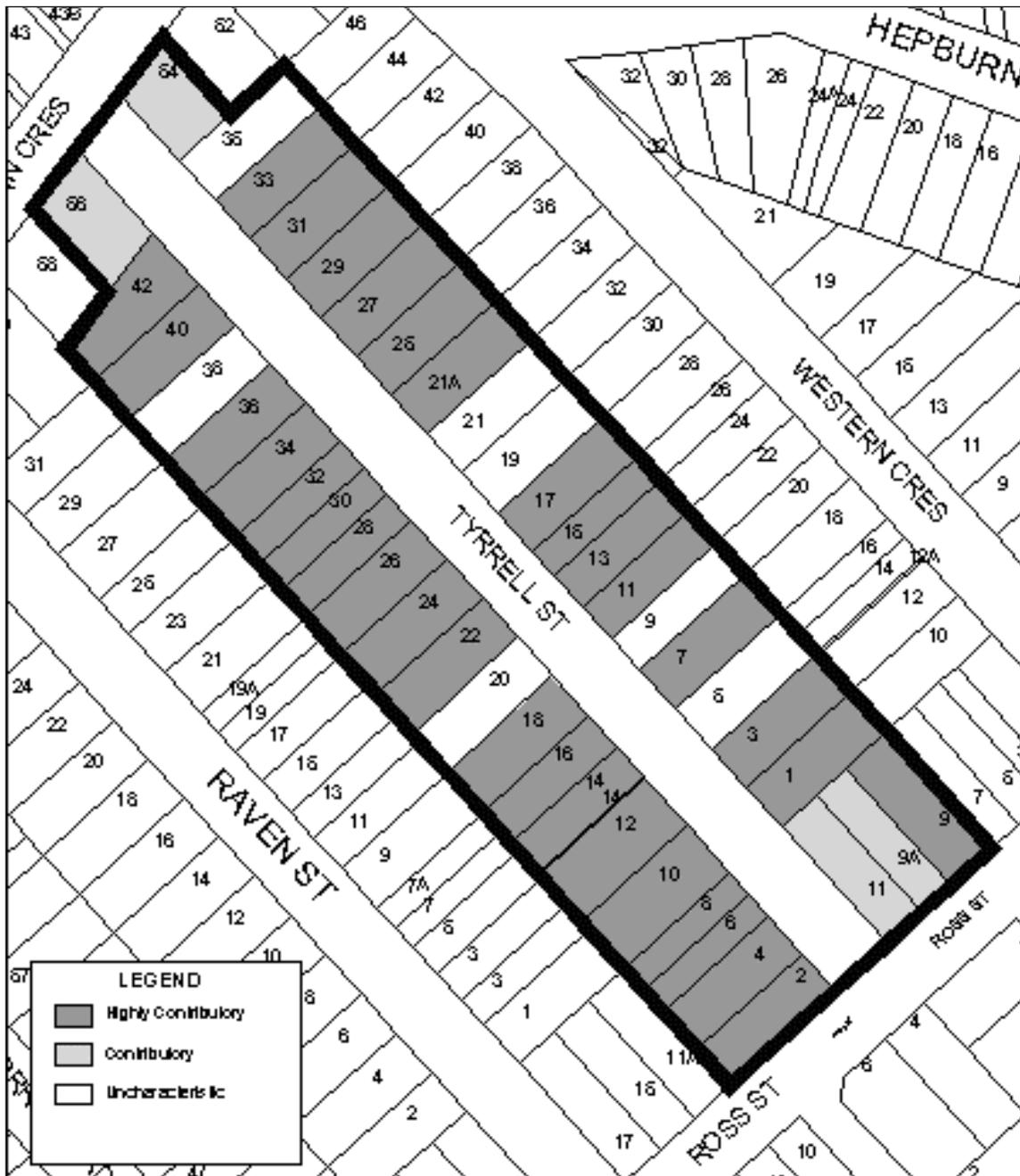


Figure 5.3.02 Contributory Items Map

2.0 TYRELL STREET - THE PLACE

2.1 History

The Area was originally part of land granted to Mrs Thompson in the Eastern Farm area. This locality had been settled as farm land by ex-convicts to provide food for the growing colony.

The Tyrell Street Area was part of the Gladesville Park subdivision created in 1886 and offered for sale in the same year. The opening of the Gladesville Bridge in 1881 and Iron Cove bridge in 1882 increased the desirability of the area. Gladesville village had grown up around the Great North Road and in 1887 Gladesville consisted of a public school, a church, two hotels and a post office and a few small residences.

Tyrell Street is named after William Tyrell, a convict on the First Fleet. In 1792, with his wife Ann and son George, he moved onto the land granted to him in the Eastern Farms district. One of his blocks was to the north of the present day Tyrell Street.

Despite the creation of a subdivision towards the end of the 19th century, building in the street did not commence until after the start of the tram service to Gladesville in 1910. The tram provided convenient access to the city and other places of employment. *Sands Directory* shows only one person living in the street in 1910. A large amount of building work appears to have occurred between 1912 and 1918, interestingly the years of WW1. By 1924 *Sands Directory* shows that there were 26 houses in the street, 12 on the north side and 14 on the south side.

The Area retains its historical residential use of detached housing. Many of the lots from the original subdivision survive, although some of the lots have been subdivided again. The historical pattern of subdivision and detached housing has established a pleasing rhythm of houses and gardens. Many properties, while not individually outstanding, still make an important contribution to the character of the Area.

2.2 Description of the Area

Tyrell Street has a gentle slope from Ross Street to Western Crescent. The land on the northern side of the street is relatively flat while the land on the southern side falls to the south.

The houses in the Character Area are generally single-storey moderate sized suburban bungalows with fairly consistent street setbacks.

The Area reflects the traditional preference of Australians for single family houses and provides a diverse range of house sizes from relatively small homes to large family homes. There are no villa developments.

The residences, although of different styles, are relatively homogeneous in their single storey scale, form, attention to detail and materials, although there are a few large double storey homes are not consistent with the general character of the Area. The predominant materials are face brick walls, painted timber weatherboard, terracotta tile roofs and timber windows and doors.

The attractive private front gardens make an important contribution to the streetscape. Garages are generally located behind the houses, although some properties without side driveways have carports or car standing area in the front garden. There is a variety of front fences although most are low.

The Area is well served by local facilities being within walking distance of Gladesville shops and public transport along Victoria Road.

2.3 Positive Characteristics

The following set of Positive Characteristics define the Area and should be conserved and used as a tool in decision making.

A consistent streetscape in terms of:

- siting of dwellings;
- dwelling setbacks;
- landscaped front yards with trees;
- building form, bulk and setbacks;
- garage location;
- materials and colours; and
- wide verges with trees.

Houses are generally consistent in style and materials and display the key features of their architectural style, including:

- single storey;
 - set above grade on piers often with a stone foundation;
 - roofs of similar heights;
 - gabled or hipped roofs with a 30 – 40% roof pitch;
 - slate or terracotta tiled roofing materials;
 - large simple planes for the roof and walls;
 - made of face brick relieved by stucco or timber detailing;
 - set in an extensive, landscaped garden;
 - contain a porch (i.e. a verandah with low parapet walls);
 - garages located to the rear and only partly visible from the street;
 - contain side landscaping;
 - dwellings generally framed by vegetation;
 - vertically - oriented windows set in groups, often aggregated into a square shape; and
 - low front fences, or walls or hedges.
- A high level of amenity, i.e. many elements that make the Area an attractive and pleasant place to live in.

3.0 STRATEGY AND DEVELOPMENT CONTROLS

3.1 The Strategy

The objectives of this Part are to be achieved through the following strategies:

1. elements that comply with or complement the Positive Characteristics of the Area are to be retained;
2. highly contributory and contributory buildings are to be retained, but inconspicuous additions to the rear may be acceptable;
3. new buildings, alterations and additions to existing buildings are to comply with or complement the Positive Characteristics of the area; and
4. neutral or uncharacteristic items may be demolished or altered.

3.2 Building Form and Scale

The distinctiveness of many older buildings is found in the way larger volumes are broken down into smaller volumes by means such as verandahs, stepping roofs and walls, decorative details and variation in materials. The texture and shadow of verandahs, for example, provide an attractive contrast to the solidity of the brick dwellings.

New development should maintain and enhance the character of the Area by responding appropriately to the surrounding positive elements. However, new dwellings and alterations and additions to existing buildings do not need to replicate or mimic traditional styles.

New buildings and alterations and additions to existing buildings should be compatible with the character of the Area, the immediate streetscape context and with the building to which they belong. All development should enhance the contribution the dwelling makes to the Area.

Dwellings tend to be economically, but elegantly designed and detailed. Roofs present a simple, uncluttered silhouette to the skyline.

Objectives

1. To ensure new development is compatible with the form, scale and massing of contributory buildings.
2. To ensure new development visible from the street complements the Positive Character as defined in 2.3 above.

Controls

- a. New development is to reflect height of existing buildings:
 - i. Foundation at front building line: 0.3 m minimum to 0.75 m maximum above ground level (existing);
 - ii. Floor to ceiling: 2.7 m minimum to 3.0 m maximum; and
 - iii. Original main roof ridge line 4.6 m – indicative height.
- b. Extensions to the roof may be 1.5 m higher than the original main roof line, providing it is set back so that at least 50% of the original roof area remains the dominant feature from the street. The extension is to be set behind the front ridge line and verandah roofs and the like must be retained. The verandah roof area is not to be included in calculating the roof area.

- c. While new development should have a simple design, it must be broken into smaller sections similar to those in the Area, e.g. by including a porch.
- d. Visibility of additions and garages from the street must be minimised, e.g. by setting them in the rear of the block.

Guidelines

- Second storey additions to contributory buildings are not encouraged. It is preferred that attic space be created within the existing roofline, where possible.
- Existing rooflines may be extended to the rear and dormers may be added to the extension, provided they do not impact negatively on the streetscape and the character of the house. In particular, the roof silhouette should remain.
- Additions at the side of the house may be acceptable, providing they are setback a minimum of 5 metres from the building line and softened by vegetation.

Variations

Major variations may be approved depending on their merit as assessed by an architectural panel selected by the City of Ryde.



Figure 5.3.03 Photograph of the streetscape showing the predominant single storey scale.

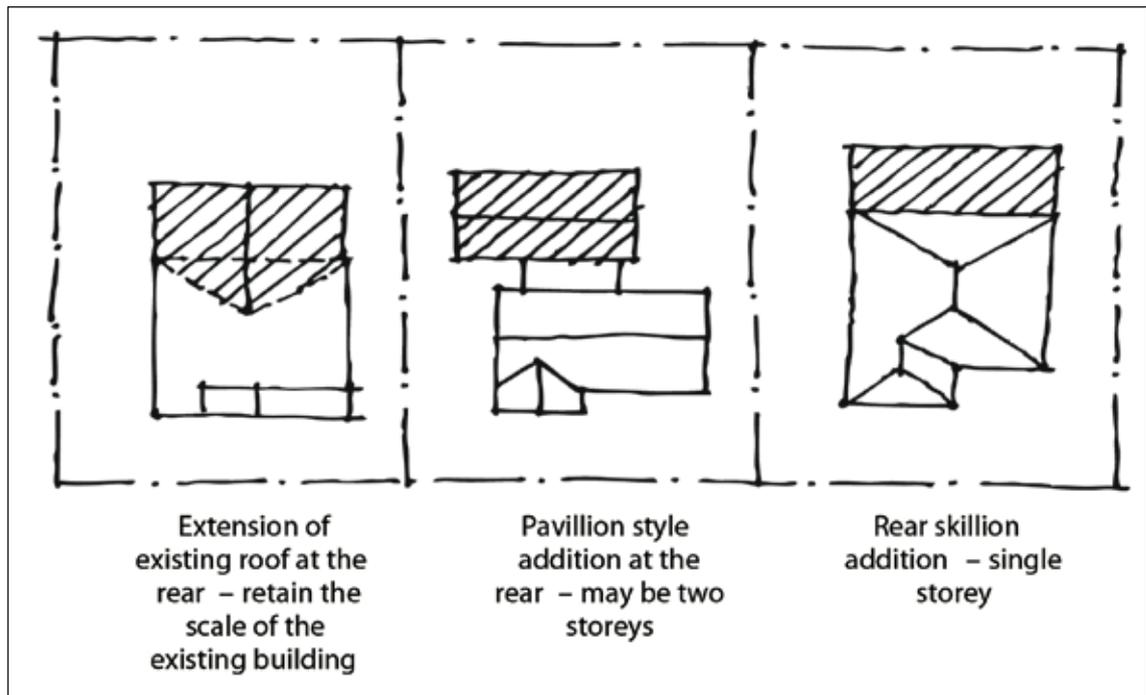


Figure 5.3.04 Siting of Additions

3.3 Building Details

Building details provide visual interest and assist in defining the character of the dwelling and then of an area. Building elements such as timber doors and windows and the decorative timber work of verandahs adds visual interest and individual character to dwellings.

Objectives

1. To ensure that the facades of buildings reflect the detailing and architectural style of the Area.
2. To ensure that new work has a level of detailing compatible with contributory buildings.
3. To encourage the conservation of original facades.

Controls

- a. Building details must be used to provide visual interest, texture and contrast.
- b. The front facades of new dwellings must contain the following:
 - i. walls with more than 50% of solid wall;
 - ii. walls with solid corners;
 - iii. individual windows with vertical proportions; and
 - iv. a porch.
- c. Solar panels and skylights are to be located so that they are not visible from the street.

Guidelines

- Where porches are missing or enclosed, reconstruction to the original design is encouraged.
- Windows on the front facade should be wooden.

Variations

Major variations may be approved depending on their merit as assessed by an architectural panel selected by the City of Ryde.



Architectural features add visual interest and help promote the main street facade.

Figure 5.3.05 Photograph taken 1917 of number 22 Tyrell Street showing the original house when built. The reinstatement of original architectural details to front facades is encouraged. Note that the original front fence is not a picket fence.



Figure 5.3.06 An example of how visual bulk can be reduced by breaking down the volume of the building into different elements e.g. this example uses a porch and stepped front. Changes in materials also help reduce visual bulk.



Figure 5.3.07 Elements such as front porch can be used to break down massing as well as adding visual interest.

3.4 Roofs

The house roof is a dominant element in the Area and its shape and material add unity and contribute to the distinctive character of the area. Pitched roofs, both hipped and gabled, are the typical roof form in Tyrell Street. Roof forms are generally asymmetrical with portions of the main roof mass broken into smaller sections and other forms, e.g. gables.

The pitch of the roof varies with the style of building. Federation bungalows have more steeply pitched and complex roofs than later bungalows. There are no parapets or flat roofs in the street. Dormer windows are not characteristic of the Area, however they are characteristic of some building styles. Therefore it may be appropriate to provide additional accommodation within the roof space of steeply pitched roofs by adding a dormer. Lower pitched roofs are generally not suitable for additions in the roof.

The decorative features of the roof such as chimneys and ridge cappings, especially when seen against the sky, make significant contribution to the character of the Area.

Objectives

1. To conserve and enhance the original roof characteristics in the Area.

Controls

- a. New roofs, unless rear skillion roofs, are to be gabled (with a gable facing the street) or hipped.
- b. New roofs, unless rear skillion roofs, are to be pitched between 30 and 40 degrees.
- c. All eaves must have at least 500 mm of overhang.
- d. Unless on a Federation style building, new roofs should have a dominant, large, simple roof plane facing the street.
- e. Roof extensions should be compatible with the original roof and should have the same slope.

Guidelines

- Additional accommodation may be provided within the roofline.
- Dormer and 'eyelid' dormers may be used, depending on their visual impact on the building and the streetscape.
- Dormers should not be set in roofs with less than a 35 degree slope.
- Dormer ridge line should be set a minimum 600 mm below the roof ridge line.
- Dormers should not obscure the original chimneys.
- Skillion roofs may be appropriate at the rear of buildings where the roof will not be visible from the street.



Figure 5.3.08 A common roof form in the street is a simple hipped roof with an asymmetrical stepped gable in front. The chimneys add visual interest. There is a variety of gable and chimney forms.

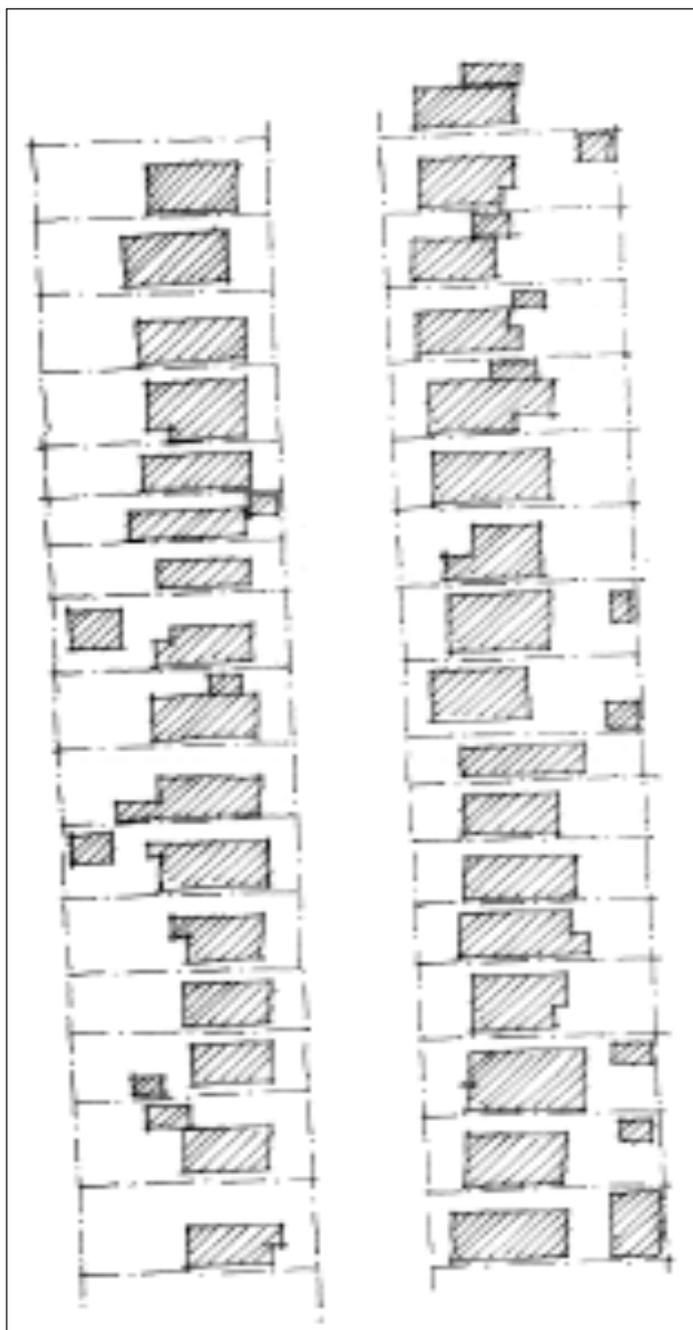
3.5 Building Siting

The siting of houses in Tyrell Street is generally uniform. The front setback of houses from the street on the northern side of Tyrell Street is typically greater than those on the southern side. The front setback in the Area is approximately 6 metres.

The established gardens within this front setback make an important contribution to the garden character of the Area.

Objectives

1. To conserve and enhance the original pattern of dwelling setbacks.
2. To conserve and enhance the distinctive garden setting.



Controls

- a. New dwellings are to be free-standing in a garden setting.
- b. New dwellings are to present their main facade to the street and are to be sited parallel with the street boundary.
- c. The side setbacks are to be a minimum of 1.5 m on one side and 4.0 m on the other extending at least 5.0 m past the building line, where it may be reduced to 1.0 m.
- d. Side setbacks on corner blocks shall be 4 metres on both street frontages.

Variations

Major variations may be approved depending on their merit as assessed by an architectural panel selected by the City of Ryde.

Figure 5.3.09
Diagram showing the pattern of development in Tyrell Street. Note the fairly consistent front setback and detached garages.

3.6 Car Parking

Garages, carports and off street car parking areas can have a dramatic effect on the character of the Area. Dwellings, not garages or car parks, should dominate the streetscape as they are more interesting architecturally and contribute more to the positive character of the streetscape.

The location and style of the garages/carports in Tyrell Street generally varies with the style of the house, but are generally located to the rear of the block.

Objectives

1. To ensure garages, carports and off street parking do not dominate the streetscape.

Controls

- a. Car parking structures must reflect the architecture of the dwelling.
- b. Garages must be set at least 5 metres behind the building line – preferably freestanding.
- c. Driveways are to be single width.
- d. Driveways are to be concrete wheel strips or brick paving.
- e. Car parking structures are to accommodate important landscape elements, like trees.

Guidelines

- Car parking structures should be simple in design.
- Car parking structures should be softened by vegetation, preferably screened by low shrubs and medium sized trees.
- Hard-stand parking areas in front of the building line are not encouraged.
- Driveways should be concrete or brick strips or gravel.
- Carports may be permitted if they are set at least 2.0 m behind the front face of the building.

Variations

Major variations may be approved depending on their merit as assessed by an architectural panel selected by the City of Ryde.

Note: In the case of properties number 11, 13, 15, 28, 30, 32 Tyrell Street and 9A Ross Street, carports (but not garages) in the front of the building line are allowed so long as they reflect the style of the building which they front and character of the area.

Garage and carport locations



Figure 5.3.10 Garages must be set a minimum of 5 m behind the front facade

Note: The garage has limited visual impact on the street because of vegetation and is accessed by a single width driveway.



Figure 5.3.11

The garage has higher visibility from the street due to the lack of screening vegetation. But its impact is less than if it were situated on the building line.

Note: the grassed section between the wheel strips.

3.7 Materials and Colours

Materials and colours provide an important unifying element for the area. The predominant materials within Tyrell Street include face brick, rendered surfaces such as stucco, terracotta tiles and timber joinery. Several buildings also have painted timber weatherboards.

New dwellings and alterations/additions to existing dwellings are encouraged to use materials and finishes that are consistent with the predominant traditional materials and colours schemes of the existing houses of the area.

Objectives

1. To ensure new development complements the existing character materials and colour.

Controls

- a. Materials, finishes and colours on contributory buildings are to match the existing where possible.
- b. New roofing is to be slate or terracotta tiles.
- c. The majority of new external walls is to be face brick in a dark red or similar, to match existing, or as is compatible with the brickwork of contributing buildings.
- d. An external finishes and colour schedule is to be submitted with the development application.

Guidelines

- Original materials should be reused if practicable.
- Doors and windows facing the street should be wooden.
- External colour schemes are to complement the brickwork.
- Painted timber weatherboards are acceptable.
- Originally unpainted finishes such as face brickwork and stonework should not be painted, bagged or rendered.

Variations

Major variations may be approved depending on their merit as assessed by an architectural panel selected by the City of Ryde.



Figure 5.3.12 There are several weatherboard houses in the street.

Note: The characteristic tiled roof and variety of materials.



Figure 5.3.13 Face brickwork is a common external finish. Timber windows, coloured glass, and timber verandah posts and detailing are also characteristics of the houses in the street.

3.8 Gardens

The front gardens make an important contribution to the streetscape and the character of the area. In the Tyrell Street Area the garden elements include mature specimen trees, defined garden beds, front fences, gates, paths and lawns. The Area also has a variety of fences and walls. They are low enough to allow the gardens to be highly visible from the street.

Objectives

1. To encourage the retention and enhancement of the garden setting.
2. To ensure new gardens reflect the character of existing gardens.
3. To conserve original garden elements, like walls and hedges.

Controls

- a. A front garden is to be provided and shall contain:
 - i. Lawn;
 - ii. Shrubs; and
 - iii. Tree(s).
- b. Hard paving is to be restricted to paths and driveways and must be of a minimum width, i.e. driveway of 2.4 m and path of 1.2 m.
- c. The front boundary is to be marked by either a wall or fence or hedge no more than 750 mm in height and are to complement the architectural features of the house.
- d. A side fence is to be provided to at least the building line.
- e. All mature or semi-mature trees in the front and side gardens are to be kept.
- f. Where existing landscaping is minimal, additional plantings must occur to soften and frame the buildings.

Guidelines

- Garden style should be informal, curvilinear or freeform rather than rectangular and architectural.

Variations

Major variations may be approved depending on their merit as assessed by a landscape architect selected by the City of Ryde.



Figure 5.3.14 Front gardens characterised by lawns, garden beds and specimen tree planting and low front walls provide an attractive setting for the houses and make a positive contribution to the streetscape.

3.9 Street Elements

The streetscape is made up of many elements, such as street trees and grassed verges, which together determine its character. Incremental removal of elements would lead to a loss of character.

Objective

1. To conserve and enhance the positive character of the streetscape.
2. To conserve and enhance the existing level of streetscape amenity.

Controls

- a. The existing footpath configuration of a wide grass verge with a narrow footpath must be retained.
- b. Driveway footpath crossings must be single car width and one driveway only per property.
- c. Street trees are to be provided on the verge of each property.

Guidelines

- Locations and species of street trees to be determined with Council's Landscape Assessment Officer.

Variations

None.

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Civic Centre
1 Devlin Street
Ryde NSW 2112

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