

SHEPHERDS BAY URBAN RENEWAL, MEADOWBANK

Concept Approval MP09_0216 - MOD 1
DA STAGE 4 & 5

ROBERTSON + MARKS

FOR HOLDMARK PROPERTY GROUP PTY LTD
December 2014

 **HOLDMARK**

ground floor 11-17 buckingham st surry hills sydney australia 2010
t 61 2 9319 4388 f 61 2 9319 7330 e mail@marks.net.au www.marks.net.au
RGM.ARCH DAVID MAYES 3195 JOHN RYAN 3181 BRIAN MANN 3175 ANDREW SCARVELL

A S 4 5 S L	
S	S N
N	REV

DA:45:000:A	STA:4:5
DA:45:001:A	STA:4:5 SIT PLAN
DA:45:100:A	STA:4:5 BAS:MENT 3
DA:45:101:A	STA:4:5 BAS:MENT 2
DA:45:102:A	STA:4:5 BAS:MENT 1
DA:45:103:A	STA:4:5 ROUND L
DA:45:104:A	STA:4:5 L 1
DA:45:105:A	STA:4:5 L 2
DA:45:106:A	STA:4:5 L 3
DA:45:107:A	STA:4:5 L 4
DA:45:108:A	STA:4:5 L 5
DA:45:109:A	STA:4:5 L 6
DA:45:110:A	STA:4:5 L 7
DA:45:111:A	STA:4:5 L 8 R
DA:45:112:A	STA:4:5 L 9
DA:45:113:A	STA:4:5 CROO
DA:45:201:A	NORTH L
DA:45:202:A	SOUTH L
DA:45:203:A	STA:4:5 EAST L
DA:45:204:A	STA:5 EAST L
DA:45:205:A	STA:4:5 WEST L
DA:45:206:A	STA:5 WEST L
DA:45:301:A	SECTION STA:4:5
DA:45:302:A	STA:5 S
DA:45:303:A	STA:5 S
DA:45:304:A	STA:4:5 S
DA:45:305:A	STA:4:5 S
DA:45:501:A	STA:4:5 S
DA:45:502:A	STA:5 S
DA:45:600:A	STA:4:5 SHADOW DI
DA:45:701:A	STA:4:5 INTERIOR FINISH
DA:45:801:A	STA:4:5 Am
DA:45:802:A	STA:4:5 Am
DA:45:803:A	STA:4:5 Am
DA:45:804:A	STA:4:5 Am
DA:45:805:A	STA:4:5 Am
DA:45:806:A	STA:4:5 Am

P4&5 PARKING SCHEDULE	
Type	Count
P4&5 Basement 1	
Single Disable	19
Single Space	157
Tandem Front	18
Tandem Rear	18
Visitor Space	59
P4&5 Basement 2	
Single Disable	31
Single Space	182
Tandem Disable	2
Visitor Space	45
P4&5 Basement 3	
Single Space	100
Tandem Front	8
Tandem Rear	8
Grand total:	647

P4&5 PARKING SCHEDULE Number of Slots	
Type	Count
P4&5 Basement 1	
Single Disable	19
Single Space	157
Tandem Front	18
Tandem Rear	18
Visitor Space	59
P4&5 Basement 2	
Single Disable	31
Single Space	182
Tandem Disable	2
Visitor Space	45
P4&5 Basement 3	
Single Space	100
Tandem Front	8
Tandem Rear	8
Grand total:	621

Unit MIX - Stage 4	
TYPE	Count
1B	59
1B+S	85
2B	54
2B+S	10
3B	7
Loft	11
Loft 2 Bed	2
Studio	6
	234

Unit MIX - Stage 5	
TYPE	Count
1B	65
1B+S	132
2B	53
2B+S	17
3B	6
Studio	4
	277

Unit MIX - Stage 4 & 5	
TYPE	Count
1B	124
1B+S	217
2B	107
2B+S	27
3B	13
Loft	11
Loft 2 Bed	2
Studio	10
	511



DA Submission

DEVELOPMENT APPLICATION
Concept Plan Approval
(MP 09_0216)
STAGE 4 & 5

ARCHITECT
ROBERTSON+MARKS
EST 1892
Ground Level 11-17 Buckingham St Surry Hills 2010 Australia
t: (+61) 2 9319 4388 e: mail@marks.net.au www.marks.net.au
BRIAN MANN 5975 • ANDREW SCARVELIS • MARCO O. ABBONDANZA

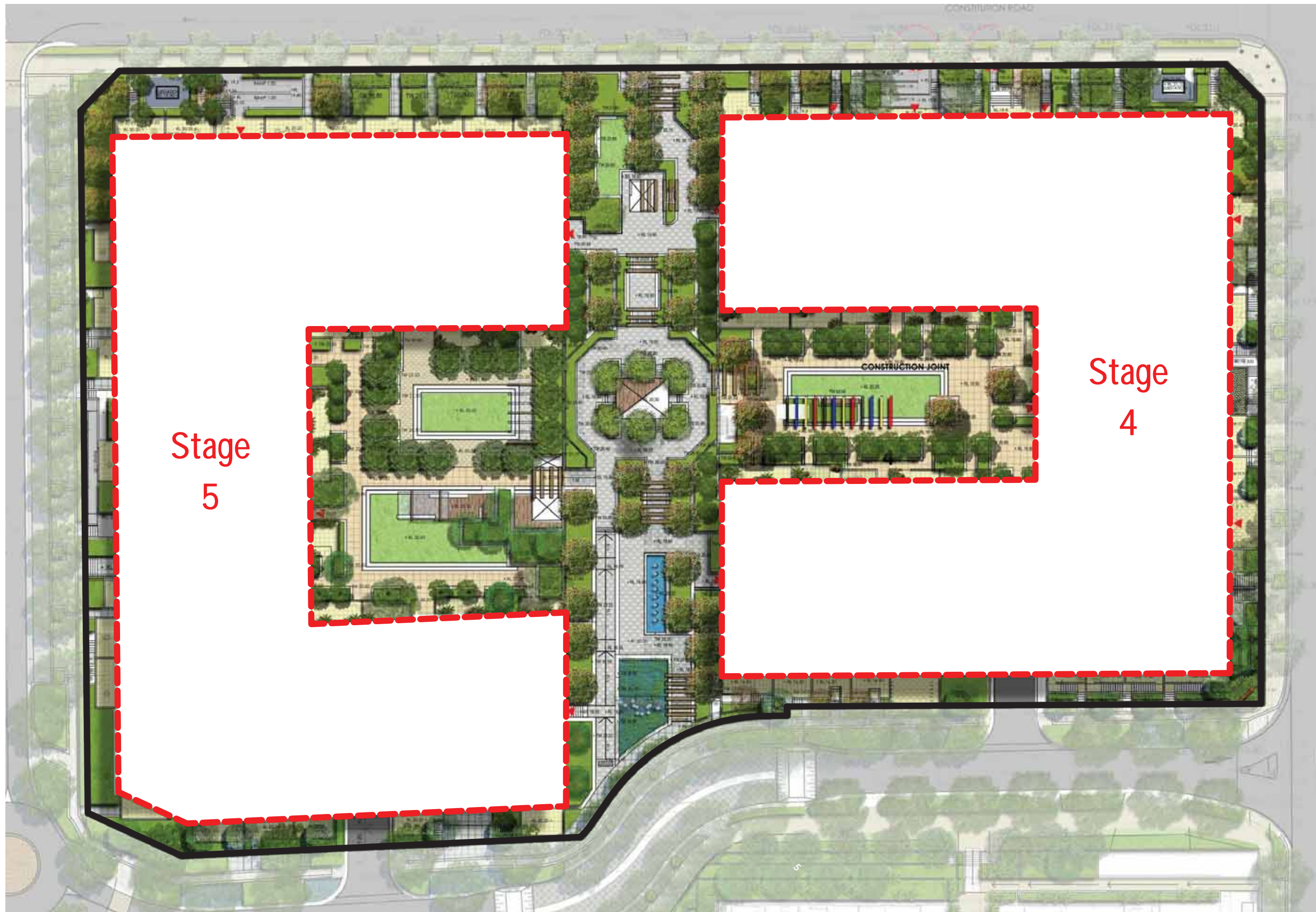
CLIENT
HOLDMARK
2/2-4 GIFFNOCK AV, MACQUARIE PARK NSW 2113
P: (02) 9889 5540 F: (02) 9888 5829
e: info@holdmark.com.au www.holdmark.com.au

NOTES
Dimensions - Contractors to check all dimensions on site prior to commencing construction.
Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
Internal layouts shown are indicative only for information purposes and are subject to further design development and change
Window mullions, if shown, are indicative only
Louvre panels, if shown, are indicative only
All dimensions and levels shown are approximate
Any finishes nominated are indicative only and subject to change
Articulations shown on the façade are indicative only and are subject to further design development and change
Storage allocations and areas are not necessarily shown on the drawings and are subject to change

REVISIONS			
Issue	Date	Description	By
A	19/11/2014	ISSU D OR DA	MM

TRUE NORTH & KEY PLAN
N
[Key Plan Diagram]

DRAWING TITLE
STAGE 4&5 - Cover Sheet
SCALE : @B1
DATE : Dec 1st - 2014
PROJECT # 10068-3
Drawing Number
DA-45-000/A
ROBERTSON+MARKS



----- APPROVED ENVELOPE

DA Submission

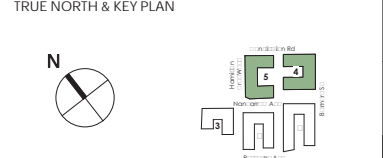
DEVELOPMENT APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 4 & 5

ARCHITECT
ROBERTSON+MARKS
 EST 1892
 Ground Level 11-17 Buckingham St Surry Hills 2010 Australia
 t: (+61) 2 9319 4388 e: mail@marks.net.au www.marks.net.au
 BRIAN MANN 5975 • ANDREW SCARVELIS • MARCO O. ABBONDANZA

CLIENT
HOLDMARK
 2/2-4 GIFFNOCK AV, MACQUARIE PARK NSW 2113
 P: (02) 9889 5540 F: (02) 9888 5829
 e: info@holdmark.com.au www.holdmark.com.au

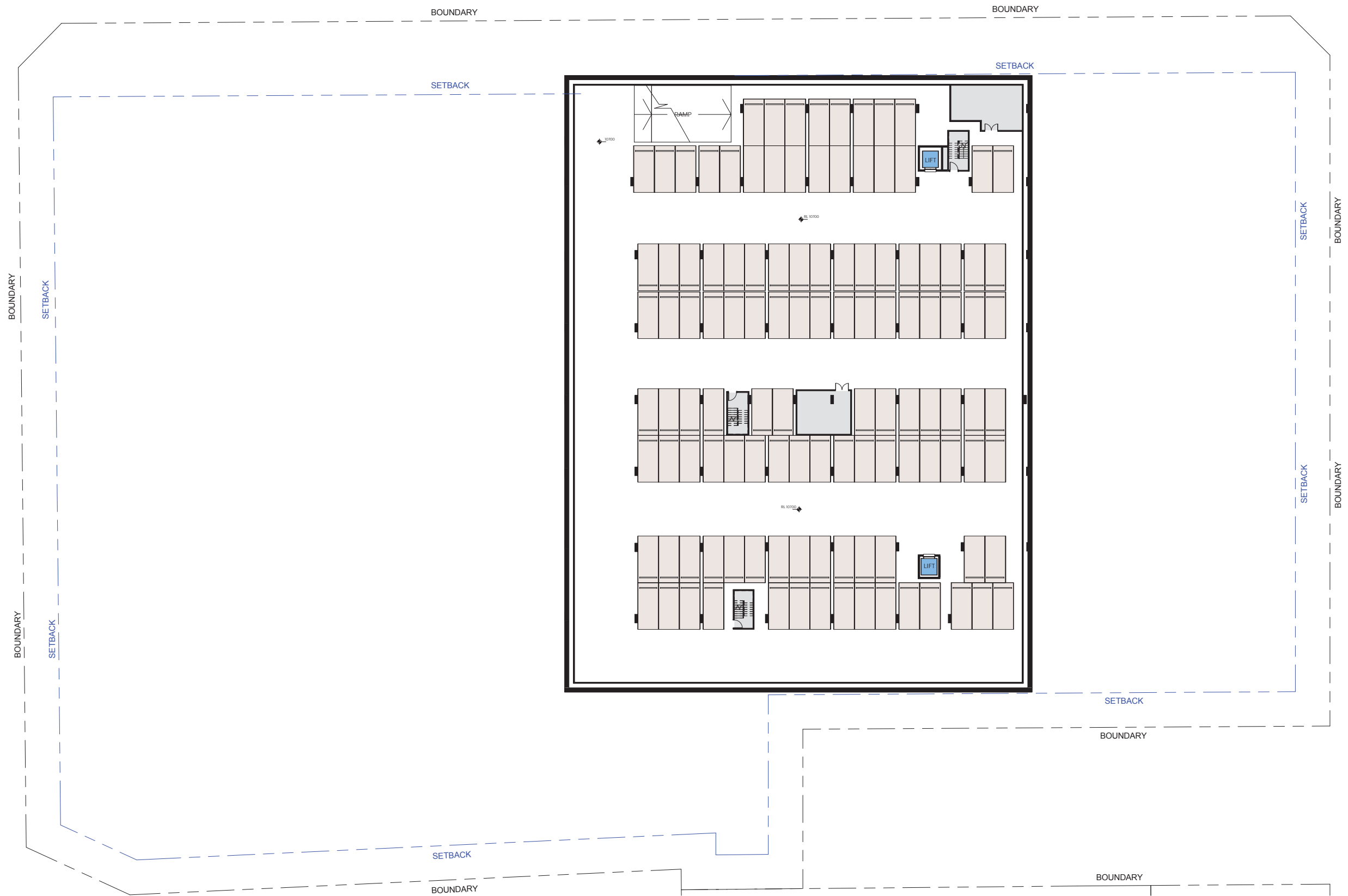
NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction. Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved. Internal layouts shown are indicative only for information purposes and are subject to further design development and change
 Window mullions, if shown, are indicative only
 Louvre panels, if shown, are indicative only
 All dimensions and levels shown are approximate
 Any finishes nominated are indicative only and subject to change
 Articulations shown on the façade are indicative only and are subject to further design development and change
 Storage allocations and areas are not necessarily shown on the drawings and are subject to change

Issue	Date	Description	By
A	19/01/2014	ISSU'D FOR DA	MM



DRAWING TITLE
STAGE 4&5 - SITE PLAN
 SCALE: 1:200 @B1
 DATE: 12/03/14
 PROJECT # 10068-3
 Drawing Number
DA-45-001/A

ROBERTSON+MARKS



DA Submission

DEVELOPMENT
APPLICATION
Concept Plan Approval
(MP 09_0216)
STAGE 4 & 5

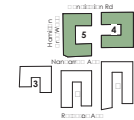
ARCHITECT
ROBERTSON+MARKS
EST 1892
Ground Level 11-17 Buckingham St Surry Hills 2010 Australia
t: (+61) 2 9319 4388 e: mail@marks.net.au www.marks.net.au
BRIAN MANN 5975 • ANDREW SCARVELIS • MARCO O. ABBONDANZA

CLIENT
HOLDMARK
2/2-4 GIFFNOCK AV, P: (02) 9889 5540
MACQUARIE PARK F: (02) 9888 5829
NSW 2113
e: info@holdmark.com.au www.holdmark.com.au

NOTES
Dimensions - Contractors to check all dimensions on site prior to commencing construction.
Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
Internal layouts shown are indicative only for information purposes and are subject to further design development and change
Window mullions, if shown, are indicative only
Louvre panels, if shown, are indicative only
All dimensions and levels shown are approximate
Any finishes nominated are indicative only and subject to change
Articulations shown on the façade are indicative only and are subject to further design development and change
Storage allocations and areas are not necessarily shown on the drawings and are subject to change

REVISIONS			
Date	Description	By	MM
19/11/2014	ISSU'D FOR DA		

TRUE NORTH & KEY PLAN



DRAWING TITLE
STAGE 4&5 - BASEMENT 3

SCALE : 1:200 @B1
DATE : Dec 1st - 2014
PROJECT # 10068-3

Drawing Number
DA-45-100/A

ROBERTSON+MARKS



DA Submission

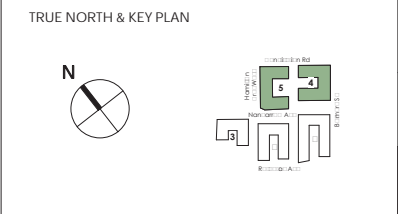
DEVELOPMENT
APPLICATION
Concept Plan Approval
(MP 09_0216)
STAGE 4 & 5

ARCHITECT
ROBERTSON+MARKS
EST 1892
Ground Level 11-17 Buckingham St Surry Hills 2010 Australia
t. (+61) 2 9319 4388 e. mail@marks.net.au www.marks.net.au
BRIAN MANN 5975 • ANDREW SCARVELIS • MARCO O. ABBONDANZA

CLIENT
HOLDMARK
2/2-4 GIFFNOCK AV. P. (02) 9889 5540
MACQUARIE PARK F. (02) 9888 5829
NSW 2113
e. info@holdmark.com.au www.holdmark.com.au

NOTES
Dimensions - Contractors to check all dimensions on site prior to commencing construction.
Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
Internal layouts shown are indicative only for information purposes and are subject to further design development and change
Window mullions, if shown, are indicative only
Louvre panels, if shown, are indicative only
All dimensions and levels shown are approximate
Any finishes nominated are indicative only and subject to change
Articulations shown on the façade are indicative only and are subject to further design development and change
Storage allocations and areas are not necessarily shown on the drawings and are subject to change

REV	DATE	DESCRIPTION	BY
A	19/11/2014	ISSU'D FOR DA	MM



DRAWING TITLE
STAGE 4&5 - BASEMENT 2
SCALE: 1:200 @B1
DATE: Dec 1st - 2014
PROJECT # 10068-3
Drawing Number
DA-45-101/A
ROBERTSON+MARKS



VISITOR PARKING

DA Submission

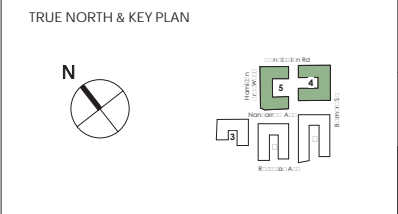
DEVELOPMENT APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 4 & 5

ARCHITECT
ROBERTSON+MARKS
 EST 1892
 Ground Level 11-17 Buckingham St Surry Hills 2010 Australia
 t: (+61) 2 9319 4388 e: mail@marks.net.au www.marks.net.au
 BRIAN MANN 5975 • ANDREW SCARVELIS • MARCO O. ABBONDANZA

CLIENT
HOLDMARK
 2/2-4 GIFFNOCK AV, MACQUARIE PARK NSW 2113
 P: (02) 9889 5540 F: (02) 9888 5829
 e: info@holdmark.com.au www.holdmark.com.au

NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction.
 Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
 Internal layouts shown are indicative only for information purposes and are subject to further design development and change
 Window mullions, if shown, are indicative only
 Louvre panels, if shown, are indicative only
 All dimensions and levels shown are approximate
 Any finishes nominated are indicative only and subject to change
 Articulations shown on the façade are indicative only and are subject to further design development and change
 Storage allocations and areas are not necessarily shown on the drawings and are subject to change

REVISIONS			
No.	Date	Description	By
A	19/11/2014	ISSU D - DR DA	MM

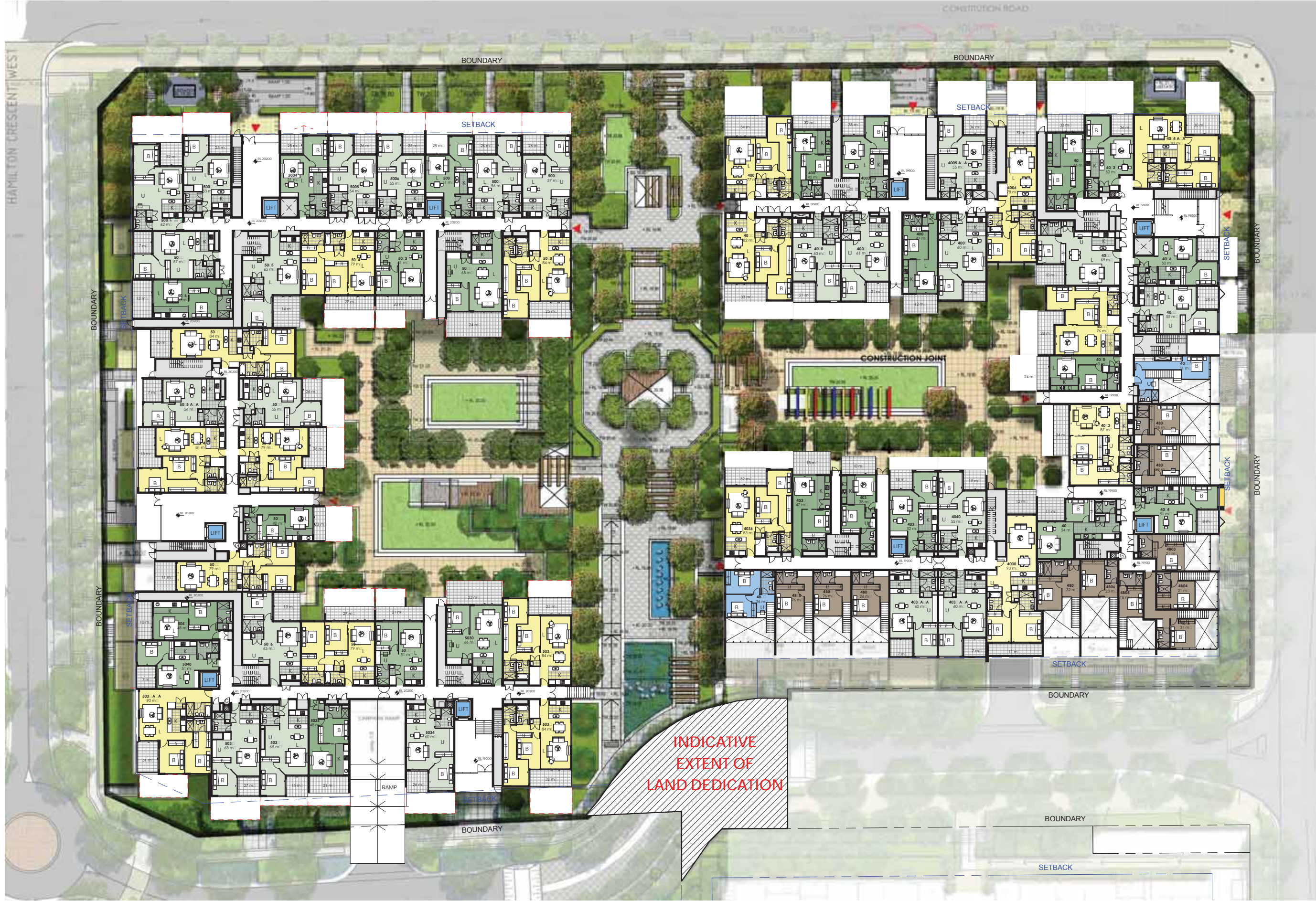


DRAWING TITLE
STAGE 4&5 - BASEMENT 1

SCALE: 1:200 @B1
 DATE: Dec 1st - 2014
 PROJECT # 10068-3

Drawing Number
DA-45-102/A

ROBERTSON+MARKS



- - - - - APPROVED ENVELOPE
- - - - - APPROVED 60% POP-UP ENVELOPE

DA Submission

DEVELOPMENT APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 4 & 5

ARCHITECT
ROBERTSON + MARKS
 EST 1892
 Ground Level 11-17 Buckingham St Surry Hills 2010 Australia
 t. (+61) 2 9319 4388 e. mail@marks.net.au www.marks.net.au
 BRIAN MANN 5975 • ANDREW SCARVELIS • MARCO O. ABBONDANZA

CLIENT
HOLDMARK
 212-4 GIFFNOCK AV. P. (02) 9889 5540
 MACQUARIE PARK F. (02) 9888 5829
 NSW 2113
 e. info@holdmark.com.au www.holdmark.com.au

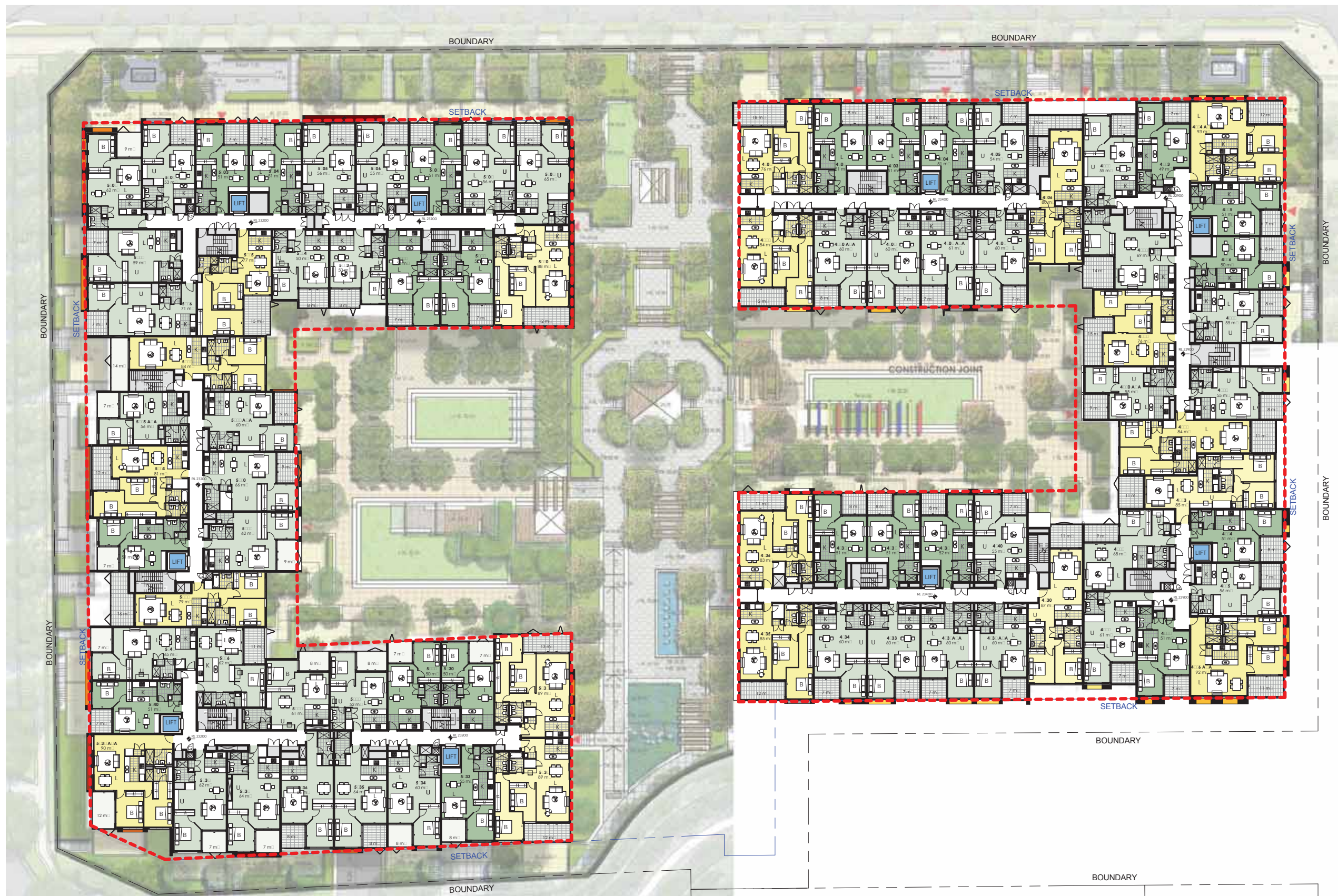
NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction.
 Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
 Internal layouts shown are indicative only for information purposes and are subject to further design development and change
 Window mullions, if shown, are indicative only
 Louvre panels, if shown, are indicative only
 All dimensions and levels shown are approximate
 Any finishes nominated are indicative only and subject to change
 Articulations shown on the façade are indicative only and are subject to further design development and change
 Storage allocations and areas are not necessarily shown on the drawings and are subject to change

REV	DATE	DESCRIPTION	BY
A	19/11/2014	ISSU D - DR DA	MM

TRUE NORTH & KEY PLAN

DRAWING TITLE
STAGE 4&5 - GROUND LEVEL
 SCALE : 1:200 @B1
 DATE : Dec 1st - 2014
 PROJECT # 10068-3
 Drawing Number
DA-45-103/A

ROBERTSON + MARKS



- - - - - APPROVED ENVELOPE
- - - - - APPROVED 60% POP-UP ENVELOPE

DA Submission

DEVELOPMENT APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 4 & 5

ARCHITECT
ROBERTSON+MARKS
 EST 1892
 Ground Level 11-17 Buckingham St Surry Hills 2010 Australia
 t. (+61) 2 9319 4388 e. mail@marks.net.au www.marks.net.au
 BRIAN MANN 5975 • ANDREW SCARVELIS • MARCO O. ABBONDANZA

CLIENT
HOLDMARK
 2/2-4 GIFFNOCK AV, MACQUARIE PARK NSW 2113
 P: (02) 9889 5540 F: (02) 9888 5829
 e. info@holdmark.com.au www.holdmark.com.au

NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction. Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved. Internal layouts shown are indicative only for information purposes and are subject to further design development and change
 Window mullions, if shown, are indicative only
 Louvre panels, if shown, are indicative only
 All dimensions and levels shown are approximate
 Any finishes nominated are indicative only and subject to change
 Articulations shown on the façade are indicative only and are subject to further design development and change
 Storage allocations and areas are not necessarily shown on the drawings and are subject to change

REV	DATE	DESCRIPTION	BY
A	19/11/2014	ISSU D - DR DA	MM

TRUE NORTH & KEY PLAN

DRAWING TITLE
 STAGE 4&5 - LEVEL 1
 SCALE : 1: 200 @B1
 DATE : Dec 1st - 2014
 PROJECT # 10068-3

Drawing Number
 DA-45-104/A
ROBERTSON+MARKS



- - - - - APPROVED ENVELOPE
- - - - - APPROVED 60% POP-UP ENVELOPE

DA Submission

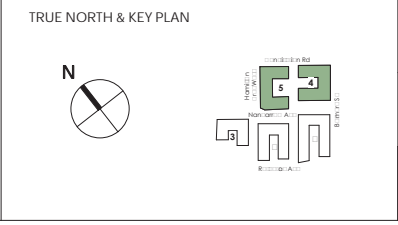
DEVELOPMENT APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 4 & 5

ARCHITECT
ROBERTSON+MARKS
 EST 1892
 Ground Level 11-17 Buckingham St Surry Hills 2010 Australia
 t: (+61) 2 9319 4388 e: mail@marks.net.au www.marks.net.au
 BRIAN MANN 5975 • ANDREW SCARVELIS • MARCO O. ABBONDANZA

CLIENT
HOLDMARK
 212-4 GIFFNOCK AV, MACQUARIE PARK NSW 2113
 P: (02) 9889 5540 F: (02) 9888 5829
 e: info@holdmark.com.au www.holdmark.com.au

NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction.
 Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
 Internal layouts shown are indicative only for information purposes and are subject to further design development and change
 Window mullions, if shown, are indicative only
 Louvre panels, if shown, are indicative only
 All dimensions and levels shown are approximate
 Any finishes nominated are indicative only and subject to change
 Articulations shown on the façade are indicative only and are subject to further design development and change
 Storage allocations and areas are not necessarily shown on the drawings and are subject to change

REVISIONS			
No.	Date	Description	By
A	19/11/2014	ISSU D - DR DA	MM



DRAWING TITLE
 STAGE 4&5 - LEVEL 2
 SCALE: 1:200 @B1
 DATE: Dec 1st - 2014
 PROJECT # 10068-3
 Drawing Number
 DA-45-105/A
ROBERTSON+MARKS



- - - - - APPROVED ENVELOPE
- - - - - APPROVED 60% POP-UP ENVELOPE

DA Submission

DEVELOPMENT
 APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 4 & 5

ARCHITECT
ROBERTSON+MARKS
 EST 1892
 Ground Level 11-17 Buckingham St Surry Hills 2010 Australia
 t. (+61) 2 9319 4388 e. mail@marks.net.au www.marks.net.au
 BRIAN MANN 5975 - ANDREW SCARVELIS - MARCO O. ABBONDANZA

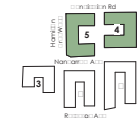
CLIENT
HOLDMARK
 2/2-4 GIFFNOCK AV. P. (02) 9889 5540
 MACQUARIE PARK F. (02) 9888 5829
 NSW 2113
 e. info@holdmark.com.au www.holdmark.com.au

NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction.
 Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
 Internal layouts shown are indicative only for information purposes and are subject to further design development and change
 Window mullions, if shown, are indicative only
 Louvre panels, if shown, are indicative only
 All dimensions and levels shown are approximate
 Any finishes nominated are indicative only and subject to change
 Articulations shown on the façade are indicative only and are subject to further design development and change
 Storage allocations and areas are not necessarily shown on the drawings and are subject to change

REVISIONS

Issue	Date	Description	By
A	19/11/2014	ISSU D - DR DA	MM

TRUE NORTH & KEY PLAN

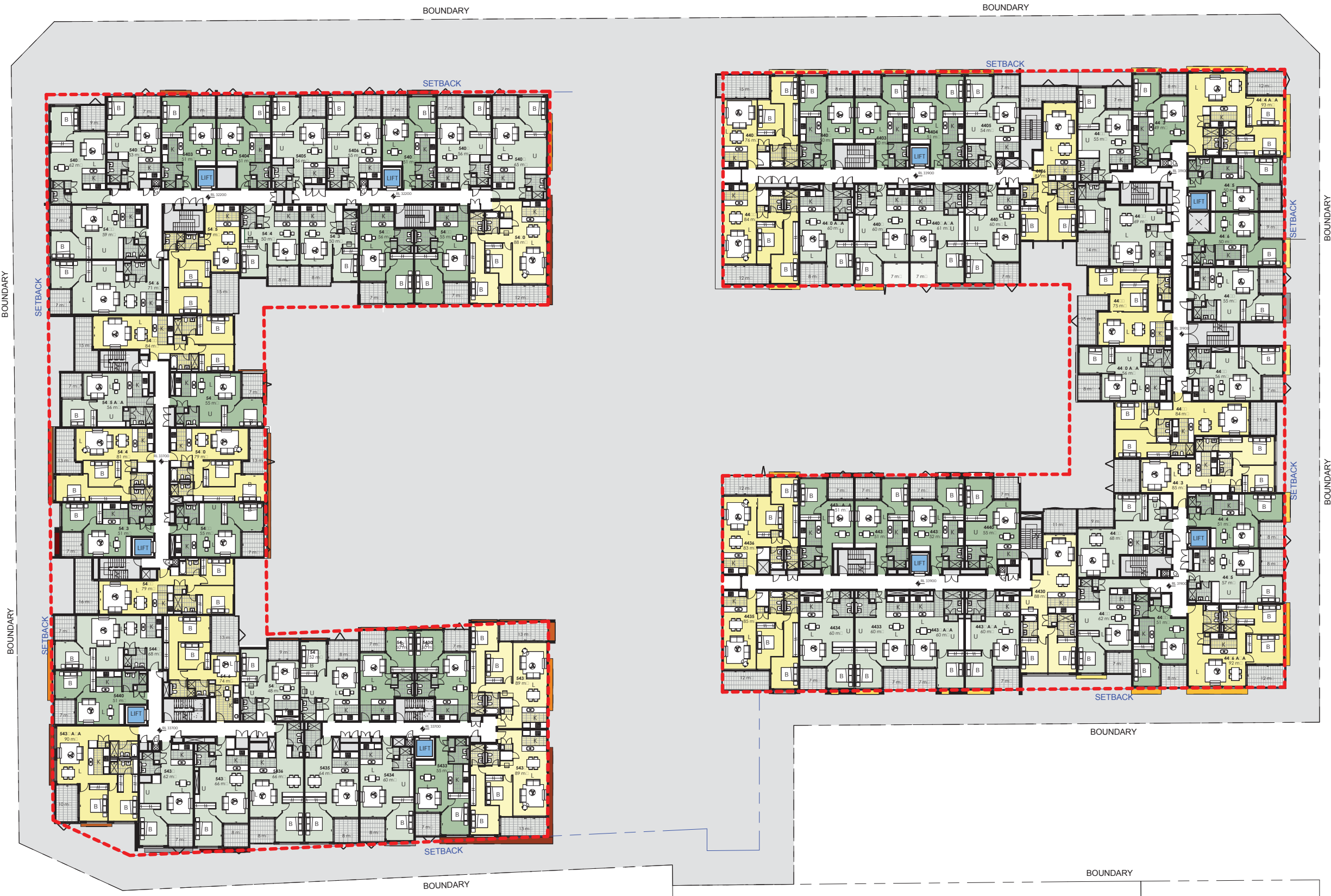


DRAWING TITLE
 STAGE 4&5 - LEVEL 3

SCALE: 1:200 @B1
 DATE: Dec 1st - 2014
 PROJECT # 10068-3

Drawing Number
 DA-45-106/A

ROBERTSON+MARKS



- - - - - APPROVED ENVELOPE
- - - - - APPROVED 60% POP-UP ENVELOPE

DA Submission

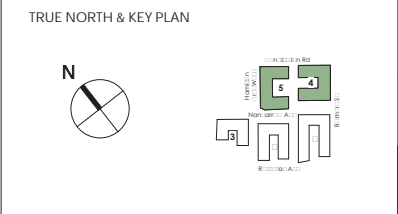
DEVELOPMENT APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 4 & 5

ARCHITECT
ROBERTSON+MARKS
 EST 1892
 Ground Level 11-17 Buckingham St. Surry Hills 2010 Australia
 t. (+61) 2 9319 4388 e. mail@marks.net.au www.marks.net.au
 BRIAN MANN 5975 - ANDREW SCARVELIS - MARCO O. ABBONDANZA

CLIENT
HOLDMARK
 212-4 GIFFNOCK AV. P. (02) 9889 5540
 MACQUARIE PARK NSW 2113 F. (02) 9888 5829
 e. info@holdmark.com.au www.holdmark.com.au

NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction.
 Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
 Internal layouts shown are indicative only for information purposes and are subject to further design development and change
 Window mullions, if shown, are indicative only
 Louvre panels, if shown, are indicative only
 All dimensions and levels shown are approximate
 Any finishes nominated are indicative only and subject to change
 Articulations shown on the façade are indicative only and are subject to further design development and change
 Storage allocations and areas are not necessarily shown on the drawings and are subject to change

REVISIONS			
Issue	Date	Description	By
A	19/11/2014	ISSU D. OR DA	MM



DRAWING TITLE
STAGE 4&5 - LEVEL 4
 SCALE: 1:200 @B1
 DATE: Dec 1st - 2014
 PROJECT # 10068-3
 Drawing Number
DA-45-107/A
ROBERTSON+MARKS



----- APPROVED ENVELOPE
----- APPROVED 60% POP-UP ENVELOPE

DA Submission

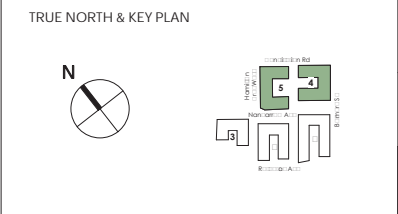
DEVELOPMENT APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 4 & 5

ARCHITECT
ROBERTSON+MARKS
 EST 1892
 Ground Level 11-17 Buckingham St Surry Hills 2010 Australia
 t: (+61) 2 9319 4388 e: mail@marks.net.au www.marks.net.au
 BRIAN MANN 5975 • ANDREW SCARVELIS • MARCO O. ABBONDANZA

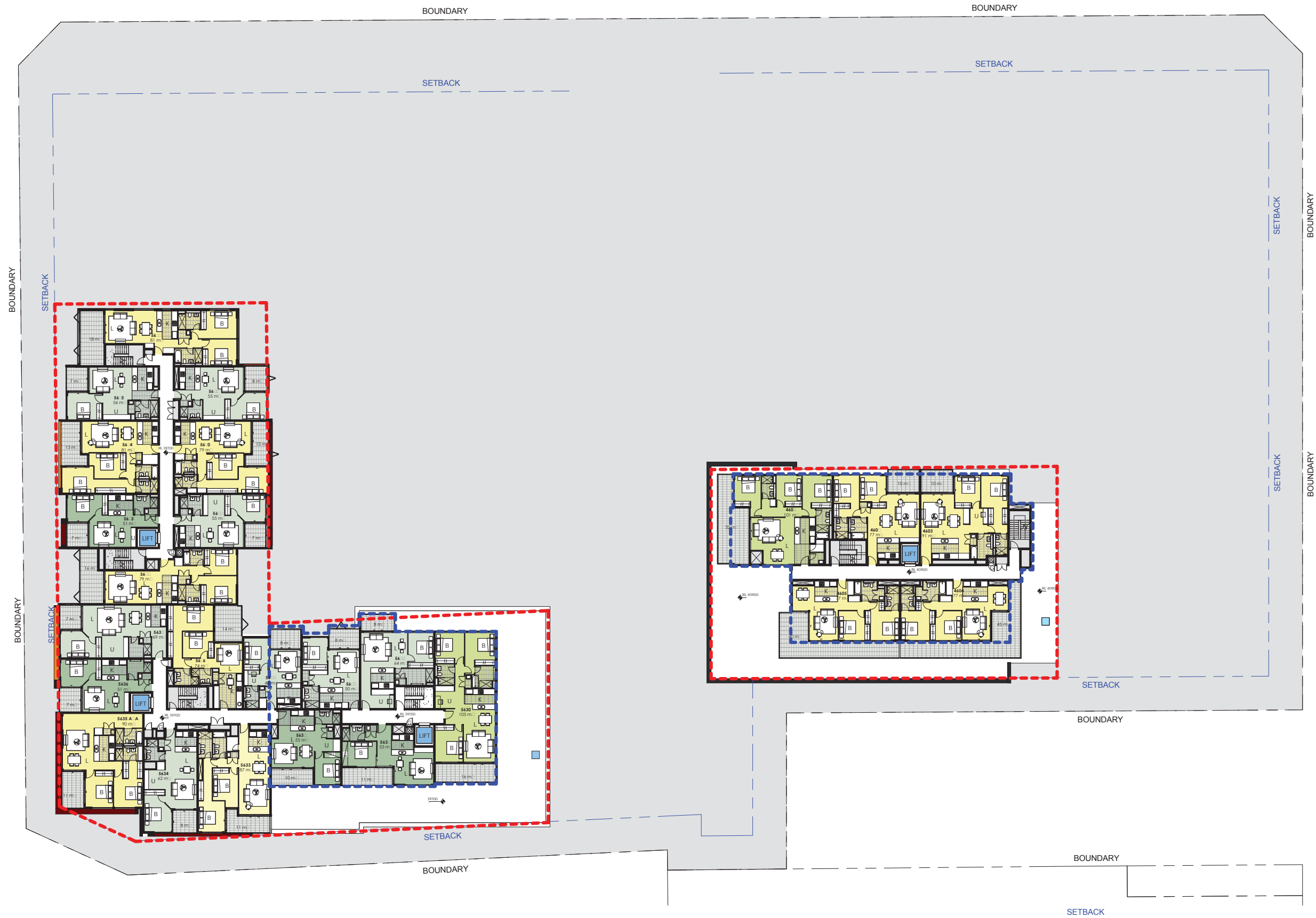
CLIENT
HOLDMARK
 2/2-4 GIFFNOCK AV, MACQUARIE PARK NSW 2113
 P: (02) 9889 5540 F: (02) 9888 5829
 e: info@holdmark.com.au www.holdmark.com.au

NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction. Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved. Internal layouts shown are indicative only for information purposes and are subject to further design development and change
 Window mullions, if shown, are indicative only
 Louvre panels, if shown, are indicative only
 All dimensions and levels shown are approximate
 Any finishes nominated are indicative only and subject to change
 Articulations shown on the façade are indicative only and are subject to further design development and change
 Storage allocations and areas are not necessarily shown on the drawings and are subject to change

REV	DATE	DESCRIPTION	BY
A	19/11/2014	ISSU D - OR DA	MM



DRAWING TITLE
 STAGE 4&5 - LEVEL 5
 SCALE: 1:200 @B1
 DATE: Dec 1st - 2014
 PROJECT # 10068-3
 Drawing Number
 DA-45-108/A
ROBERTSON+MARKS



----- APPROVED ENVELOPE
----- APPROVED 60% POP-UP ENVELOPE

DA Submission

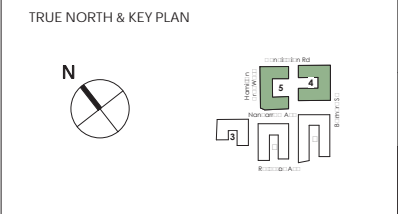
DEVELOPMENT APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 4 & 5

ARCHITECT
ROBERTSON+MARKS
 EST 1892
 Ground Level 11-17 Buckingham St Surry Hills 2010 Australia
 t. (+61) 2 9319 4388 e. mail@marks.net.au www.marks.net.au
 BRIAN MANN 5975 • ANDREW SCARVELIS • MARCO O. ABBONDANZA

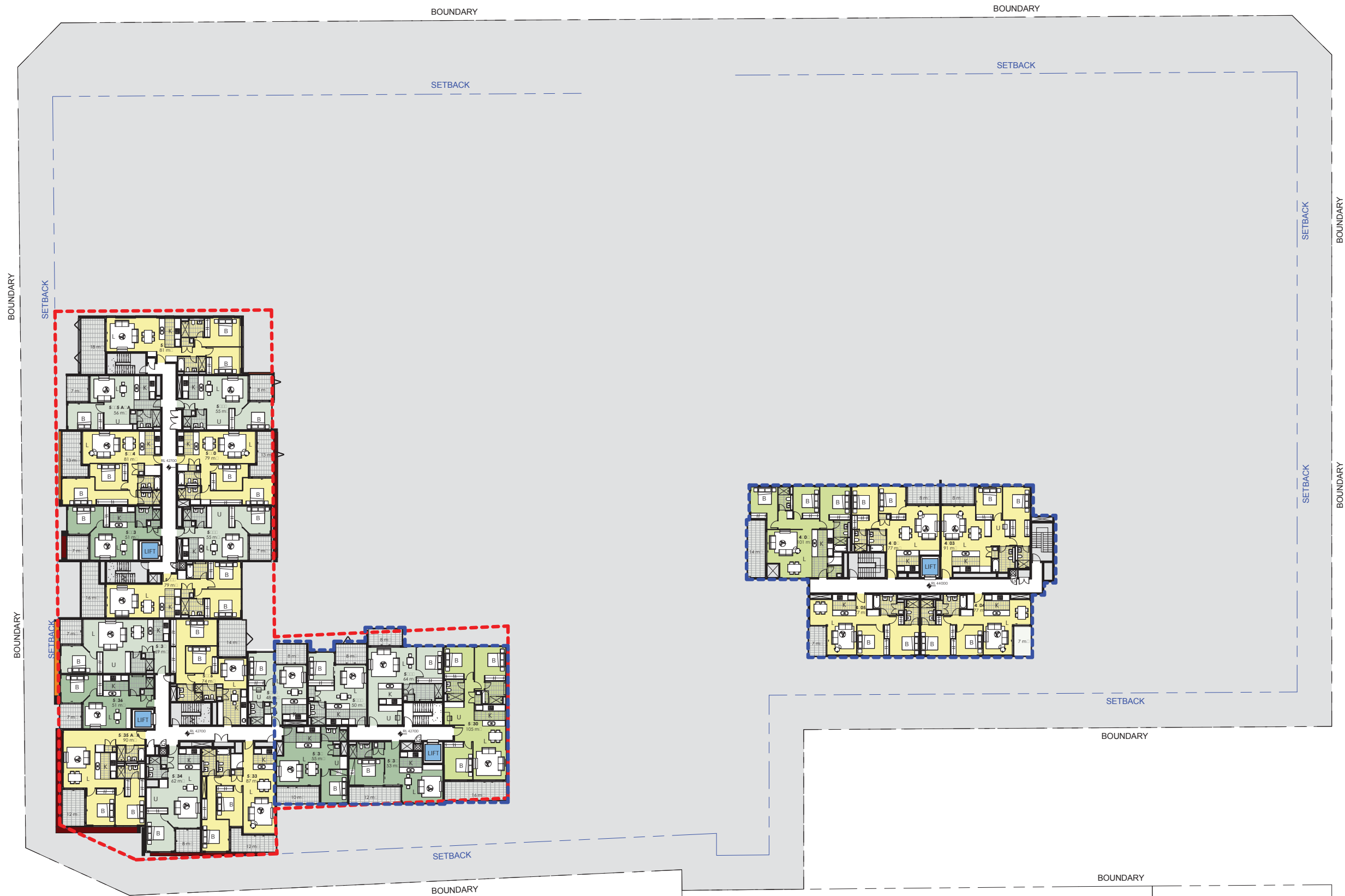
CLIENT
HOLDMARK
 2/2-4 GIFFNOCK AV, MACQUARIE PARK NSW 2113
 P: (02) 9889 5540 F: (02) 9888 5829
 e. info@holdmark.com.au www.holdmark.com.au

NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction. Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved. Internal layouts shown are indicative only for information purposes and are subject to further design development and change Window mullions, if shown, are indicative only Louvre panels, if shown, are indicative only All dimensions and levels shown are approximate Any finishes nominated are indicative only and subject to change Articulations shown on the façade are indicative only and are subject to further design development and change Storage allocations and areas are not necessarily shown on the drawings and are subject to change

REV	DATE	DESCRIPTION	BY
A	19/11/2014	ISSU'D FOR DA	MM



DRAWING TITLE
STAGE 4&5 - LEVEL 6
 SCALE: 1:200 @B1
 DATE: Dec 1st - 2014
 PROJECT # 10068-3
 Drawing Number
DA-45-109/A
ROBERTSON+MARKS



----- APPROVED ENVELOPE
----- APPROVED 60% POP-UP ENVELOPE

DA Submission

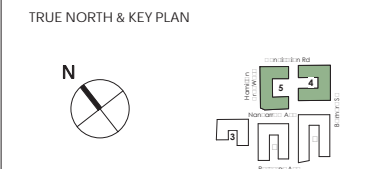
DEVELOPMENT
 APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 4 & 5

ARCHITECT
ROBERTSON+MARKS
 EST 1892
 Ground Level 11-17 Buckingham St Surry Hills 2010 Australia
 t. (+61) 2 9319 4388 e. mail@marks.net.au www.marks.net.au
 BRIAN MANN 5975 • ANDREW SCARVELIS • MARCO O. ABBONDANZA

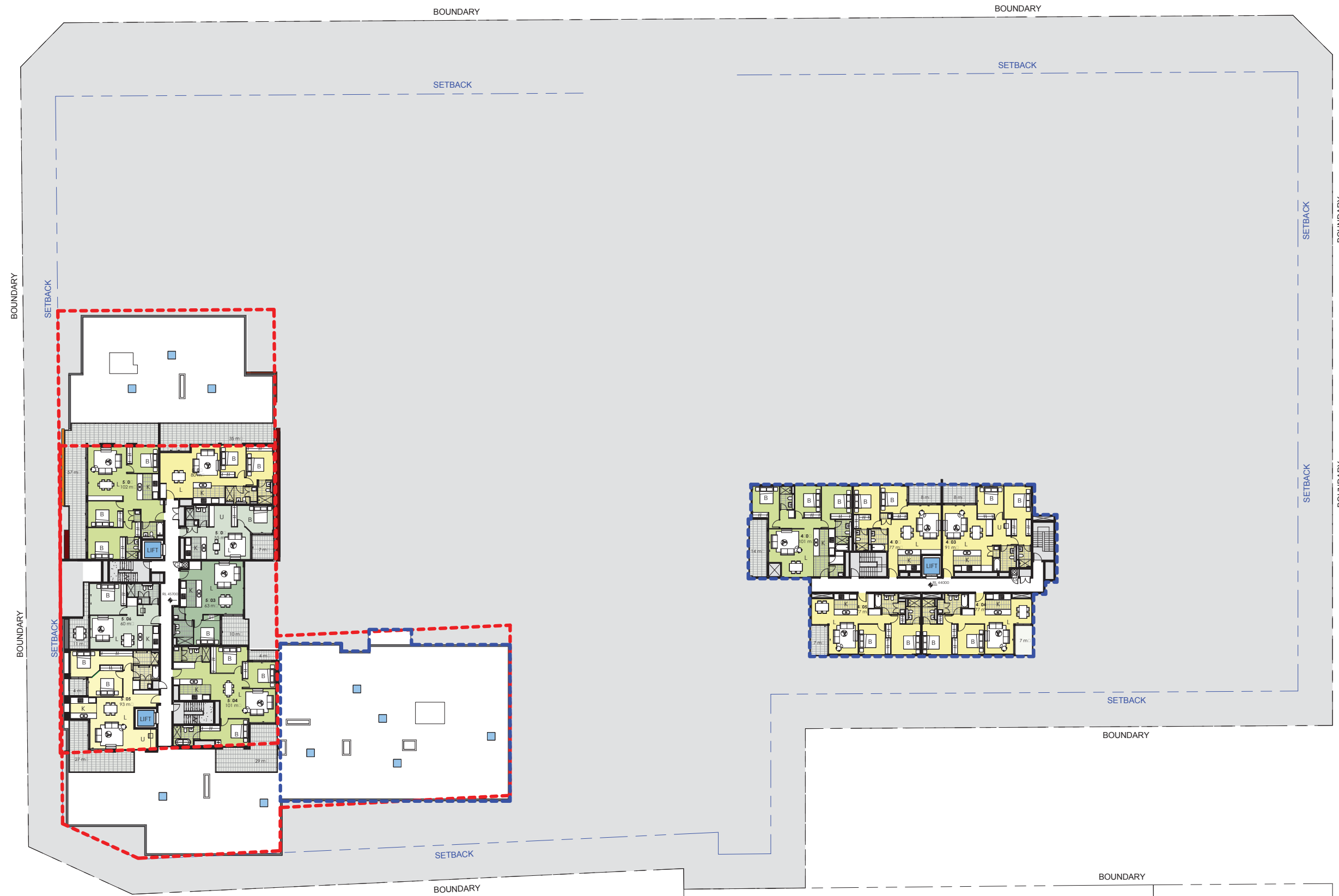
CLIENT
HOLDMARK
 2/2-4 GIFFNOCK AV, P. (02) 9889 5540
 MACQUARIE PARK NSW 2113 F. (02) 9888 5829
 e. info@holdmark.com.au www.holdmark.com.au

NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction.
 Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
 Internal layouts shown are indicative only for information purposes and are subject to further design development and change
 Window mullions, if shown, are indicative only
 Louvre panels, if shown, are indicative only
 All dimensions and levels shown are approximate
 Any finishes nominated are indicative only and subject to change
 Articulations shown on the façade are indicative only and are subject to further design development and change
 Storage allocations and areas are not necessarily shown on the drawings and are subject to change

Issue	Date	Description	By
A	19/11/2014	ISSU'D FOR DA	MM



DRAWING TITLE
STAGE 4&5 - LEVEL 7
 SCALE: 1:200 @B1
 DATE: Dec 1st - 2014
 PROJECT # 10068-3
 Drawing Number
DA-45-110/A



----- **APPROVED ENVELOPE**
----- **APPROVED 60% POP-UP ENVELOPE**

DA Submission

DEVELOPMENT
 APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 4 & 5

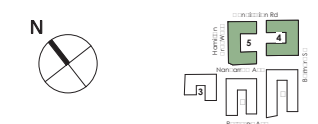
ARCHITECT
ROBERTSON+MARKS
 EST 1892
 Ground Level 11-17 Buckingham St Surry Hills 2010 Australia
 t: (+61) 2 9319 4388 e: mail@marks.net.au www.marks.net.au
 BRIAN MANN 5975 • ANDREW SCARVELIS • MARCO O. ABBONDANZA

CLIENT
HOLDMARK
 2/2-4 GIFFNOCK AV, P: (02) 9889 5540
 MACQUARIE PARK F: (02) 9888 5829
 NSW 2113
 e: info@holdmark.com.au www.holdmark.com.au

NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction.
 Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
 Internal layouts shown are indicative only for information purposes and are subject to further design development and change
 Window mullions, if shown, are indicative only
 Louvre panels, if shown, are indicative only
 All dimensions and levels shown are approximate
 Any finishes nominated are indicative only and subject to change
 Articulations shown on the façade are indicative only and are subject to further design development and change
 Storage allocations and areas are not necessarily shown on the drawings and are subject to change

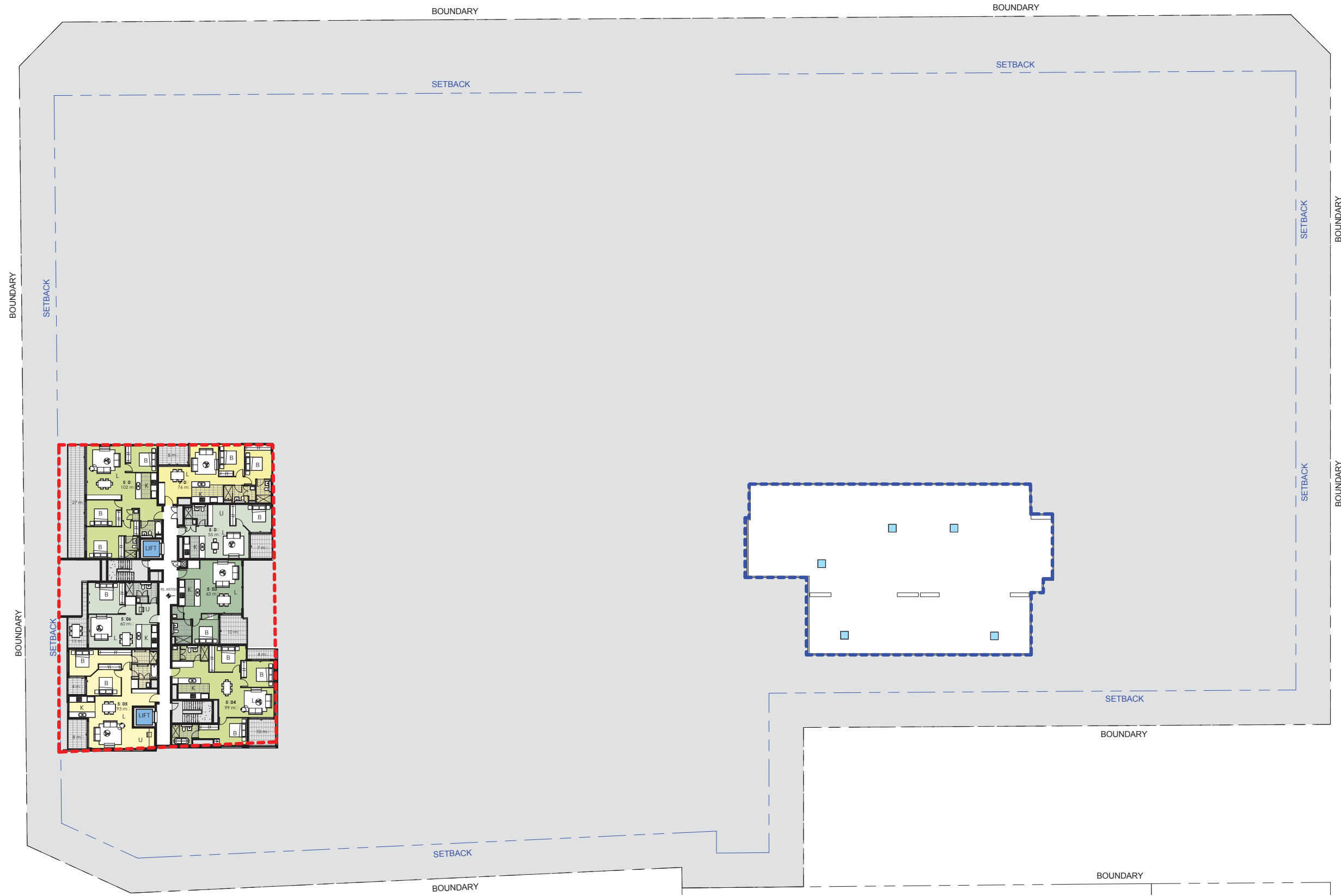
REV	DATE	DESCRIPTION	BY
A	19/11/2014	ISSU'D FOR DA	MM

TRUE NORTH & KEY PLAN



DRAWING TITLE
STAGE 4&5 - LEVEL 8 & Roof
 SCALE: 1:200 @B1
 DATE: Dec 1st - 2014
 PROJECT # 10068-3
 Drawing Number
DA-45-111/A

ROBERTSON+MARKS



----- APPROVED ENVELOPE
----- APPROVED 60% POP-UP ENVELOPE

DA Submission

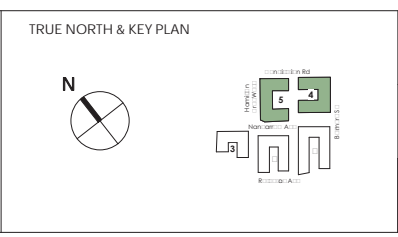
DEVELOPMENT APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 4 & 5

ARCHITECT
ROBERTSON+MARKS
 EST 1892
 Ground Level 11-17 Buckingham St Surry Hills 2010 Australia
 t. (+61) 2 9319 4388 e. mail@marks.net.au www.marks.net.au
 BRIAN MANN 5975 • ANDREW SCARVELIS • MARCO O. ABBONDANZA

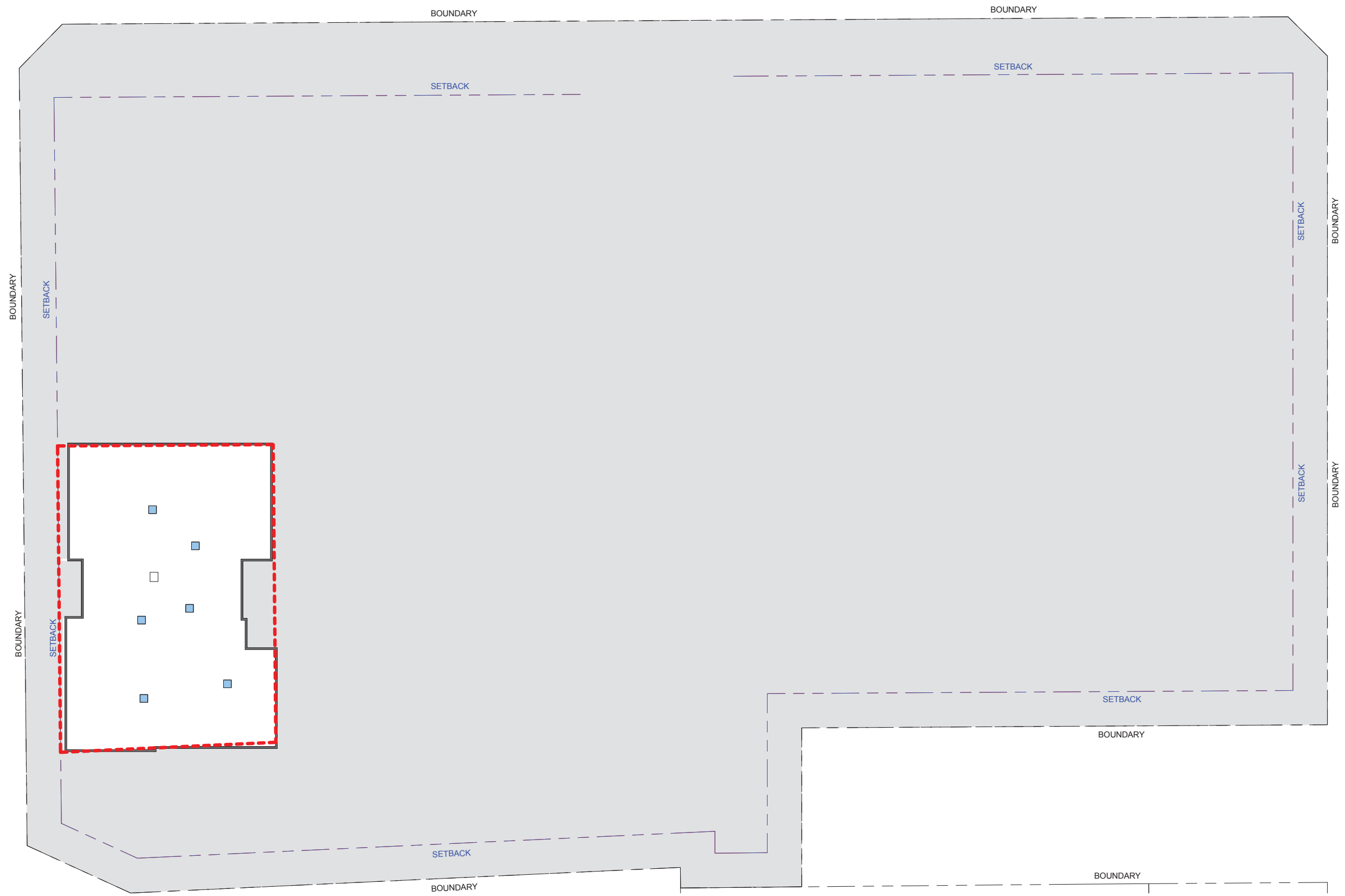
CLIENT
HOLDMARK
 2/2-4 GIFFNOCK AV, MACQUARIE PARK NSW 2113
 P: (02) 9889 5540 F: (02) 9888 5829
 e. info@holdmark.com.au www.holdmark.com.au

NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction. Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
 Internal layouts shown are indicative only for information purposes and are subject to further design development and change
 Window mullions, if shown, are indicative only
 Louvre panels, if shown, are indicative only
 All dimensions and levels shown are approximate
 Any finishes nominated are indicative only and subject to change
 Articulations shown on the façade are indicative only and are subject to further design development and change
 Storage allocations and areas are not necessarily shown on the drawings and are subject to change

REV	DATE	DESCRIPTION	BY
A	19/11/2014	ISSU'D FOR DA	MM



DRAWING TITLE
 STAGE 4&5 - LEVEL 9
 SCALE: 1:200 @B1
 DATE: Dec 1st - 2014
 PROJECT # 10068-3
 Drawing Number
 DA-45-112/A
ROBERTSON+MARKS



----- **APPROVED ENVELOPE**
----- **APPROVED 60% POP-UP ENVELOPE**

DA Submission

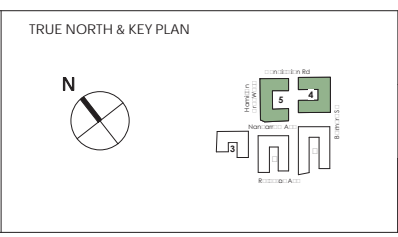
DEVELOPMENT APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 4 & 5

ARCHITECT
ROBERTSON+MARKS
 EST 1892
 Ground Level 11-17 Buckingham St Surry Hills 2010 Australia
 t: (+61) 2 9319 4388 e: mail@marks.net.au www.marks.net.au
 BRIAN MANN 5975 • ANDREW SCARVELIS • MARCO O. ABBONDANZA

CLIENT
HOLDMARK
 2/2-4 GIFFNOCK AV, MACQUARIE PARK NSW 2113
 P: (02) 9889 5540 F: (02) 9888 5829
 e: info@holdmark.com.au www.holdmark.com.au

NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction. Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
 Internal layouts shown are indicative only for information purposes and are subject to further design development and change
 Window mullions, if shown, are indicative only
 Louvre panels, if shown, are indicative only
 All dimensions and levels shown are approximate
 Any finishes nominated are indicative only and subject to change
 Articulations shown on the façade are indicative only and are subject to further design development and change
 Storage allocations and areas are not necessarily shown on the drawings and are subject to change

REVISIONS			
Issue	Date	Description	By
A	19/11/2014	ISSU'D FOR DA	MM



DRAWING TITLE
STAGE 4&5 - ROOF
 SCALE: 1:200 @B1
 DATE: Dec 1st - 2014
 PROJECT # 10068-3
 Drawing Number
DA-45-113/A
ROBERTSON+MARKS

NORTH ELEVATION



----- APPROVED ENVELOPE
----- APPROVED 60% POP-UP ENVELOPE

DA Submission

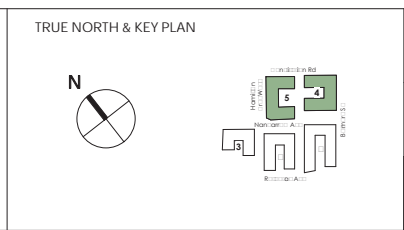
DEVELOPMENT APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 4 & 5

ARCHITECT
ROBERTSON+MARKS
 EST 1892
 Ground Level 11-17 Buckingham St Surry Hills 2010 Australia
 t: (+61) 2 9319 4388 e: mail@marks.net.au www.marks.net.au
 BRIAN MANN 5975 • ANDREW SCARVELIS • MARCO O. ABBONDANZA

CLIENT
HOLDMARK
 2/2-4 GIFFNOCK AV, MACQUARIE PARK NSW 2113
 P: (02) 9889 5540 F: (02) 9888 5829
 e: info@holdmark.com.au www.holdmark.com.au

NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction. Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
 Internal layouts shown are indicative only for information purposes and are subject to further design development and change
 Window mullions, if shown, are indicative only
 Louvre panels, if shown, are indicative only
 All dimensions and levels shown are approximate
 Any finishes nominated are indicative only and subject to change
 Articulations shown on the façade are indicative only and are subject to further design development and change
 Storage allocations and areas are not necessarily shown on the drawings and are subject to change

Issue	Date	Description	By
A	19/11/2014	ISSU'D FOR DA	MM



DRAWING TITLE
NORTH ELEVATIONS
 SCALE: 1: 200 @B1
 DATE: Dec 1st - 2014
 PROJECT # 10068-3
 Drawing Number
DA-45-201/A
ROBERTSON+MARKS

SOUTH ELEVATION



STAGE 5

STAGE 4

----- APPROVED ENVELOPE
 ----- APPROVED 60% POP-UP ENVELOPE

DA Submission

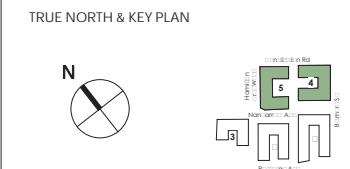
DEVELOPMENT
 APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 4 & 5

ARCHITECT
ROBERTSON+MARKS
 EST 1892
 Ground Level 11-17 Buckingham St Surry Hills 2010 Australia
 t: (+61) 2 9319 4388 e: mail@marks.net.au www.marks.net.au
 BRIAN MANN 5975 • ANDREW SCARVELIS • MARCO O. ABBONDANZA

CLIENT
HOLDMARK
 2/2-4 GIFFNOCK AV, P: (02) 9889 5540
 MACQUARIE PARK F: (02) 9888 5829
 NSW 2113
 e: info@holdmark.com.au www.holdmark.com.au

NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction.
 Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
 Internal layouts shown are indicative only for information purposes and are subject to further design development and change
 Window mullions, if shown, are indicative only
 Louvre panels, if shown, are indicative only
 All dimensions and levels shown are approximate
 Any finishes nominated are indicative only and subject to change
 Articulations shown on the façade are indicative only and are subject to further design development and change
 Storage allocations and areas are not necessarily shown on the drawings and are subject to change

Rev	Date	Description	By
A	19/11/2014	ISSU'D FOR DA	MM



DRAWING TITLE
 SOUTH ELEVATIONS
 SCALE: 1: 200 @B1
 DATE: Dec 1st - 2014
 PROJECT # 10068-3
 Drawing Number
 DA-45-202/A

ROBERTSON+MARKS

STAGE 4



EAST ELEVATION

- - - - - APPROVED ENVELOPE
- - - - - APPROVED 60% POP-UP ENVELOPE

DA Submission

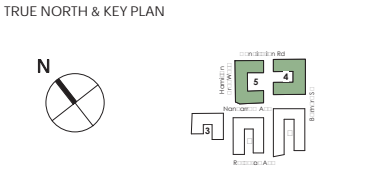
DEVELOPMENT
 APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 4 & 5

ARCHITECT
ROBERTSON+MARKS
 EST 1892
 Ground Level 11-17 Buckingham St Surry Hills 2010 Australia
 t: (+61) 2 9319 4388 e: mail@marks.net.au www.marks.net.au
 BRIAN MANN 5975 • ANDREW SCARVELIS • MARCO O. ABBONDANZA

CLIENT
HOLDMARK
 2/2-4 GIFFNOCK AV, P: (02) 9889 5540
 MACQUARIE PARK F: (02) 9888 5829
 NSW 2113
 e: info@holdmark.com.au www.holdmark.com.au

NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction.
 Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
 Internal layouts shown are indicative only for information purposes and are subject to further design development and change
 Window mullions, if shown, are indicative only
 Louvre panels, if shown, are indicative only
 All dimensions and levels shown are approximate
 Any finishes nominated are indicative only and subject to change
 Articulations shown on the façade are indicative only and are subject to further design development and change
 Storage allocations and areas are not necessarily shown on the drawings and are subject to change

Issue	Date	Description	By
A	19/11/2014	ISSU'D FOR DA	MM



DRAWING TITLE
 STAGE 4 - EAST ELEVATION
 SCALE: 1:200 @B1
 DATE: Dec 1st - 2014
 PROJECT # 10068-3
 Drawing Number
 DA-45-203/A

ROBERTSON+MARKS

STAGE 5



EAST ELEVATION

----- APPROVED ENVELOPE
----- APPROVED 60% POP-UP ENVELOPE

DA Submission

DEVELOPMENT
 APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 4 & 5

ARCHITECT
ROBERTSON+MARKS
 EST 1892
 Ground Level 11-17 Buckingham St Surry Hills 2010 Australia
 t: (+61) 2 9319 4388 e: mail@marks.net.au www.marks.net.au
 BRIAN MANN 5975 • ANDREW SCARVELIS • MARCO O. ABBONDANZA

CLIENT
HOLDMARK
 2/2-4 GIFFNOCK AV. P: (02) 9889 5540
 MACQUARIE PARK F: (02) 9888 5829
 NSW 2113
 e: info@holdmark.com.au www.holdmark.com.au

NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction.
 Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
 Internal layouts shown are indicative only for information purposes and are subject to further design development and change
 Window mullions, if shown, are indicative only
 Louvre panels, if shown, are indicative only
 All dimensions and levels shown are approximate
 Any finishes nominated are indicative only and subject to change
 Articulations shown on the façade are indicative only and are subject to further design development and change
 Storage allocations and areas are not necessarily shown on the drawings and are subject to change

Issue	Date	Description	By
A	19/11/2014	ISSU'D FOR DA	MM



DRAWING TITLE
 STAGE 5 - EAST ELEVATION
 SCALE: 1:200 @B1
 DATE: 12/16/14
 PROJECT # 10068-3
 Drawing Number
 DA-45-204/A

ROBERTSON+MARKS

STAGE 4



WEST ELEVATION

- - - - - APPROVED ENVELOPE
- - - - - APPROVED 60% POP-UP ENVELOPE

DA Submission

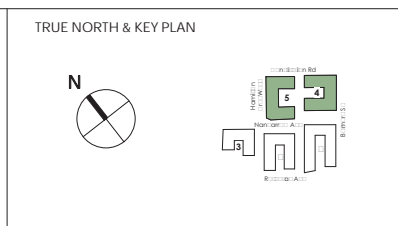
DEVELOPMENT
 APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 4 & 5

ARCHITECT
ROBERTSON+MARKS
 EST 1892
 Ground Level 11-17 Buckingham St Surry Hills 2010 Australia
 t: (+61) 2 9319 4388 e: mail@marks.net.au www.marks.net.au
 BRIAN MANN 5975 • ANDREW SCARVELIS • MARCO O. ABBONDANZA

CLIENT
HOLDMARK
 2/2-4 GIFFNOCK AV. P: (02) 9889 5540
 MACQUARIE PARK F: (02) 9888 5829
 NSW 2113
 e: info@holdmark.com.au www.holdmark.com.au

NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction.
 Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
 Internal layouts shown are indicative only for information purposes and are subject to further design development and change
 Window mullions, if shown, are indicative only
 Louvre panels, if shown, are indicative only
 All dimensions and levels shown are approximate
 Any finishes nominated are indicative only and subject to change
 Articulations shown on the façade are indicative only and are subject to further design development and change
 Storage allocations and areas are not necessarily shown on the drawings and are subject to change

Issue	Date	Description	By
A	19/11/2014	ISSU'D FOR DA	MM



DRAWING TITLE
 STAGE 4 - WEST ELEVATION
 SCALE: 1:200 @B1
 DATE: Dec 1st - 2014
 PROJECT # 10068-3
 Drawing Number
 DA-45-205/A
ROBERTSON+MARKS

STAGE 5



WEST ELEVATION

----- APPROVED ENVELOPE
----- APPROVED 60% POP-UP ENVELOPE

DA Submission

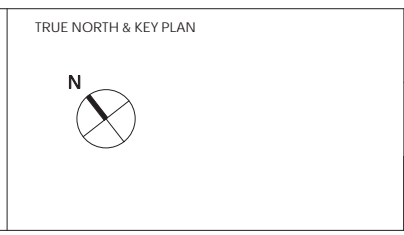
DEVELOPMENT
 APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 4 & 5

ARCHITECT
ROBERTSON+MARKS
 EST 1892
 Ground Level 11-17 Buckingham St Surry Hills 2010 Australia
 t: (+61) 2 9319 4388 e: mail@marks.net.au www.marks.net.au
 BRIAN MANN 5975 • ANDREW SCARVELIS • MARCO O. ABBONDANZA

CLIENT
HOLDMARK
 2/2-4 GIFFNOCK AV. P: (02) 9889 5540
 MACQUARIE PARK F: (02) 9888 5829
 NSW 2113
 e: info@holdmark.com.au www.holdmark.com.au

NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction.
 Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
 Internal layouts shown are indicative only for information purposes and are subject to further design development and change
 Window mullions, if shown, are indicative only
 Louvre panels, if shown, are indicative only
 All dimensions and levels shown are approximate
 Any finishes nominated are indicative only and subject to change
 Articulations shown on the façade are indicative only and are subject to further design development and change
 Storage allocations and areas are not necessarily shown on the drawings and are subject to change

REVISIONS			
No.	Date	Description	By
A	19/11/2014	ISSU'D FOR DA	MM



DRAWING TITLE
 STAGE 5 - WEST ELEVATION
 SCALE: 1:200 @B1
 DATE: 12/16/14
 PROJECT # 10068-3
 Drawing Number
 DA-45-206/A
ROBERTSON+MARKS

SOUTH SECTION



STAGE 4

STAGE 5

----- APPROVED ENVELOPE
 ----- APPROVED 60% POP-UP ENVELOPE

DA Submission

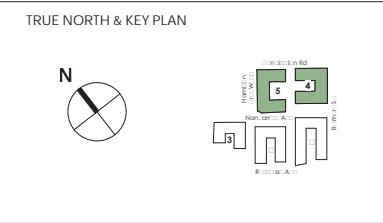
DEVELOPMENT APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 4 & 5

ARCHITECT
ROBERTSON+MARKS
 EST 1892
 Ground Level 11-17 Buckingham St Surry Hills 2010 Australia
 t: (+61) 2 9319 4388 e: mail@marks.net.au www.marks.net.au
 BRIAN MANN 5975 • ANDREW SCARVELIS • MARCO O. ABBONDANZA

CLIENT
HOLDMARK
 2/2-4 GIFFNOCK AV. P: (02) 9889 5540
 MACQUARIE PARK F: (02) 9888 5829
 NSW 2113
 e: info@holdmark.com.au www.holdmark.com.au

NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction.
 Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
 Internal layouts shown are indicative only for information purposes and are subject to further design development and change
 Window mullions, if shown, are indicative only
 Louvre panels, if shown, are indicative only
 All dimensions and levels shown are approximate
 Any finishes nominated are indicative only and subject to change
 Articulations shown on the façade are indicative only and are subject to further design development and change
 Storage allocations and areas are not necessarily shown on the drawings and are subject to change

Issue	Date	Description	By
A	19/11/2014	ISSU'D FOR DA	MM

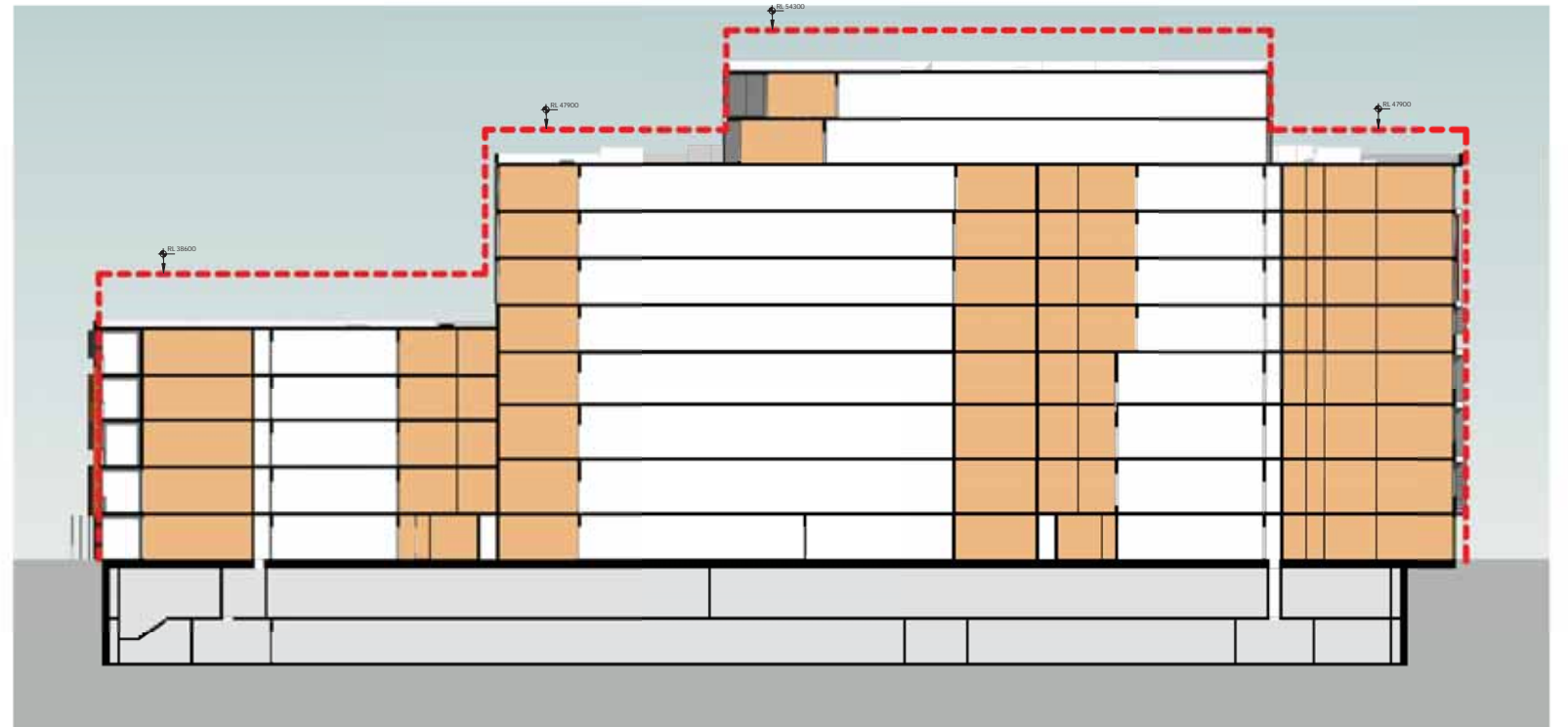


DRAWING TITLE
 SECTION STAGE 4&5
 SCALE: 1:200 @B1
 DATE: Dec 1st - 2014
 PROJECT # 10068-3
 Drawing Number
 DA-45-301/A
ROBERTSON+MARKS

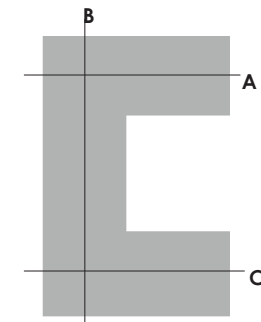
STAGE 5



SECTION A



SECTION B



RESIDENTIAL
 CORRIDORS
 CAR PARKING, STORAGE, PLANT

- - - - - APPROVED ENVELOPE
- - - - - APPROVED 60% POP-UP ENVELOPE

DA Submission

DEVELOPMENT
 APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 4 & 5

ARCHITECT
ROBERTSON+MARKS
 EST 1892
 Ground Level 11-17 Buckingham St Surry Hills 2010 Australia
 t: (+61) 2 9319 4388 e: mail@marks.net.au www.marks.net.au
 BRIAN MANN 5975 • ANDREW SCARVELIS • MARCO O. ABBONDANZA

CLIENT
HOLDMARK
 2/2-4 GIFFNOCK AV. P: (02) 9889 5540
 MACQUARIE PARK F: (02) 9888 5829
 NSW 2113
 e: info@holdmark.com.au www.holdmark.com.au

NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction.
 Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
 Internal layouts shown are indicative only for information purposes and are subject to further design development and change
 Window mullions, if shown, are indicative only
 Louvre panels, if shown, are indicative only
 All dimensions and levels shown are approximate
 Any finishes nominated are indicative only and subject to change
 Articulations shown on the façade are indicative only and are subject to further design development and change
 Storage allocations and areas are not necessarily shown on the drawings and are subject to change

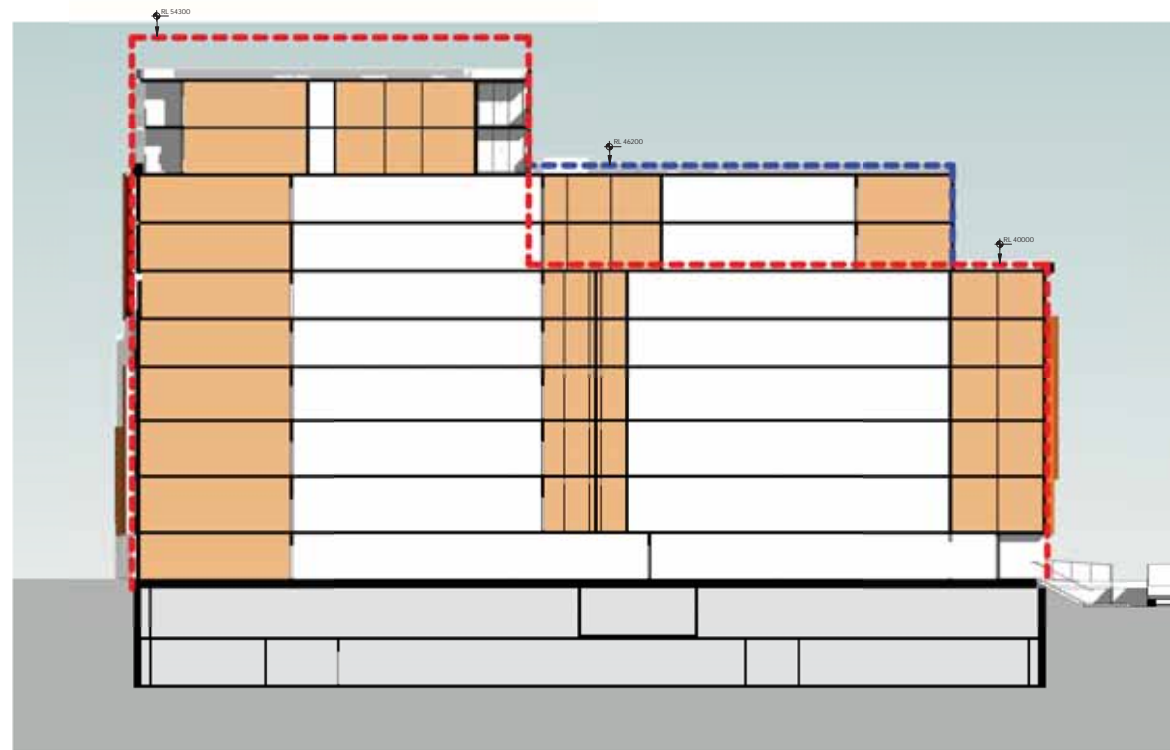
Issue	Date	Description	By
A	19/11/2014	ISSU'D FOR DA	MM



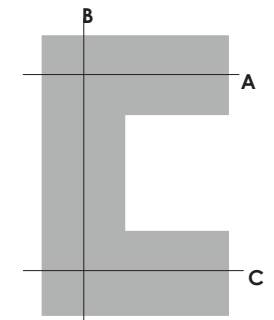
DRAWING TITLE
 STAGE 5 - SECTIONS - 1
 SCALE : As indicated @B1
 DATE : 12/08/14
 PROJECT # 10068-3
 Drawing Number
 DA-45-302/A

ROBERTSON+MARKS

STAGE 5



SECTION C



RESIDENTIAL
 CORRIDORS
 CAR PARKING, STORAGE, PLANT

----- APPROVED ENVELOPE
----- APPROVED 60% POP-UP ENVELOPE

DA Submission

DEVELOPMENT
 APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 4 & 5

ARCHITECT
ROBERTSON+MARKS
 EST 1892
 Ground Level 11-17 Buckingham St Surry Hills 2010 Australia
 t: (+61) 2 9319 4388 e: mail@marks.net.au www.marks.net.au
 BRIAN MANN 5975 • ANDREW SCARVELIS • MARCO O. ABBONDANZA

CLIENT
HOLDMARK
 2/2-4 GIFFNOCK AV. P: (02) 9889 5540
 MACQUARIE PARK F: (02) 9888 5829
 NSW 2113
 e: info@holdmark.com.au www.holdmark.com.au

NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction.
 Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
 Internal layouts shown are indicative only for information purposes and are subject to further design development and change
 Window mullions, if shown, are indicative only
 Louvre panels, if shown, are indicative only
 All dimensions and levels shown are approximate
 Any finishes nominated are indicative only and subject to change
 Articulations shown on the façade are indicative only and are subject to further design development and change
 Storage allocations and areas are not necessarily shown on the drawings and are subject to change

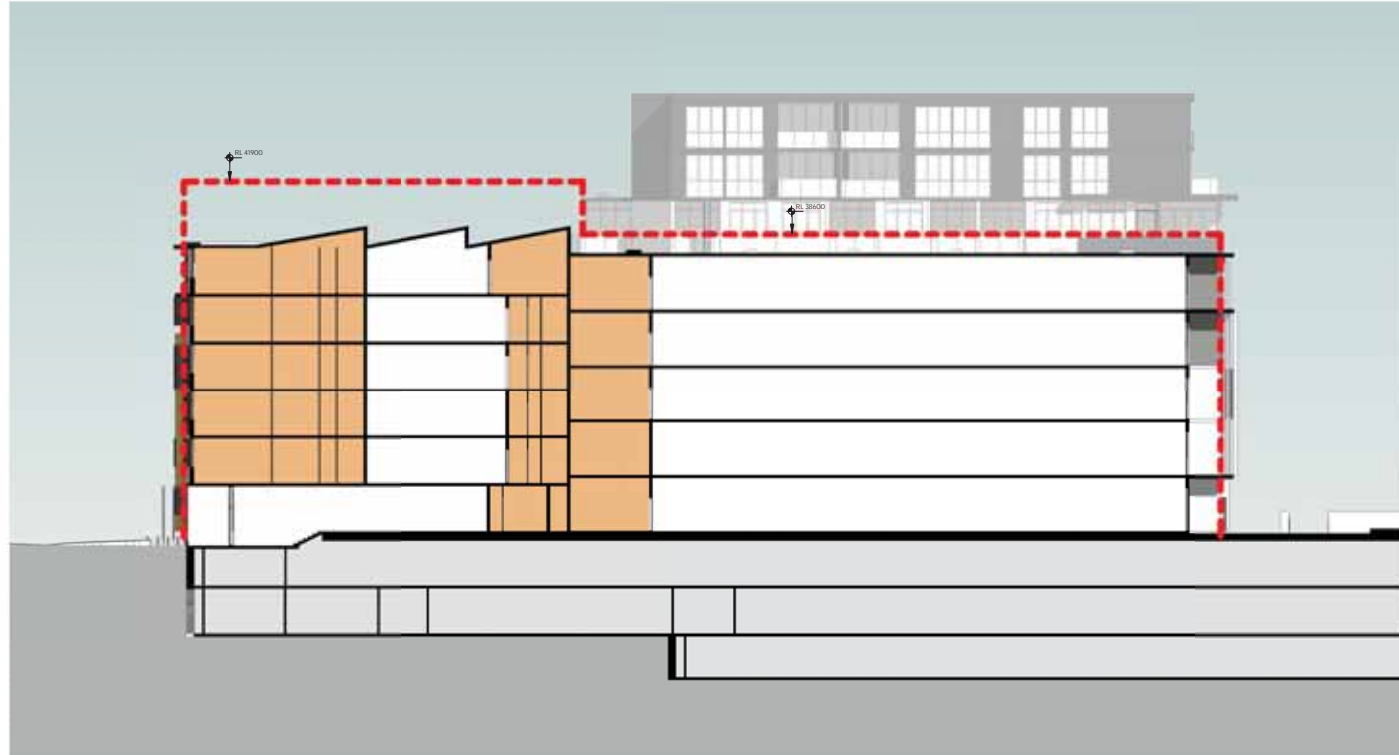
REVISIONS		By
Date	Description	
19/11/2014	ISSU D / CR DA	AMM



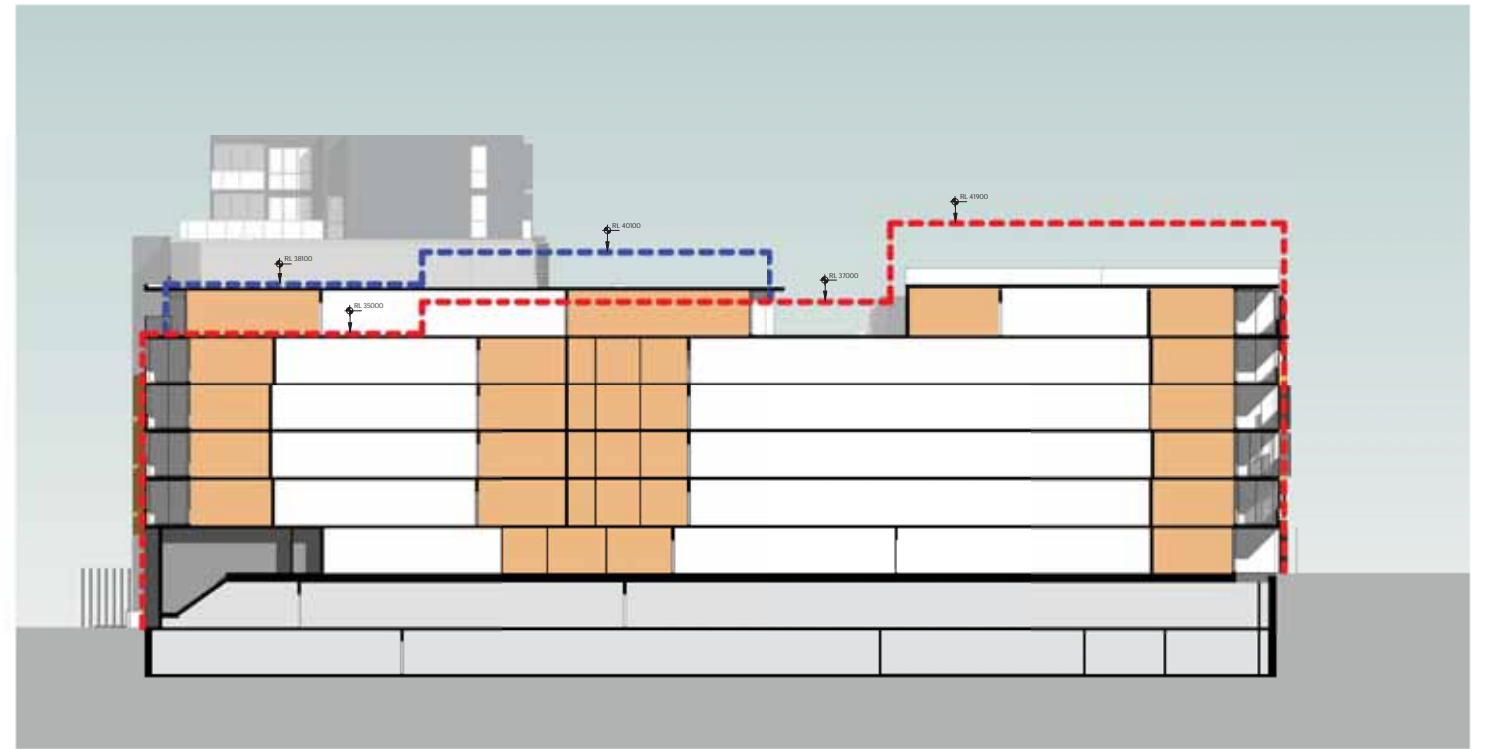
DRAWING TITLE
 STAGE 5 - SECTIONS - 2
 SCALE : As indicated @B1
 DATE : 12/16/14
 PROJECT # 10068-3
 Drawing Number
 DA-45-303/A

ROBERTSON+MARKS

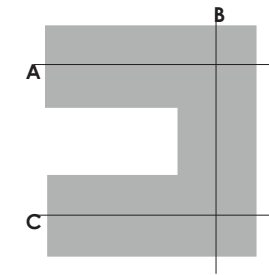
STAGE 4



SECTION A



SECTION B



RESIDENTIAL
 CORRIDORS
 CAR PARKING, STORAGE, PLANT

----- APPROVED ENVELOPE
----- APPROVED 60% POP-UP ENVELOPE

DA Submission

DEVELOPMENT
 APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 4 & 5

ARCHITECT
ROBERTSON+MARKS
 EST 1892
 Ground Level 11-17 Buckingham St Surry Hills 2010 Australia
 t: (+61) 2 9319 4388 e: mail@marks.net.au www.marks.net.au
 BRIAN MANN 5975 • ANDREW SCARVELIS • MARCO O. ABBONDANZA

CLIENT
HOLDMARK
 2/2-4 GIFFNOCK AV. P: (02) 9889 5540
 MACQUARIE PARK F: (02) 9888 5829
 NSW 2113
 e: info@holdmark.com.au www.holdmark.com.au

NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction.
 Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
 Internal layouts shown are indicative only for information purposes and are subject to further design development and change
 Window mullions, if shown, are indicative only
 Louvre panels, if shown, are indicative only
 All dimensions and levels shown are approximate
 Any finishes nominated are indicative only and subject to change
 Articulations shown on the façade are indicative only and are subject to further design development and change
 Storage allocations and areas are not necessarily shown on the drawings and are subject to change

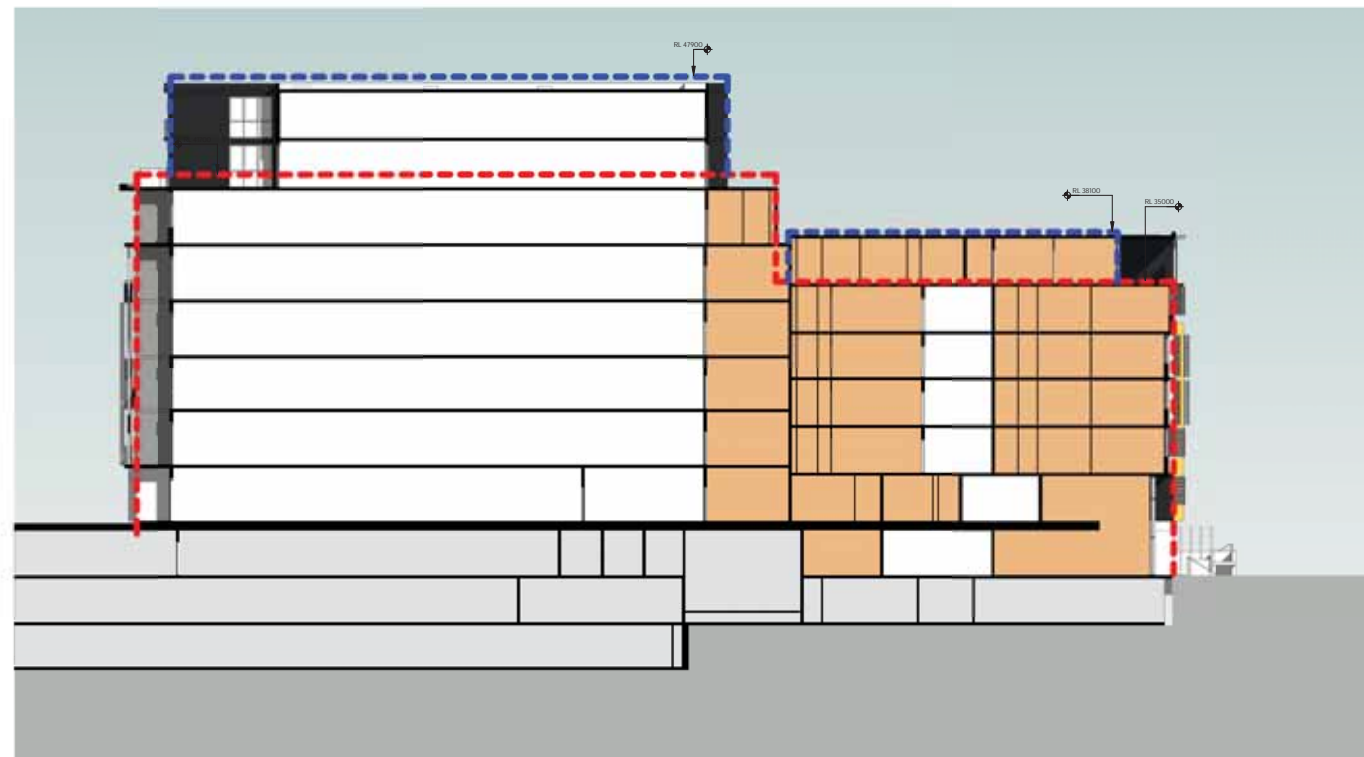
Rev	Date	Description	By
A	19/01/2014	ISSU'D FOR DA	MM



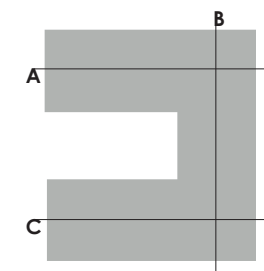
DRAWING TITLE
 STAGE 4 - SECTIONS - 1
 SCALE : As indicated @B1
 DATE : 12/08/14
 PROJECT # 10068-3
 Drawing Number
 DA-45-304/A

ROBERTSON+MARKS

STAGE 4



SECTION C



RESIDENTIAL
 CORRIDORS
 CAR PARKING, STORAGE, PLANT

- - - - - APPROVED ENVELOPE
- - - - - APPROVED 60% POP-UP ENVELOPE

DA Submission

DEVELOPMENT
 APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 4 & 5

ARCHITECT
ROBERTSON+MARKS
 EST 1892
 Ground Level 11-17 Buckingham St Surry Hills 2010 Australia
 t: (+61) 2 9319 4388 e: mail@marks.net.au www.marks.net.au
 BRIAN MANN 5975 • ANDREW SCARVELIS • MARCO O. ABBONDANZA

CLIENT
HOLDMARK
 2/2-4 GIFFNOCK AV. P: (02) 9889 5540
 MACQUARIE PARK F: (02) 9888 5829
 NSW 2113
 e: info@holdmark.com.au www.holdmark.com.au

NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction.
 Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
 Internal layouts shown are indicative only for information purposes and are subject to further design development and change
 Window mullions, if shown, are indicative only
 Louvre panels, if shown, are indicative only
 All dimensions and levels shown are approximate
 Any finishes nominated are indicative only and subject to change
 Articulations shown on the façade are indicative only and are subject to further design development and change
 Storage allocations and areas are not necessarily shown on the drawings and are subject to change

Issue	Date	Description	By
A	19/11/2014	ISSU'D FOR DA	MM



DRAWING TITLE
 STAGE 4 - SECTIONS - 2
 SCALE : As indicated @B1
 DATE : 12/16/14
 PROJECT # 10068-3
 Drawing Number
 DA-45-305/A

ROBERTSON+MARKS

Report - Stage 4 - Unit Schedule

APT #	TYPE	ORIENTATION	SOLAR	VENTILATION	EXTENSIVE GLAZING	INCREASED CEILING HEIGHT	INCREASED APARTMENT AREA	CONDITION 21 - ENHANCED AMENITY	Internal Area	External Area	Apartment #
4B01	Loft		0	0	1	1	0	0	79 m ²	19 m ²	4B01
4B02	Loft		0	0	1	1	0	0	78 m ²	19 m ²	4B02
4B03	Loft		0	0	1	1	0	0	66 m ²	13 m ²	4B03
4B04	Loft		0	1	1	1	0	0	66 m ²	13 m ²	4B04
4B05	Loft		0	1	1	1	0	0	56 m ²	14 m ²	4B05
4B06	Loft		0	0	1	1	0	0	63 m ²	21 m ²	4B06
4B07	Loft		0	0	1	1	0	0	80 m ²	19 m ²	4B07
4B08	Loft		0	0	1	1	0	0	71 m ²	20 m ²	4B08
4B09	Loft		0	0	1	1	0	0	71 m ²	21 m ²	4B09
4B10	Loft		0	0	1	1	0	0	70 m ²	21 m ²	4B10
4B11	Loft 2 Bed		1	1	1	1	0	0	85 m ²	28 m ²	4B11
4C01	Studio	NE	1	1	1	1	0	0	77 m ²	23 m ²	4C01
4C02	Studio	NE	1	0	1	1	0	0	40 m ²	14 m ²	4C02
4C03	IB	NE	1	0	1	1	0	0	51 m ²	32 m ²	4C03
4C05 ADA	IB+S	NE	1	1	1	1	0	0	55 m ²	35 m ²	4C05
4C06	2B	NE	1	1	1	1	0	0	78 m ²	36 m ²	4C06
4C07	IB+S	SW	0	1	1	1	0	0	60 m ²	32 m ²	4C07
4C08	Studio	SW	0	0	1	1	0	0	47 m ²	7 m ²	4C08
4C09	IB+S	SW	0	1	1	1	0	0	61 m ²	12 m ²	4C09
4C10	IB+S	SW	0	1	1	1	0	0	60 m ²	29 m ²	4C10
4C11	2B	SW	1	1	1	1	0	0	82 m ²	21 m ²	4C11
4C12	Studio	NE	1	0	1	1	0	0	46 m ²	33 m ²	4C12
4C13	IB	NE	1	1	1	1	0	0	50 m ²	33 m ²	4C13
4C14 ADA	2B	NE&SE	1	1	1	1	0	0	93 m ²	36 m ²	4C14
4C16	IB	SE	0	1	1	1	0	0	50 m ²	30 m ²	4C16
4C17	IB+S		0	1	1	1	0	0	55 m ²	21 m ²	4C17
4C18	Loft 2 Bed		0	0	1	1	0	0	92 m ²	24 m ²	4C18
4C20	Studio	NW	0	0	1	1	0	0	40 m ²	24 m ²	4C20
4C21	2B	NW	0	0	1	1	0	0	76 m ²	28 m ²	4C21
4C22	IB+S	NW	0	0	1	1	0	0	69 m ²	10 m ²	4C22
4C23	2B+S	NW	1	1	1	1	0	0	87 m ²	31 m ²	4C23
4C24	IB	SE	0	0	1	1	0	0	51 m ²	8 m ²	4C24
4C26	Loft		0	1	1	1	0	0	71 m ²	24 m ²	4C26
4C29	IB	NW	1	0	1	1	0	0	54 m ²	11 m ²	4C29
4C30	2B+S	NE	0	1	1	1	0	0	93 m ²	23 m ²	4C30
4C31 ADA	IB+S	SW	0	1	1	1	0	0	60 m ²	7 m ²	4C31
4C32 ADA	IB+S	SW	0	1	1	1	0	0	60 m ²	7 m ²	4C32
4C36	2B	NE&NW	1	1	1	1	0	0	83 m ²	32 m ²	4C36
4C37	Studio	NE	1	0	1	1	0	0	47 m ²	15 m ²	4C37
4C38	Studio	NE	1	0	1	1	0	0	38 m ²	10 m ²	4C38
4C39	IB	NE	1	0	1	1	0	0	52 m ²	18 m ²	4C39
4C40	IB+S	NE	1	0	1	1	0	0	55 m ²	19 m ²	4C40
4C41	2B	NE	1	0	1	1	0	0	76 m ²	18 m ²	4C41
4C42	IB	NE	1	0	1	1	0	0	51 m ²	8 m ²	4C42
4C43	IB	NE	1	0	1	1	0	0	51 m ²	8 m ²	4C43
4C44	IB+S	NE	1	1	1	1	0	0	54 m ²	7 m ²	4C44
4C46	2B	NE	1	1	1	1	0	0	80 m ²	13 m ²	4C46
4C47	IB+S	SW	0	1	1	1	0	0	60 m ²	7 m ²	4C47
4C48 ADA	IB+S	SW	0	1	1	1	0	0	61 m ²	7 m ²	4C48
4C49	IB+S	SW	0	1	1	1	0	0	60 m ²	7 m ²	4C49
4C50 ADA	IB+S	SW	0	1	1	1	0	0	60 m ²	7 m ²	4C50
4C51	2B	SW	1	1	1	1	0	0	84 m ²	12 m ²	4C51
4C52	IB+S	NE	1	0	1	1	0	0	55 m ²	7 m ²	4C52
4C53	IB	NE	1	0	1	1	0	0	49 m ²	7 m ²	4C53
4C54 ADA	2B	NE&SE	1	1	1	1	0	0	93 m ²	12 m ²	4C54
4C55	IB	SE	0	1	1	1	0	0	51 m ²	7 m ²	4C55
4C56	IB	SE	0	1	1	1	0	0	50 m ²	8 m ²	4C56
4C57	IB+S	SE	0	1	1	1	0	0	55 m ²	8 m ²	4C57
4C58	IB	SE	0	1	1	1	0	0	55 m ²	8 m ²	4C58
4C59	2B	SE	0	1	1	1	0	0	84 m ²	11 m ²	4C59
4C60 ADA	IB+S	NW	1	1	1	1	0	0	55 m ²	9 m ²	4C60
4C61	2B	NW	0	0	1	1	0	0	76 m ²	15 m ²	4C61
4C62	IB+S	NW	0	0	1	1	0	0	69 m ²	14 m ²	4C62
4C63	2B+S	NW	1	1	1	1	0	0	85 m ²	11 m ²	4C63
4C64	IB	SE	0	0	1	1	0	0	51 m ²	8 m ²	4C64
4C65	IB+S	SE	0	0	1	1	0	0	56 m ²	7 m ²	4C65
4C66	2B	SE&SW	0	1	1	1	0	0	84 m ²	11 m ²	4C66
4C67	IB	SW	0	0	1	1	0	0	51 m ²	7 m ²	4C67
4C68	IB+S	SW	0	0	1	1	0	0	61 m ²	7 m ²	4C68
4C69	IB+S	NW	1	0	1	1	0	0	68 m ²	9 m ²	4C69
4C70	2B+S	NE	1	1	1	1	0	0	87 m ²	11 m ²	4C70
4C71 ADA	IB+S	SW	0	1	1	1	0	0	60 m ²	7 m ²	4C71
4C72 ADA	IB+S	SW	0	1	1	1	0	0	60 m ²	7 m ²	4C72
4C73	IB+S	SW	0	1	1	1	0	0	60 m ²	7 m ²	4C73
4C74	IB+S	SW	0	1	1	1	0	0	60 m ²	7 m ²	4C74
4C75	2B	NW&SW	1	1	1	1	0	0	85 m ²	12 m ²	4C75
4C76	2B	NE&NW	1	1	1	1	0	0	83 m ²	11 m ²	4C76
4C77	IB	NE	1	0	1	1	0	0	51 m ²	8 m ²	4C77
4C78	IB	NE	1	0	1	1	0	0	51 m ²	8 m ²	4C78
4C79	IB	NE	1	0	1	1	0	0	52 m ²	8 m ²	4C79
4C80	IB+S	NE	1	0	1	1	0	0	55 m ²	7 m ²	4C80
4C81	2B	NE&NW	1	0	1	1	0	0	76 m ²	15 m ²	4C81
4C82	IB	NE	1	0	1	1	0	0	51 m ²	8 m ²	4C82
4C83	IB	NE	1	0	1	1	0	0	50 m ²	7 m ²	4C83
4C84	IB	NE	1	0	1	1	0	0	51 m ²	8 m ²	4C84
4C85	IB+S	NE	1	1	1	1	0	0	54 m ²	7 m ²	4C85
4C86	2B	NE	1	1	1	1	0	0	80 m ²	12 m ²	4C86
4C87	IB+S	SW	0	1	1	1	0	0	60 m ²	7 m ²	4C87
4C88 ADA	IB+S	SW	0	1	1	1	0	0	61 m ²	7 m ²	4C88
4C89	IB+S	SW	0	1	1	1	0	0	60 m ²	7 m ²	4C89
4C90	IB+S	SW	0	1	1	1	0	0	60 m ²	7 m ²	4C90
4C91	2B	NW&SW	1	1	1	1	0	0	84 m ²	12 m ²	4C91
4C92	IB+S	NE	1	0	1	1	0	0	55 m ²	8 m ²	4C92
4C93	IB	NE	1	0	1	1	0	0	49 m ²	7 m ²	4C93
4C94 ADA	2B	NE&SE	1	1	1	1	0	0	93 m ²	11 m ²	4C94
4C95	IB	SE	0	1	1	1	0	0	51 m ²	7 m ²	4C95
4C96	IB	SE	0	1	1	1	0	0	50 m ²	8 m ²	4C96
4C97	IB+S	SE	0	1	1	1	0	0	55 m ²	8 m ²	4C97
4C98	IB	SE	0	1	1	1	0	0	55 m ²	8 m ²	4C98
4C99	2B	SE	0	1	1	1	0	0	84 m ²	11 m ²	4C99
4C100 ADA	IB+S	NW	1	1	1	1	0	0	55 m ²	9 m ²	4C100
4C101	2B	NW	1	1	1	1	0	0	76 m ²	15 m ²	4C101
4C102	IB+S	NW	0	0	1	1	0	0	69 m ²	13 m ²	4C102
4C103	2B+S	NW	1	1	1	1	0	0	85 m ²	11 m ²	4C103
4C104	IB	SE	0	0	1	1	0	0	51 m ²	8 m ²	4C104
4C105	IB+S	SE	0	0	1	1	0	0	56 m ²	7 m ²	4C105
4C106	2B	SE	0	1	1	1	0	0	84 m ²	11 m ²	4C106
4C107	IB+S	SW	0	1	1	1	0	0	61 m ²	7 m ²	4C107
4C108 ADA	IB+S	SW	0	1	1	1	0	0	61 m ²	7 m ²	4C108
4C109	IB+S	SW	0	1	1	1	0	0	60 m ²	7 m ²	4C109
4C110 ADA	IB+S	SW	0	1	1	1	0	0	60 m ²	7 m ²	4C110
4C111	2B	SW	1	1	1	1	0	0	84 m ²	12 m ²	4C111
4C112	IB+S	NE	1	0	1	1	0	0	55 m ²	7 m ²	4C112
4C113	IB	NE	1	0	1	1	0	0	49 m ²	7 m ²	4C113
4C114 ADA	2B	NE&SE	1	1	1	1	0	0	93 m ²	12 m ²	4C114
4C115	IB	SE	0	1	1	1	0	0	51 m ²	7 m ²	4C115
4C116	IB	SE	0	1	1	1	0	0	50 m ²	8 m ²	4C116
4C117	IB+S	SE	0	1	1	1	0	0	55 m ²	8 m ²	4C117
4C118	IB+S	SE	0	1	1	1	0	0	55 m ²	8 m ²	4C118
4C119	2B	SE	0	1	1	1	0	0	84 m ²	11 m ²	4C119
4C120 ADA	IB+S	NW	1	1	1	1	0	0	55 m ²	9 m ²	4C120
4C121	2B	NW	0	0	1	1	0	0	76 m ²	15 m ²	

Report - Stage 5 - Unit Schedule

APT #	TYPE	ORIENTATION	SOLAR	VENTILATION	EXTENSIVE GLAZING	INCREASED CEILING HEIGHT	INCREASED APARTMENT AREA	CONDITION 21 - ENHANCED AMENITY	Internal Area	External Area	Apartment #
5001	IB-S	NE	1	1	1	1	32 m ²	0	62 m ²	25 m ²	5001
5002	IB-S	NE	1	1	1	1	32 m ²	0	62 m ²	25 m ²	5002
5003	IB	NE	1	1	1	1	25 m ²	0	54 m ²	26 m ²	5003
5004	IB-S	NE	1	1	1	1	25 m ²	0	54 m ²	26 m ²	5004
5005	IB-S	NE	1	1	1	1	25 m ²	0	54 m ²	26 m ²	5005
5006	IB-S	NE	1	1	1	1	25 m ²	0	54 m ²	26 m ²	5006
5007	IB	NE	1	1	1	1	25 m ²	0	54 m ²	26 m ²	5007
5008	IB-S	NE	1	1	1	1	25 m ²	0	54 m ²	26 m ²	5008
5009	IB-S	NE	1	1	1	1	25 m ²	0	54 m ²	26 m ²	5009
5010	2B	SW	0	1	1	1	0	1	84 m ²	25 m ²	5010
5011	IB	SW	0	1	1	1	24 m ²	0	65 m ²	10 m ²	5011
5012	IB	SW	0	1	1	1	20 m ²	0	51 m ²	20 m ²	5012
5013	2B	SW	0	1	1	1	0	1	79 m ²	27 m ²	5013
5014	IB-S	SW	0	1	1	1	0	1	65 m ²	14 m ²	5014
5015	IB-S	SW	0	1	1	1	0	1	50 m ²	13 m ²	5015
5016	Studio	NW	1	0	1	1	0	0	57 m ²	7 m ²	5016
5017	IB-S	NW	1	0	1	1	0	0	84 m ²	10 m ²	5017
5018	2B	NW	0	1	1	1	0	0	88 m ²	12 m ²	5018
5019	IB-S	SE	0	1	1	1	0	0	55 m ²	7 m ²	5019
5020	2B	SE	0	1	1	1	0	0	79 m ²	26 m ²	5020
5021	Studio	SE	0	0	1	1	0	0	40 m ²	23 m ²	5021
5022	2B	NW	1	1	1	1	0	0	79 m ²	11 m ²	5022
5023	2B	NW	1	1	1	1	0	0	81 m ²	13 m ²	5023
5024	IB-S	NW	1	0	1	1	0	0	54 m ²	7 m ²	5024
5025	IB-S	NW	1	0	1	1	0	0	45 m ²	7 m ²	5025
5026	IB-S	NE	0	1	1	1	0	0	65 m ²	7 m ²	5026
5027	2B	NE	0	0	1	1	0	0	79 m ²	27 m ²	5027
5028	IB	NE	0	0	1	1	0	0	51 m ²	21 m ²	5028
5029	IB	NE	1	0	1	1	0	0	66 m ²	23 m ²	5029
5030	2B	NE	0	1	1	1	0	0	84 m ²	26 m ²	5030
5031	2B	SW	0	1	1	1	0	0	84 m ²	32 m ²	5031
5032	IB-S	SW	0	0	1	1	0	0	60 m ²	26 m ²	5032
5033	Studio	SW	0	0	1	1	0	0	48 m ²	21 m ²	5033
5034	IB-S	SW	0	0	1	1	0	0	65 m ²	15 m ²	5034
5035	IB-S	SW	0	0	1	1	0	0	53 m ²	27 m ²	5035
5036	IB-S	SW	0	0	1	1	0	0	90 m ²	31 m ²	5036
5037	IB	NW	1	0	1	1	0	0	51 m ²	7 m ²	5037
5038	Studio	NW	1	0	1	1	0	0	48 m ²	10 m ²	5038
5039	IB-S	NE	1	1	1	1	0	0	62 m ²	9 m ²	5039
5040	IB-S	NE	1	1	1	1	0	0	53 m ²	7 m ²	5040
5041	IB	NE	1	0	1	1	0	0	51 m ²	7 m ²	5041
5042	IB-S	NE	1	1	1	1	0	0	51 m ²	7 m ²	5042
5043	IB	NE	1	0	1	1	0	0	51 m ²	7 m ²	5043
5044	IB	NE	1	0	1	1	0	0	51 m ²	7 m ²	5044
5045	IB-S	NE	1	1	1	1	0	0	56 m ²	7 m ²	5045
5046	IB-S	NE	1	1	1	1	0	0	55 m ²	7 m ²	5046
5047	IB	NE	1	0	1	1	0	0	51 m ²	7 m ²	5047
5048	IB-S	NE	1	1	1	1	0	0	56 m ²	7 m ²	5048
5049	IB-S	NE	1	1	1	1	0	0	65 m ²	7 m ²	5049
5050	2B-S	SW	1	1	1	1	0	0	88 m ²	12 m ²	5050
5051	IB	SW	1	0	1	1	0	0	55 m ²	7 m ²	5051
5052	IB	SW	1	0	1	1	0	0	56 m ²	7 m ²	5052
5053	IB-S	SW	0	0	1	1	0	0	50 m ²	8 m ²	5053
5054	IB-S	SW	0	0	1	1	0	0	50 m ²	8 m ²	5054
5055	IB-S	SW	0	0	1	1	0	0	50 m ²	8 m ²	5055
5056	IB-S	SW	0	0	1	1	0	0	50 m ²	8 m ²	5056
5057	IB-S	SW	0	0	1	1	0	0	50 m ²	8 m ²	5057
5058	IB-S	SW	0	0	1	1	0	0	50 m ²	8 m ²	5058
5059	IB-S	SW	0	0	1	1	0	0	50 m ²	8 m ²	5059
5060	IB-S	SW	0	0	1	1	0	0	50 m ²	8 m ²	5060
5061	IB-S	SW	0	0	1	1	0	0	50 m ²	8 m ²	5061
5062	IB-S	SW	0	0	1	1	0	0	50 m ²	8 m ²	5062
5063	IB-S	SW	0	0	1	1	0	0	50 m ²	8 m ²	5063
5064	IB-S	SW	0	0	1	1	0	0	50 m ²	8 m ²	5064
5065	IB-S	SW	0	0	1	1	0	0	50 m ²	8 m ²	5065
5066	IB-S	SW	0	0	1	1	0	0	50 m ²	8 m ²	5066
5067	IB-S	SW	0	0	1	1	0	0	50 m ²	8 m ²	5067
5068	IB-S	SW	0	0	1	1	0	0	50 m ²	8 m ²	5068
5069	IB-S	SW	0	0	1	1	0	0	50 m ²	8 m ²	5069
5070	IB-S	SW	0	0	1	1	0	0	50 m ²	8 m ²	5070
5071	IB-S	SW	0	0	1	1	0	0	50 m ²	8 m ²	5071
5072	IB-S	SW	0	0	1	1	0	0	50 m ²	8 m ²	5072
5073	IB-S	SW	0	0	1	1	0	0	50 m ²	8 m ²	5073
5074	IB-S	SW	0	0	1	1	0	0	50 m ²	8 m ²	5074
5075	IB-S	SW	0	0	1	1	0	0	50 m ²	8 m ²	5075
5076	IB-S	SW	0	0	1	1	0	0	50 m ²	8 m ²	5076
5077	IB-S	SW	0	0	1	1	0	0	50 m ²	8 m ²	5077
5078	IB-S	SW	0	0	1	1	0	0	50 m ²	8 m ²	5078
5079	IB-S	SW	0	0	1	1	0	0	50 m ²	8 m ²	5079
5080	IB-S	SW	0	0	1	1	0	0	50 m ²	8 m ²	5080
5081	IB-S	SW	0	0	1	1	0	0	50 m ²	8 m ²	5081
5082	IB-S	SW	0	0	1	1	0	0	50 m ²	8 m ²	5082
5083	IB-S	SW	0	0	1	1	0	0	50 m ²	8 m ²	5083
5084	IB-S	SW	0	0	1	1	0	0	50 m ²	8 m ²	5084
5085	IB-S	SW	0	0	1	1	0	0	50 m ²	8 m ²	5085
5086	IB-S	SW	0	0	1	1	0	0	50 m ²	8 m ²	5086
5087	IB-S	SW	0	0	1	1	0	0	50 m ²	8 m ²	5087
5088	IB-S	SW	0	0	1	1	0	0	50 m ²	8 m ²	5088
5089	IB-S	SW	0	0	1	1	0	0	50 m ²	8 m ²	5089
5090	IB-S	SW	0	0	1	1	0	0	50 m ²	8 m ²	5090
5091	IB-S	SW	0	0	1	1	0	0	50 m ²	8 m ²	5091
5092	IB-S	SW	0	0	1	1	0	0	50 m ²	8 m ²	5092
5093	IB-S	SW	0	0	1	1	0	0	50 m ²	8 m ²	5093
5094	IB-S	SW	0	0	1	1	0	0	50 m ²	8 m ²	5094
5095	IB-S	SW	0	0	1	1	0	0	50 m ²	8 m ²	5095
5096	IB-S	SW	0	0	1	1	0	0	50 m ²	8 m ²	5096
5097	IB-S	SW	0	0	1	1	0	0	50 m ²	8 m ²	5097

Report - Stage 5 - Unit Schedule

APT #	TYPE	ORIENTATION	SOLAR	VENTILATION	EXTENSIVE GLAZING	INCREASED CEILING HEIGHT	INCREASED APARTMENT AREA	CONDITION 21 - ENHANCED AMENITY	Internal Area	External Area	Apartment #
5128	IB-S	NE	0	0	1	1	0	0	52 m ²	8 m ²	5128
5129	IB	NE	1	0	1	1	0	0	50 m ²	7 m ²	5129
5130	IB	NE	1	0	1	1	0	0	50 m ²	7 m ²	5130
5131	2B-S	NE	1	1	1	1	0	0	89 m ²	13 m ²	5131
5132	2B-S	SW	0	1	1	1	0	0	89 m ²	12 m ²	5132
5133	IB	SW	0	0	1	1	0	0	55 m ²	8 m ²	5133
5134	IB-S	SW	0	1	1	1	0	0	60 m ²	8 m ²	5134
5135	IB-S	SW	0	1	1	1	0	0	64 m ²	8 m ²	5135
5136	IB	SW	0	1	1	1	0	0	66 m ²	8 m ²	5136
5137	IB-S	SW	0	1	1	1	0	0	64 m ²	7 m ²	5137
5138	IB-S	SW	0	1	1	1	0	0	62 m ²	7 m ²	5138
5139	ADA	2B	NW	1	1	1	0	0	90 m ²	12 m ²	5139
5140	IB-S	NW	1	0	1	1	0	0	51 m ²	7 m ²	5140
5141	IB-S	NW	1	0	1	1	0	0	65 m ²	7 m ²	5141
5142	IB-S	NE	1	1	1	1	0	0	62 m ²	9 m ²	5142
5143	IB-S	NE	1	1	1	1	0	0	53 m ²	7 m ²	5143
5144	IB-S	NE	1	1	1	1	0	0	51 m ²	7 m ²	5144
5145	IB-S	NE	1	1	1	1	0	0	56 m ²	7 m ²	5145
5146	IB-S	NE	1	1	1	1	0	0	55 m ²	7 m ²	5146
5147	IB	NE	1	0	1	1	0	0	51 m ²	7 m ²	5147
5148	IB-S	NE	1	1	1	1	0	0	56 m ²	7 m ²	5148
5149	IB-S	NE	1	1	1	1	0	0	65 m ²	7 m ²	5149
5150	2B-S	SW	1	1	1	1	0	0</			



① Shadow June 21 - 0900Hrs



② Shadow June 21 - 1200Hrs



③ Shadow June 21 - 1500Hrs

DA Submission

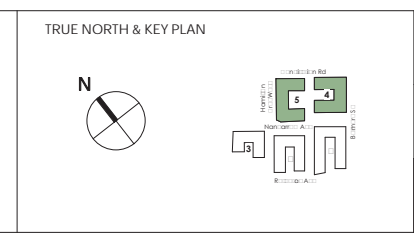
DEVELOPMENT APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 4 & 5

ARCHITECT
ROBERTSON+MARKS
 EST 1892
 Ground Level 11-17 Buckingham St Surry Hills 2010 Australia
 t: (+61) 2 9319 4388 e: mail@marks.net.au www.marks.net.au
 BRIAN MANN 5975 • ANDREW SCARVELIS • MARCO O. ABBONDANZA

CLIENT
HOLDMARK
 2/2-4 GIFFNOCK AV, MACQUARIE PARK NSW 2113
 P: (02) 9889 5540 F: (02) 9888 5829
 e: info@holdmark.com.au www.holdmark.com.au

NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction. Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved. Internal layouts shown are indicative only for information purposes and are subject to further design development and change
 Window mullions, if shown, are indicative only
 Louvre panels, if shown, are indicative only
 All dimensions and levels shown are approximate
 Any finishes nominated are indicative only and subject to change
 Articulations shown on the façade are indicative only and are subject to further design development and change
 Storage allocations and areas are not necessarily shown on the drawings and are subject to change

REVISIONS		Dr	
Issue	Date	Description	
A	19/01/2014	ISSU'D FOR DA	MM

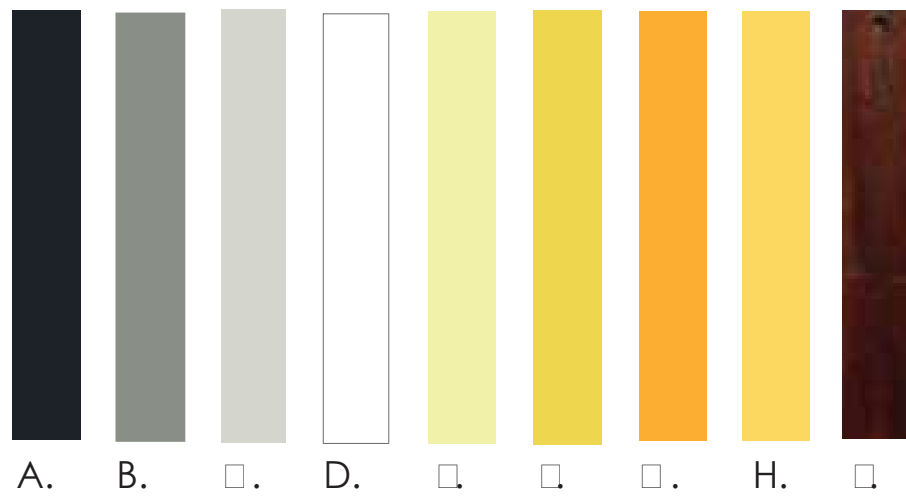


DRAWING TITLE
 STAGE 4&5 - SHADOW DIAGRAMS
 SCALE : @B1
 DATE : 12/03/14
 PROJECT # 10068-3
 Drawing Number
 DA-45-600/A
ROBERTSON+MARKS

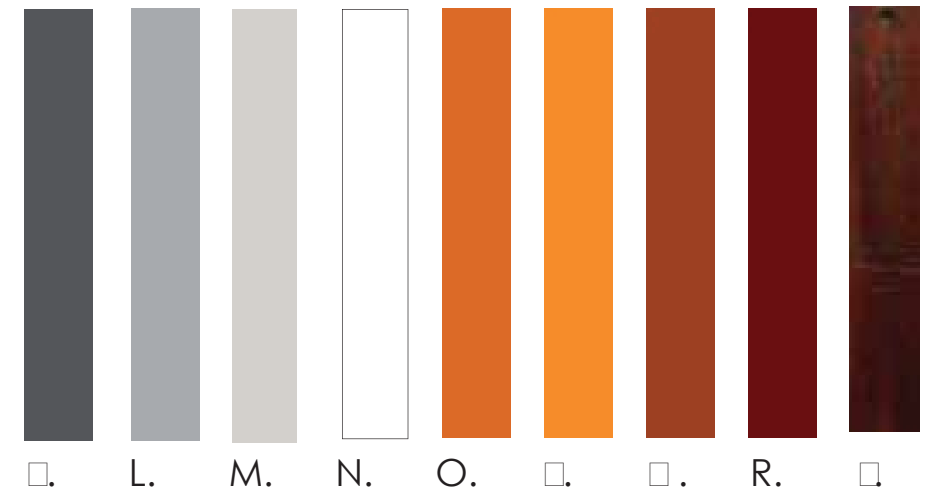
INTERNAL FINISHES

1. SANDSTONE LANDSCAPE
 2. RUSTIC LINED TIMBER AWNINGS PATTERNS
 3. IN OR SIMILAR LADDING
 4. ALUMINIUM LADDING WALLS RAMS SLABS
 5. CROWN MOAT WINDOW RAMS BALUSTRADS
 6. LADD BRICKS BALUSTRADS
 7. GLASS BALUSTRADS
- A. H. OR R. PAINT

STAGE 4 COLOUR palette



STAGE 5 COLOUR palette



4. 5.



4. 5. PAINT FINISH



5.



3.



2. 4.



1.



1 500 of P4&5 Basement 1
1 : 325



2 500 of P4&5 Ground Level
1 : 325

Legend

- Daylight Access
- Natural Ventilation
- SEPP65 Enhanced Amenity*
- Cond 21 - SEPP65 Enhanced Amenity* + Natural Ventilation

Stage 4 & 5 - SEPP65 Enhanced Amenity Schedule

Stage 4 & 5 - MP 09_0216		Stage 4	%	Stage 5	%	Total	%
Total Apartments		234		277		511	
Daylight Access		130	55.56%	158	57.04%	288	56.36%
Natural Ventilation		153	65.38%	147	53.07%	300	58.71%
SEPP65 Enhanced Amenity*		68	29.06%	46	16.61%	114	22.31%
Cond 21 - SEPP65 Enhanced Amenity* + Natural Ventilation		39	16.67%	36	13.00%	75	14.68%
Cond 21 - SEPP65 Enhanced Amenity* + Natural Ventilation + Daylight Access		169	72.22%	194	70.04%	363	71.04%

*SEPP65 Enhanced Amenity Conditions
 -Extensive Glazing (minimum 70% of the external façade) to living rooms.
 -20% Increase to floor to ceiling height.
 -20% Increase to floor to apartment areas.

DA Submission

DEVELOPMENT APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 4 & 5

ARCHITECT
ROBERTSON+MARKS
 EST 1892
 Ground Level 11-17 Buckingham St Surry Hills 2010 Australia
 t: (+61) 2 9319 4388 e: mail@marks.net.au www.marks.net.au
 BRIAN MANN 5975 • ANDREW SCARVELIS • MARCO O. ABBONDANZA

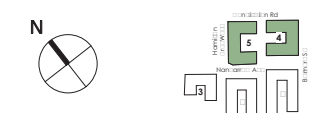
CLIENT
HOLDMARK
 2/2-4 GIFFNOCK AV, MACQUARIE PARK NSW 2113
 P: (02) 9889 5540 F: (02) 9888 5829
 e: info@holdmark.com.au www.holdmark.com.au

NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction.
 Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
 Internal layouts shown are indicative only for information purposes and are subject to further design development and change
 Window mullions, if shown, are indicative only
 Louvre panels, if shown, are indicative only
 All dimensions and levels shown are approximate
 Any finishes nominated are indicative only and subject to change
 Articulations shown on the façade are indicative only and are subject to further design development and change
 Storage allocations and areas are not necessarily shown on the drawings and are subject to change

REVISIONS

Issue	Date	Description	By
A	19/11/2014	ISSU'D FOR DA	MM

TRUE NORTH & KEY PLAN



DRAWING TITLE
 STAGE 4&5 - Amenities Sheet 1
 SCALE : As indicated @B1 Drawing Number
 DATE : 12/14/14 DA-45-801/A
 PROJECT # 10068-3

ROBERTSON+MARKS



Legend

- Daylight Access
- Natural Ventilation
- SEPP65 Enhanced Amenity*
- Cond 21 - SEPP65 Enhanced Amenity* + Natural Ventilation

Stage 4 & 5 - SEPP65 Enhanced Amenity Schedule

Stage 4 & 5 - MP 09_0216		Stage 4		Stage 5		Total	
Total Apartments		234	%	277	%	511	%
Daylight Access	130	55.56%	158	57.04%	288	56.36%	
Natural Ventilation	153	65.38%	147	53.07%	300	58.71%	
SEPP65 Enhanced Amenity*	68	29.06%	46	16.61%	114	22.31%	
Cond 21 - SEPP65 Enhanced Amenity* + Natural Ventilation	39	16.67%	36	13.00%	75	14.68%	
Cond 21 - SEPP65 Enhanced Amenity* + Natural Ventilation + Daylight Access	169	72.22%	194	70.04%	363	71.04%	

*SEPP65 Enhanced Amenity Conditions
 -Extensive Glazing (minimum 70% of the external façade) to living rooms.
 -20% Increase to floor to ceiling height.
 -20% Increase to floor to apartment areas.

DA Submission

DEVELOPMENT APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 4 & 5

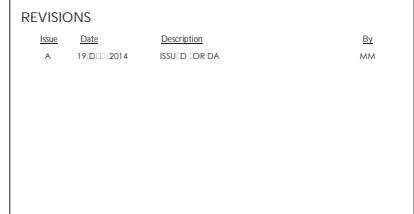
ARCHITECT
ROBERTSON + MARKS
 EST 1892
 Ground Level 11-17 Buckingham St Surry Hills 2010 Australia
 t: (+61) 2 9319 4388 e: mail@marks.net.au www.marks.net.au
 BRIAN MANN 5975 • ANDREW SCARVELIS • MARCO O. ABBONDANZA

CLIENT
HOLDMARK
 2/2-4 GIFFNOCK AV, MACQUARIE PARK NSW 2113
 P: (02) 9889 5540 F: (02) 9888 5829
 e: info@holdmark.com.au www.holdmark.com.au

NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction. Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved. Internal layouts shown are indicative only for information purposes and are subject to further design development and change Window mullions, if shown, are indicative only Louvre panels, if shown, are indicative only All dimensions and levels shown are approximate Any finishes nominated are indicative only and subject to change Articulations shown on the façade are indicative only and are subject to further design development and change Storage allocations and areas are not necessarily shown on the drawings and are subject to change

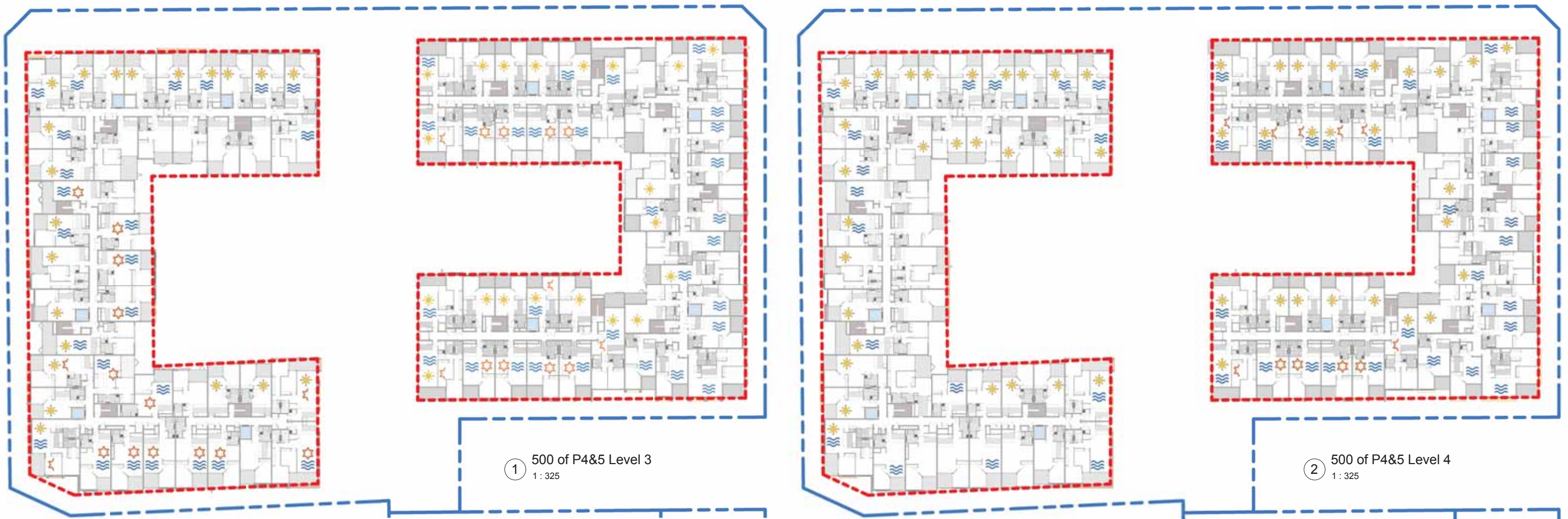
REVISIONS

Issue	Date	Description	By
A	19/11/2014	ISSU'D FOR DA	MM



DRAWING TITLE
STAGE 4&5 - Amenities Sheet 2
 SCALE : As indicated @B1 Drawing Number
 DATE : 12/14/14 DA-45-802/A
 PROJECT # 10068-3

ROBERTSON + MARKS



Stage 4 & 5 - SEPP65 Enhanced Amenity Schedule

Stage 4 & 5 - MP 09_0216		Stage 4	Stage 5	Total	
Total Apartments		234	277	511	%
Daylight Access		130	158	288	56.36%
Natural Ventilation		153	147	300	58.71%
SEPP65 Enhanced Amenity*		68	46	114	22.31%
Cond 21 - SEPP65 Enhanced Amenity* + Natural Ventilation		39	36	75	14.68%
Cond 21 - SEPP65 Enhanced Amenity* + Natural Ventilation + Daylight Access		169	194	363	71.04%

*SEPP65 Enhanced Amenity Conditions
 -Extensive Glazing (minimum 70% of the external façade) to living rooms.
 -20% Increase to floor to ceiling height.
 -20% Increase to floor to apartment areas.

Legend

- Daylight Access
- Natural Ventilation
- SEPP65 Enhanced Amenity*
- Cond 21 - SEPP65 Enhanced Amenity* + Natural Ventilation

DA Submission

DEVELOPMENT APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 4 & 5

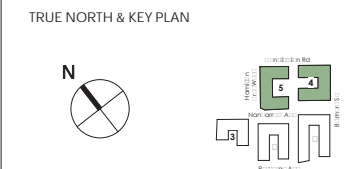
ARCHITECT
ROBERTSON + MARKS
 EST 1892
 Ground Level 11-17 Buckingham St Surry Hills 2010 Australia
 t: (+61) 2 9319 4388 e: mail@marks.net.au www.marks.net.au
 BRIAN MANN 5975 • ANDREW SCARVELIS • MARCO O. ABBONDANZA

CLIENT
HOLDMARK
 2/2-4 GIFFNOCK AV, P: (02) 9889 5540
 MACQUARIE PARK F: (02) 9888 5829
 NSW 2113
 e: info@holdmark.com.au www.holdmark.com.au

NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction.
 Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
 Internal layouts shown are indicative only for information purposes and are subject to further design development and change
 Window mullions, if shown, are indicative only
 Louvre panels, if shown, are indicative only
 All dimensions and levels shown are approximate
 Any finishes nominated are indicative only and subject to change
 Articulations shown on the façade are indicative only and are subject to further design development and change
 Storage allocations and areas are not necessarily shown on the drawings and are subject to change

REVISIONS

No	Date	Description	By
A	19/11/2014	ISSU'D FOR DA	MM







DRAWING TITLE
 STAGE 4&5 - Amenities Sheet 3
 SCALE : As indicated @B1
 DATE : 12/17/14
 PROJECT # 10068-3
 Drawing Number
 DA-45-803/A



① 500 of P4&5 Level 5
1 : 325

② 500 of P4&5 Level 6
1 : 325

Legend

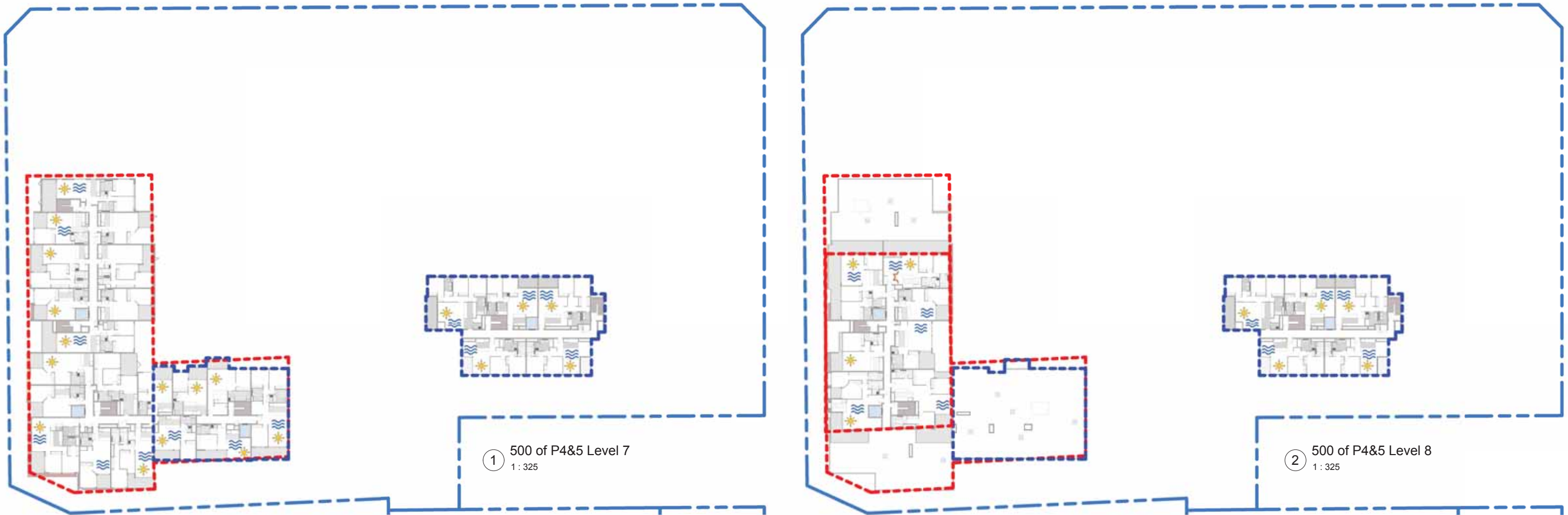
-  Daylight Access
-  Natural Ventilation
-  SEPP65 Enhanced Amenity*
-  Cond 21 - SEPP65 Enhanced Amenity* + Natural Ventilation

Stage 4 & 5 - SEPP65 Enhanced Amenity Schedule

Stage 4 & 5 - MP_09_0216		Stage 4		Stage 5		Total	
Total Apartments		234	%	277	%	511	%
Daylight Access		130	55.56%	158	57.04%	288	56.36%
Natural Ventilation		153	65.38%	147	53.07%	300	58.71%
SEPP65 Enhanced Amenity*		68	29.06%	46	16.61%	114	22.31%
Cond 21 - SEPP65 Enhanced Amenity* + Natural Ventilation		39	16.67%	36	13.00%	75	14.68%
Cond 21 - SEPP65 Enhanced Amenity* + Natural Ventilation + Daylight Access		169	72.22%	194	70.04%	363	71.04%

*SEPP65 Enhanced Amenity Conditions
 -Extensive Glazing (minimum 70% of the external façade) to living rooms.
 -20% Increase to floor to ceiling height.
 -20% Increase to floor to apartment areas.

DA Submission



Stage 4 & 5 - SEPP65 Enhanced Amenity Schedule

Stage 4 & 5 - MP 09_0216		Stage 4	Stage 5	Total	
Total Apartments		234	277	511	
Daylight Access		130	158	288	56.36%
Natural Ventilation		153	147	300	58.71%
SEPP65 Enhanced Amenity*		68	46	114	22.31%
Cond 21 - SEPP65 Enhanced Amenity* + Natural Ventilation		39	36	75	14.68%
Cond 21 - SEPP65 Enhanced Amenity* + Natural Ventilation + Daylight Access		169	194	363	71.04%

*SEPP65 Enhanced Amenity Conditions
 -Extensive Glazing (minimum 70% of the external façade) to living rooms.
 -20% Increase to floor to ceiling height.
 -20% Increase to floor to apartment areas.

Legend





- Daylight Access
- Natural Ventilation
- SEPP65 Enhanced Amenity*
- Cond 21 - SEPP65 Enhanced Amenity* + Natural Ventilation

DA Submission



① 500 of P4&5 Level 9
1 : 325

Legend

-  Daylight Access
-  Natural Ventilation
-  SEPP65 Enhanced Amenity*
-  Cond 21 - SEPP65 Enhanced Amenity* + Natural Ventilation

Stage 4 & 5 - SEPP65 Enhanced Amenity Schedule

Stage 4 & 5 - MP 09_0216		Stage 4	Stage 5	Total	
Total Apartments		234	277	511	
Daylight Access		130	158	288	56.36%
Natural Ventilation		153	147	300	58.71%
SEPP65 Enhanced Amenity*		68	46	114	22.31%
Cond 21 - SEPP65 Enhanced Amenity* + Natural Ventilation		39	36	75	14.68%
Cond 21 - SEPP65 Enhanced Amenity* + Natural Ventilation + Daylight Access		169	194	363	71.04%

*SEPP65 Enhanced Amenity Conditions
 -Extensive Glazing (minimum 70% of the external façade) to living rooms.
 -20% Increase to floor to ceiling height.
 -20% Increase to floor to apartment areas.

DA Submission

1. SHEPHERDS BAY URBAN RENEWAL

CONSTRAINTS AND OPPORTUNITIES

LEGEND:

-  Disconnected road links
-  Existing/approved new high density residential development adjacent to site.
-  Noise Pollution
-  Increased vehicular traffic onto site
-  Maintaining views to water from neighbouring residential properties.
-  Existing buildings blocking views.
-  Lowering of Constitution Road to prevent future potential road failure due to stormwater banking to the north (Ann Thorn Park).
-  Site

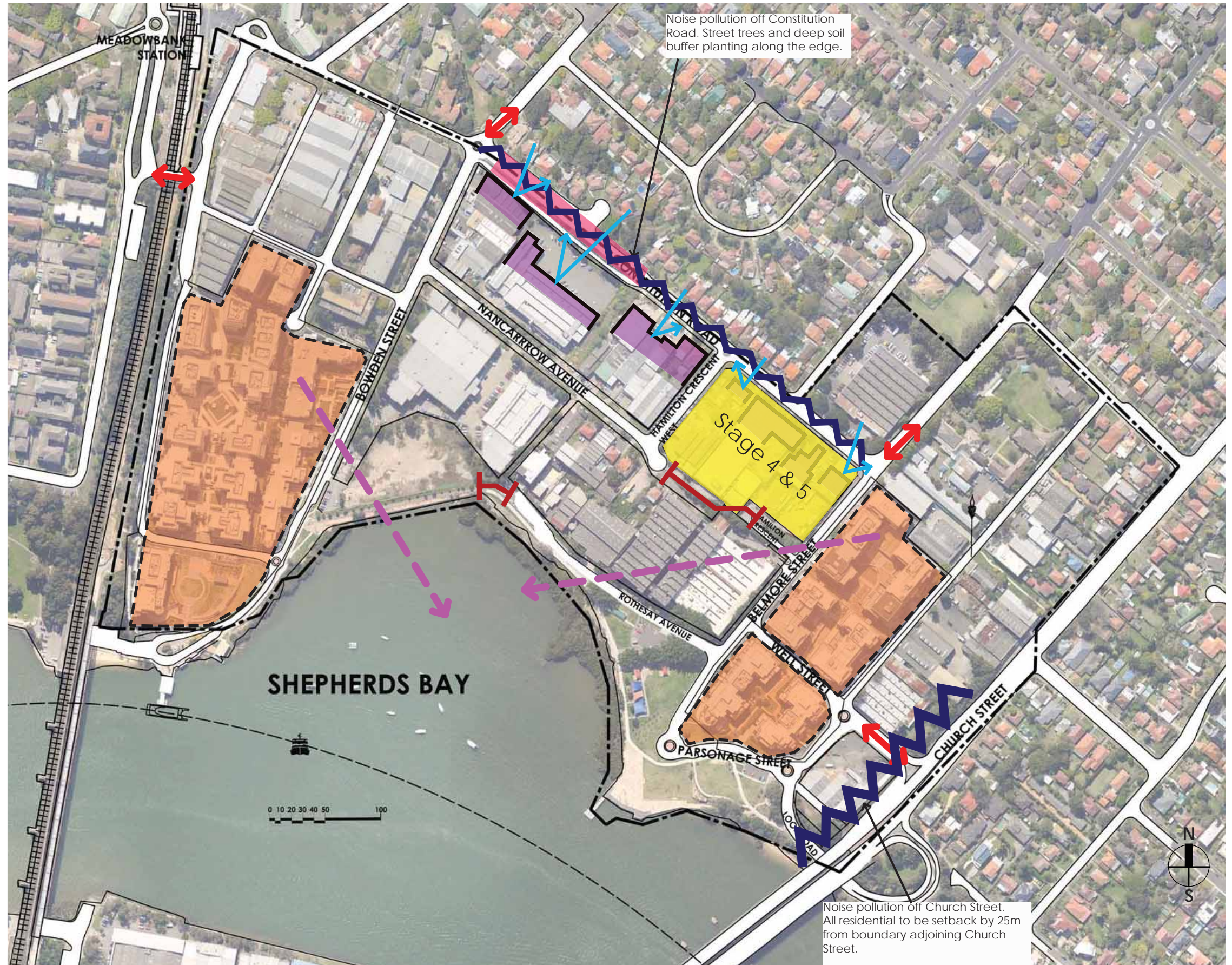














FIGURE 1. CONTRAINTS ANALYSIS

2. SHEPHERDS BAY URBAN RENEWAL

CONSTRAINTS AND OPPORTUNITIES

LEGEND:

-  Main Public Square at topmost ridge on site
-  Extension and completion of Foreshore public park
-  Pedestrian access
-  Foreshore pedestrian access
-  Foreshore bicycle link
-  New Through roads
-  Public Transport: Buses network
-  Bus Stop
-  Public Transport: Train line/Meadowbank Railway Station
-  Public Transport: Ferry line on Parramatta River
-  Prevailing winds from South West - cooler winds
-  Prevailing winds from North West - warmer winds
-  Site

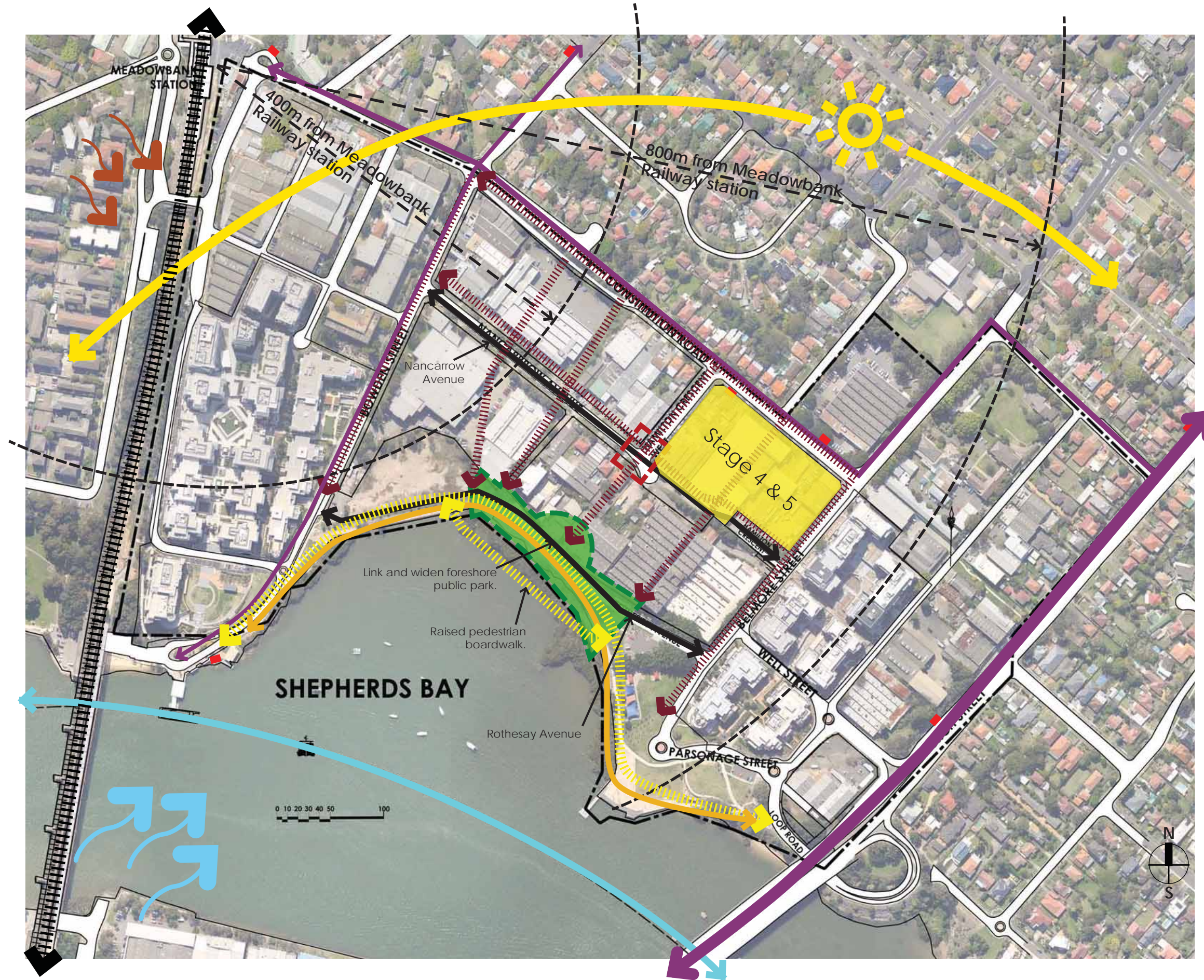





FIGURE 2. OPPORTUNITIES ANALYSIS

| 10 December 2014 | REV A

3. SHEPHERDS BAY URBAN RENEWAL

TOPOGRAPHY

LEGEND:

-  Valley line
-  Ridge line
-  Site

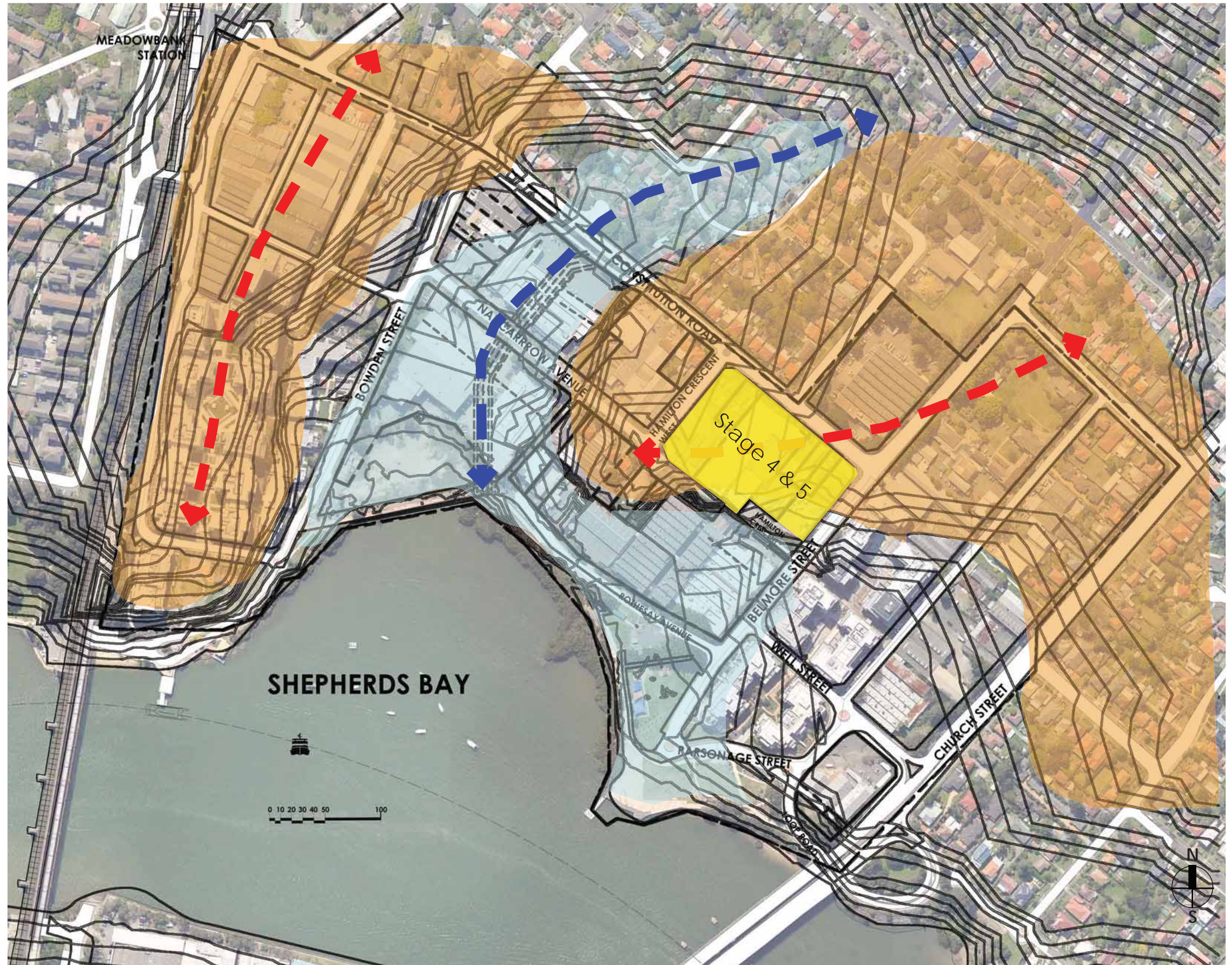










FIGURE 3. EXISTING LANDFORM

4. SHEPHERDS BAY URBAN RENEWAL

SIGNIFICANT VIEWS

LEGEND:

-  Existing View corridors
-  Potential Vista
-  Neighbours Views
-  DCP - Panoramic Views
-  DCP - Vista
-  DCP - Partially obscured vista
-  DCP - Vista to Olympic Park
-  Site

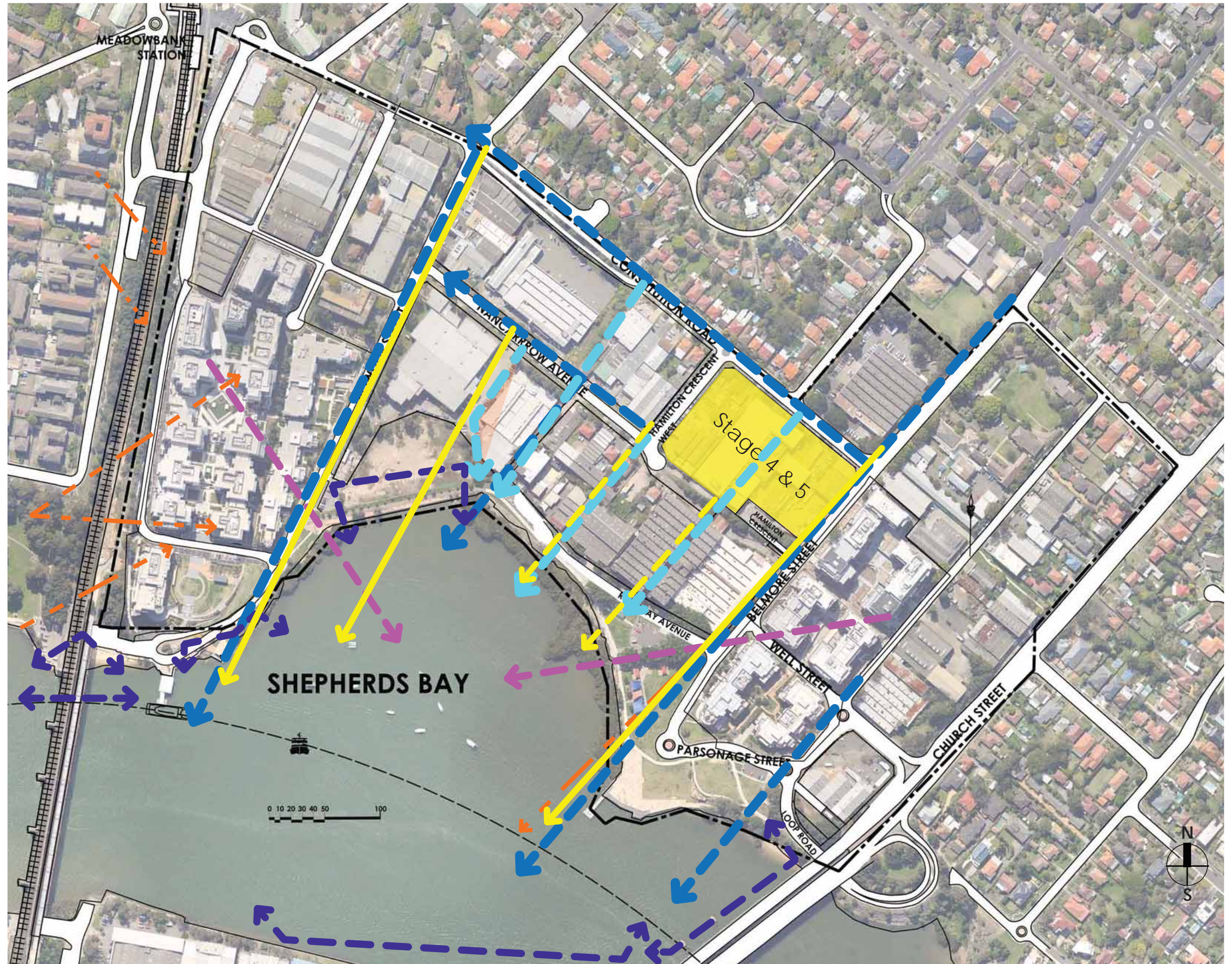








FIGURE 4. SIGNIFICANT VIEWS MAP

5. SHEPHERDS BAY URBAN RENEWAL

ACCESS AND TRANSPORT

LEGEND:

-  East west vehicular access
-  No through road
-  North south vehicular access
-  Bus stops
-  Ferry Terminal
-  Site

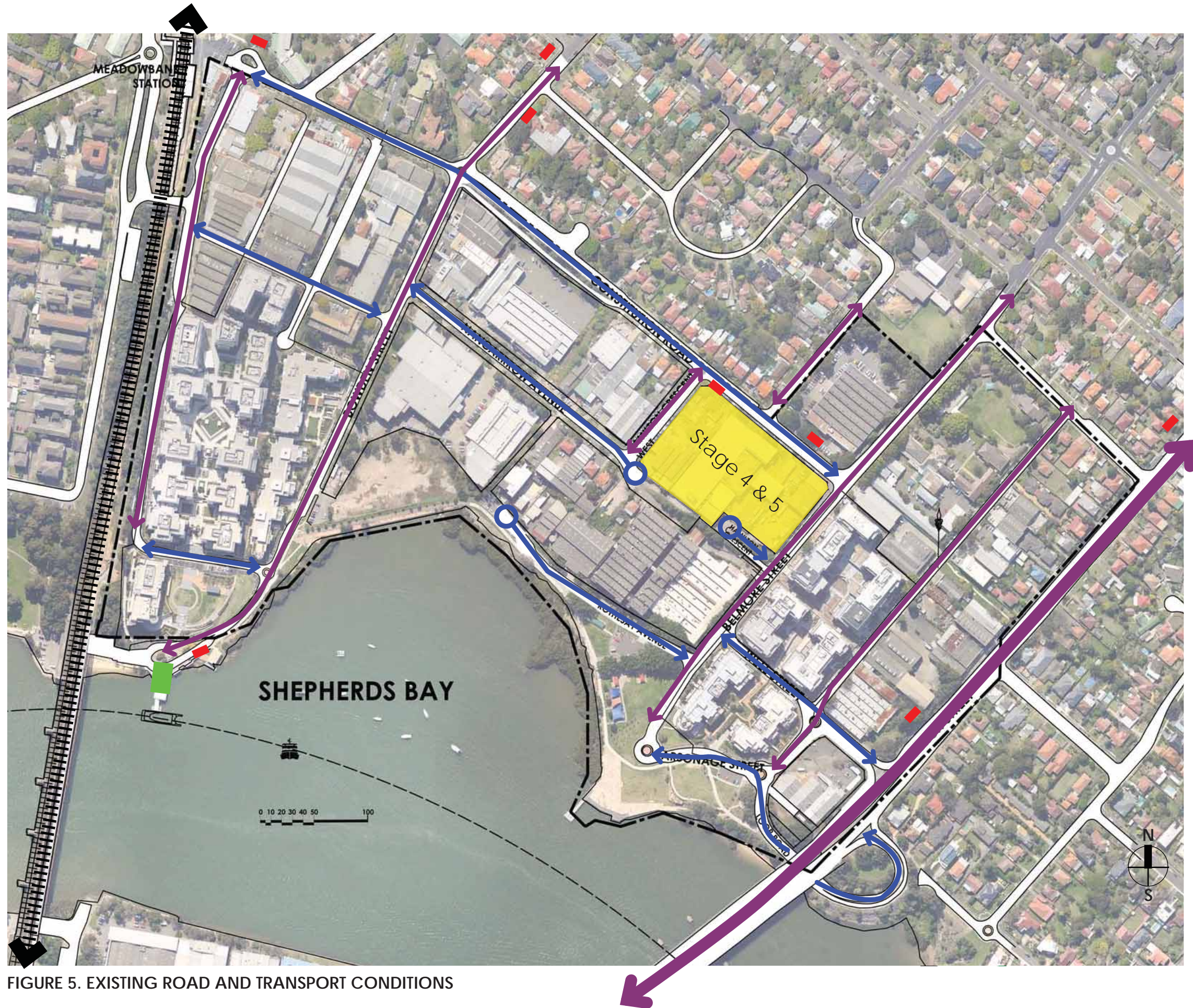


FIGURE 5. EXISTING ROAD AND TRANSPORT CONDITIONS

6. SHEPHERDS BAY URBAN RENEWAL

EXISTING USES AND BUILT FORMS

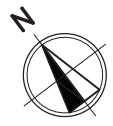
LEGEND:



FIGURE 6. EXISTING HEIGHTS MAP - EQUIVALENT STOREY HEIGHTS

MATCH JOINS

LINE C-0014 MATCH JOINS



LEGEND

	EXISTING ROAD BOUNDARY
	PROPOSED ROAD BOUNDARY
	PROPOSED KERB AND GUTTER
	PROPOSED MOUNTABLE KERB
	PROPOSED KERB ONLY
	PROPOSED DISH DRAIN
	PROPOSED STORMWATER PIT AND LINE
	EXISTING STORMWATER LINE
	EXISTING STORMWATER TO BE REMOVED
	OVERLAND FLOW PATH
	SUBSOIL DRAIN WITH FLUSHING POINT
	NEW ROAD PAVEMENT CONSTRUCTION TO GEOTECH ENGINEERS SPECIFICATION
	CONCRETE ISLAND INFILL
	FOOTPATH TO LANDSCAPE ARCHITECTS SPECIFICATION
	MILL AND RESHEET 30mm AC10
	BIO-RETENTION AREA

NOTE:

- FOR SURFACE LEVELS AND FINISHES REFER TO LANDSCAPE ARCHITECTS PLANS.
- THE ORIGINAL OF THIS DRAWING WAS PRODUCED USING COLOUR SEPARATION FOR GREATER CLARITY. WORKING WITH BLACK AND WHITE COPY MAY CAUSE ERRORS

WARNING
BEWARE OF UNDERGROUND SERVICES

The location of underground cables are approximate only and their exact position should be checked on site. No guarantee is given that all existing cables and services are shown. Locate all underground cables and services before commencement of work. Refer to Worksafe Regulation 3.21.

DIAL 1100 BEFORE YOU DIG

REV	DATE	DESCRIPTION	RVD
G	03.11.14	ISSUED FOR ROAD APPLICATION	CB
F	24.07.14	ISSUED FOR ROAD APPLICATION	TB
E	24.06.14	ISSUED FOR ROAD APPLICATION	CB
D	20.06.14	ISSUED FOR ROAD APPLICATION	CB
C	10.06.14	ISSUED FOR ROAD APPLICATION	TB
B	23.05.14	ISSUED FOR ROAD APPLICATION	CB
A	17.04.14	ISSUED FOR ROAD APPLICATION	TB

REVISIONS

CLIENT

HOLDMARK

2/2-4 GIFFNOCK AVENUE, MACQUARIE PARK NSW 2113

Sydney Office
6/3-8 Windsor St Sydney NSW 2000
P/+61 2 9770 3300
E/hub@bg&e.com
bg&e.com

BG & E

PROJECT

SHEPHERDS BAY MEADOWBANK

STATUS

PRELIMINARY ONLY
NOT TO BE USED FOR CONSTRUCTION

DRAWN	DESIGNED	CHECKED	APPROVED
TB	TB	TH	
DATUM	GRID	SCALE	
AHD	AMG	1:250	AT A1 SIZE

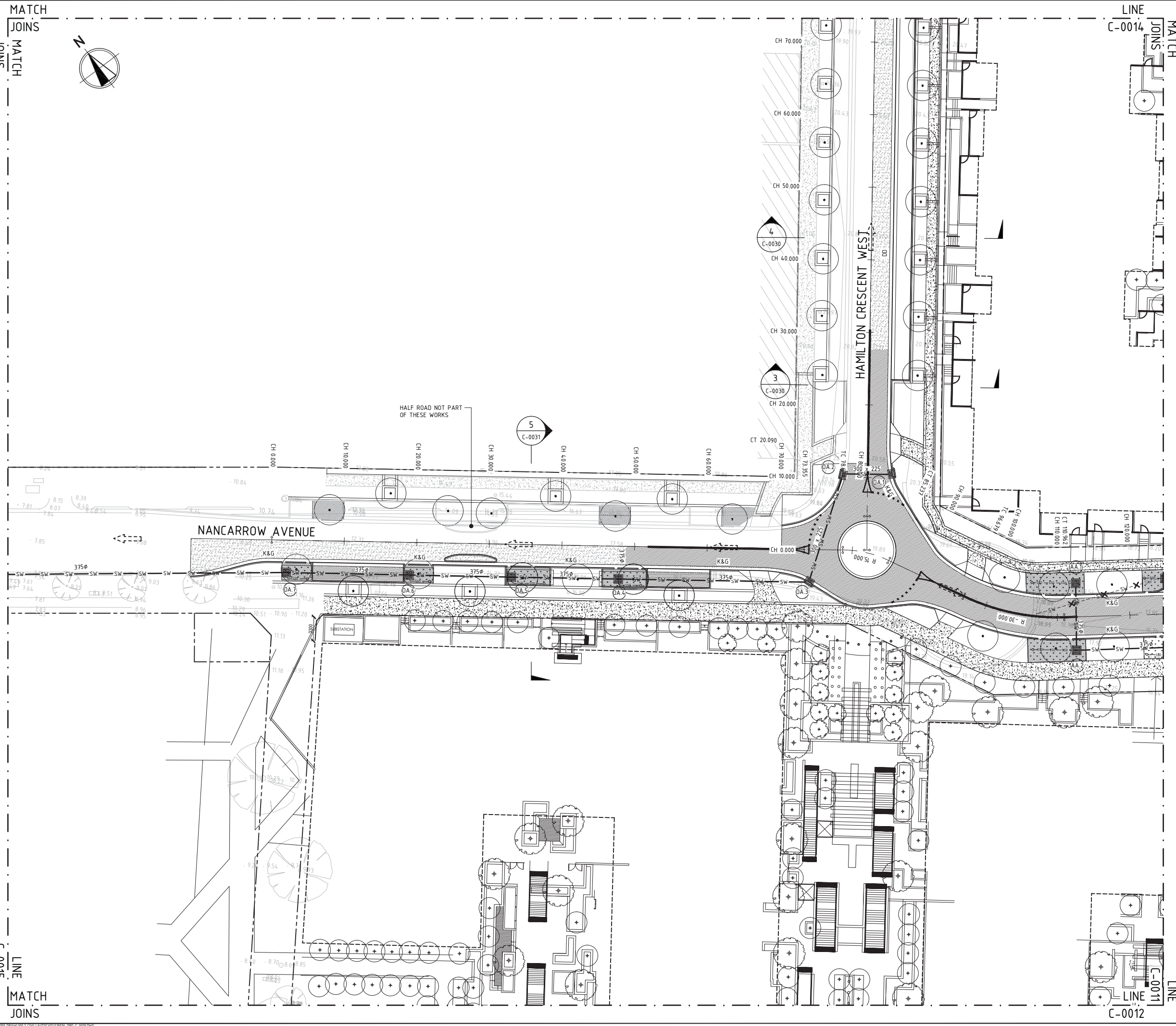
TITLE		
SITWORKS PLAN SHEET 1		
PROJECT No.	DRAWING No.	REV.
S10076	C-0010	G

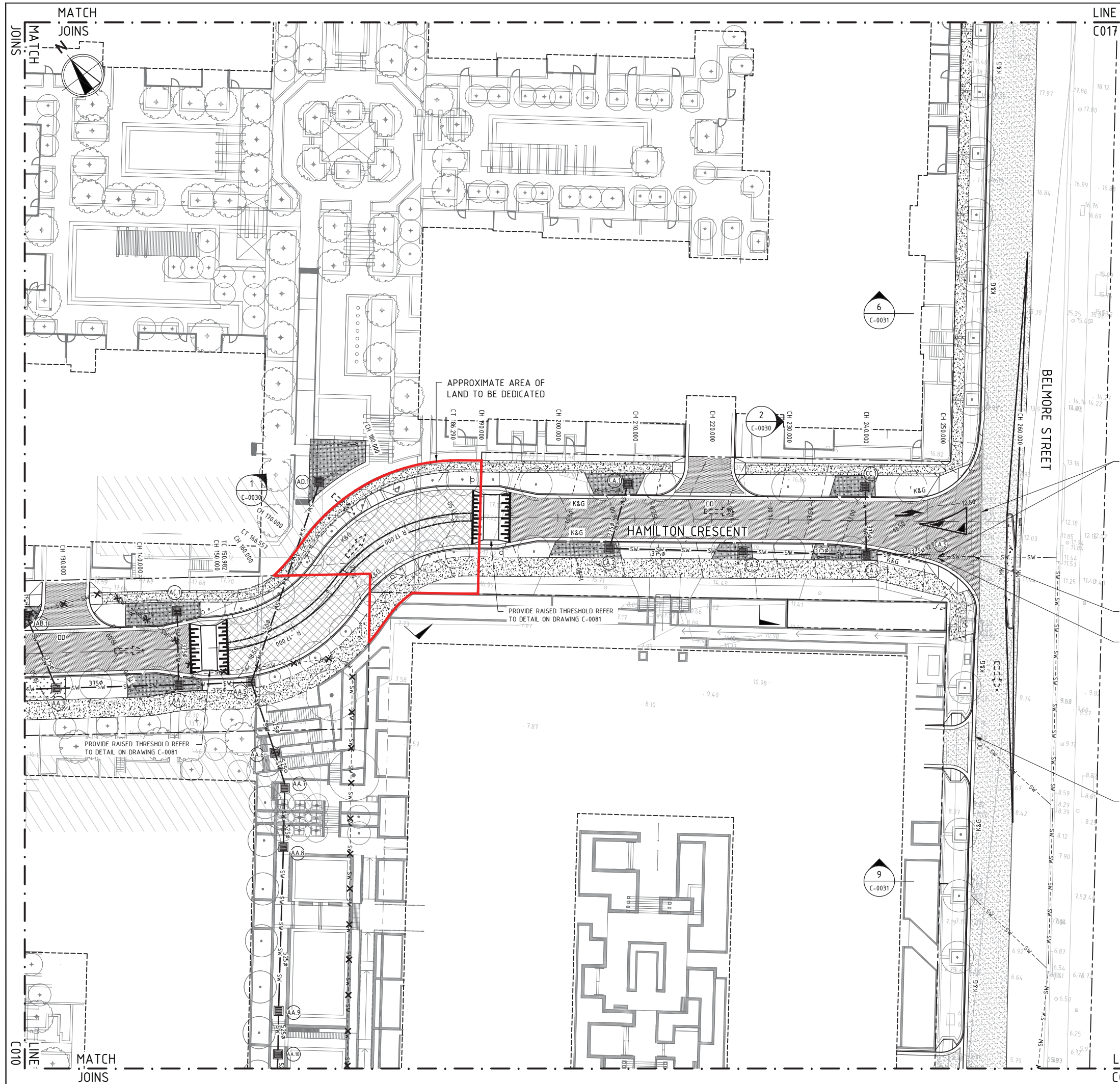
MATCH JOINS

LINE C-0014 MATCH JOINS

LINE C-0015 MATCH JOINS

LINE C-0011 MATCH JOINS





LEGEND

- EXISTING ROAD BOUNDARY
- PROPOSED ROAD BOUNDARY
- K&G PROPOSED KERB AND GUTTER
- MK PROPOSED MOUNTABLE KERB
- KO PROPOSED KERB ONLY
- DD PROPOSED DISH DRAIN
- SW SW PROPOSED STORMWATER PIT AND LINE
- SW SW EXISTING STORMWATER LINE
- SW X SW EXISTING STORMWATER TO BE REMOVED
- OVERLAND FLOW PATH
- SUBSOIL DRAIN WITH FLUSHING POINT
- [Pattern] NEW ROAD PAVEMENT CONSTRUCTION TO GEOTECH ENGINEERS SPECIFICATION
- [Pattern] CONCRETE ISLAND INFILL
- [Pattern] FOOTPATH TO LANDSCAPE ARCHITECTS SPECIFICATION
- [Pattern] MILL AND RESHET 30mm AC10
- [Pattern] BIO-RETENTION AREA
- [Pattern] NEW ROAD PAVEMENT CONSTRUCTION TO GEOTECH ENGINEERS SPECIFICATION WITH SURFACE FINISH TO LANDSCAPE ARCHITECTS SPECIFICATION

NOTE:

- FOR SURFACE LEVELS AND FINISHES REFER TO LANDSCAPE ARCHITECTS PLANS.
- THE ORIGINAL OF THIS DRAWING WAS PRODUCED USING COLOUR SEPARATION FOR GREATER CLARITY. WORKING WITH BLACK AND WHITE COPY MAY CAUSE ERRORS

WARNING
Beware of Underground Services
 The location of underground cables are approximate only and their exact position should be checked on site. No guarantee is given that all existing cables and services are shown. Locate all underground cables and services before commencement of work. Refer to Worksafe Regulation 3.21.

DIAL 1100 BEFORE YOU DIG

REV	DATE	DESCRIPTION	RVD
I	07.11.14	ISSUED FOR ROAD APPLICATION	TB
H	06.11.14	ISSUED FOR ROAD APPLICATION	TB
G	03.11.14	ISSUED FOR ROAD APPLICATION	CB
F	25.07.14	ISSUED FOR ROAD APPLICATION	TB
E	24.06.14	ISSUED FOR ROAD APPLICATION	CB
D	20.06.14	ISSUED FOR ROAD APPLICATION	CB
C	10.06.14	ISSUED FOR ROAD APPLICATION	TB

REVISIONS

CLIENT: **HOLDMARK**
 2/2-4 GIFFNOCK AVENUE, MACQUARIE PARK NSW 2113

Sydney Office
 12 B Windsor St Sydney NSW 2000
 P: +61 2 9770 2000
 E: info@bgandc.com.au
 www.bgandc.com.au

BG & C

PROJECT: **SHEPHERDS BAY MEADOWBANK**

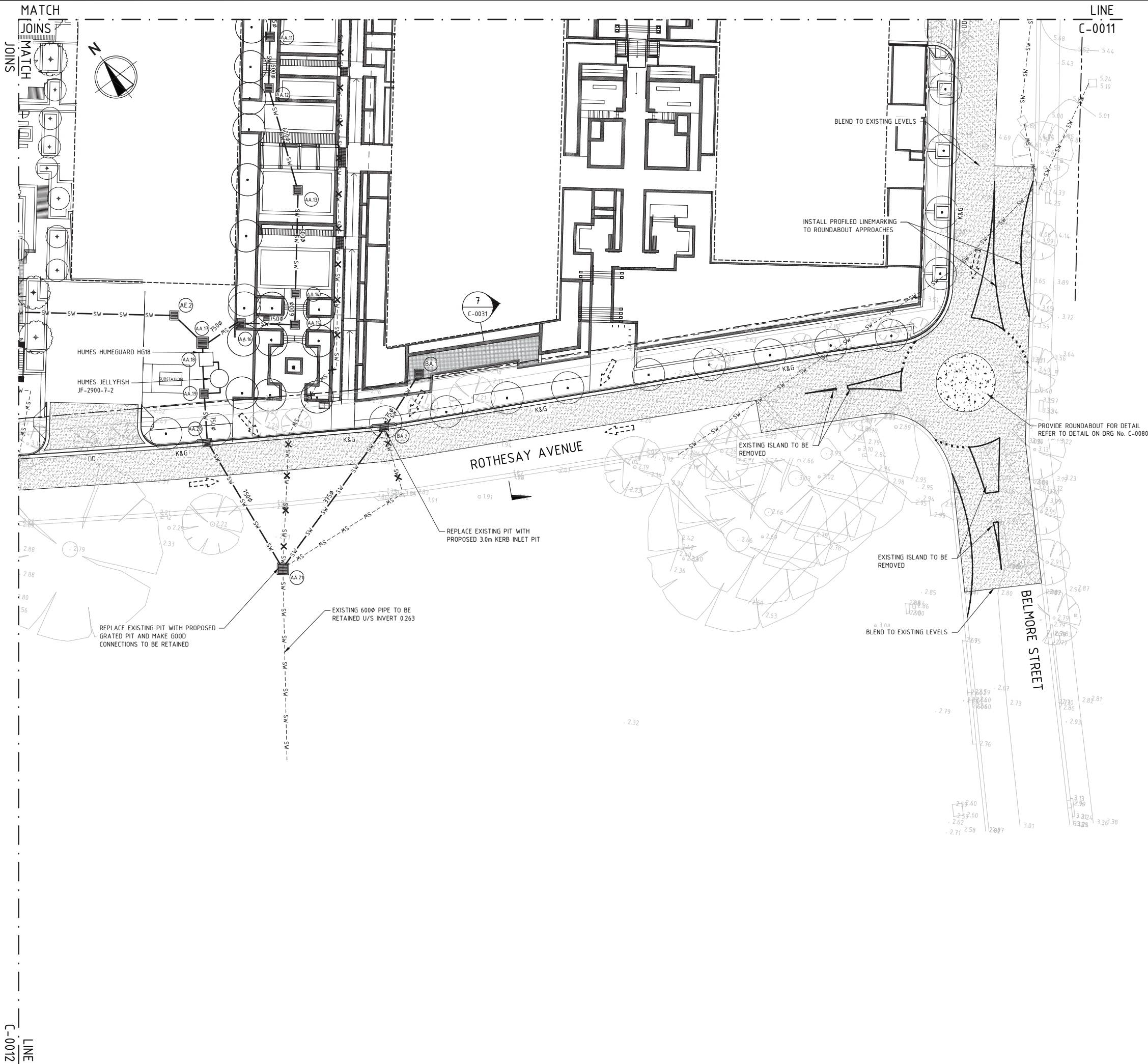
STATUS: **PRELIMINARY ONLY**
 NOT TO BE USED FOR CONSTRUCTION

DRAWN	DESIGNED	CHECKED	APPROVED
TB	TB	TH	

DATUM: AHD GRID: MGA SCALE: 1:250 AT: A1 SIZE

TITLE: **SITWORKS PLAN SHEET 2**

PROJECT No.	DRAWING No.	REV
S10076	C-0011	I



LEGEND

- EXISTING ROAD BOUNDARY
- PROPOSED ROAD BOUNDARY
- K&G PROPOSED KERB AND GUTTER
- MK PROPOSED MOUNTABLE KERB
- KO PROPOSED KERB ONLY
- DD PROPOSED DISH DRAIN
- SW SW PROPOSED STORMWATER PIT AND LINE
- SW SW EXISTING STORMWATER LINE
- SW X SW EXISTING STORMWATER TO BE REMOVED
- OVERLAND FLOW PATH
- SUBSOIL DRAIN WITH FLUSHING POINT
- [Pattern] NEW ROAD PAVEMENT CONSTRUCTION TO GEOTECH ENGINEERS SPECIFICATION
- [Pattern] CONCRETE ISLAND INFILL
- [Pattern] FOOTPATH TO LANDSCAPE ARCHITECTS SPECIFICATION
- [Pattern] MILL AND RESHEET 30mm AC10
- [Pattern] BIO-RETENTION AREA

NOTE:

1. FOR SURFACE LEVELS AND FINISHES REFER TO LANDSCAPE ARCHITECTS PLANS.
2. THE ORIGINAL OF THIS DRAWING WAS PRODUCED USING COLOUR SEPARATION FOR GREATER CLARITY. WORKING WITH BLACK AND WHITE COPY MAY CAUSE ERRORS

WARNING
BEWARE OF UNDERGROUND SERVICES
 The location of underground cables are approximate only and their exact position should be checked on site. No guarantee is given that all existing cables and services are shown. Locate all underground cables and services before commencement of work. Refer to Worksafe Regulation 3.21.

DIAL 1100
BEFORE YOU DIG

REV	DATE	DESCRIPTION	RVD
E	03.11.14	ISSUED FOR ROAD APPLICATION	CB
D	25.07.14	ISSUED FOR ROAD APPLICATION	TB
C	24.06.14	ISSUED FOR ROAD APPLICATION	CB
B	23.05.14	ISSUED FOR ROAD APPLICATION	CB
A	17.04.14	ISSUED FOR ROAD APPLICATION	TB

CLIENT

HOLDMARK
 2/2-4 GIFFNOCK AVENUE, MACQUARIE PARK NSW 2113

Sydney Office
 12-14 Windsor St, Sydney NSW 2000
 P: +61 2 9550 3000
 E: info@bge.com.au
 www.bge.com.au

BG & E

PROJECT

SHEPHERDS BAY MEADOWBANK

STATUS

PRELIMINARY ONLY
 NOT TO BE USED FOR CONSTRUCTION

DRAWN	DESIGNED	CHECKED	APPROVED
TB	TB	TH	

DATUM: AHD GRID: MGA SCALE: 1:250 AT: A1 SIZE

TITLE

SITWORKS PLAN SHEET 4

PROJECT No.	DRAWING No.	REV.
S10076	C-0013	E



LEGEND

- EXISTING ROAD BOUNDARY
- PROPOSED ROAD BOUNDARY
- PROPOSED KERB AND GUTTER
- PROPOSED MOUNTABLE KERB
- PROPOSED KERB ONLY
- PROPOSED DISH DRAIN
- PROPOSED STORMWATER PIT AND LINE
- EXISTING STORMWATER LINE
- EXISTING STORMWATER TO BE REMOVED
- OVERLAND FLOW PATH
- SUBSOIL DRAIN WITH FLUSHING POINT
- NEW ROAD PAVEMENT CONSTRUCTION TO GEOTECH ENGINEERS SPECIFICATION
- CONCRETE ISLAND INFILL
- FOOTPATH TO LANDSCAPE ARCHITECTS SPECIFICATION
- MILL AND RESHEET 30mm AC10
- BIO-RETENTION AREA

NOTE:

1. FOR SURFACE LEVELS AND FINISHES REFER TO LANDSCAPE ARCHITECTS PLANS.
2. THE ORIGINAL OF THIS DRAWING WAS PRODUCED USING COLOUR SEPARATION FOR GREATER CLARITY. WORKING WITH BLACK AND WHITE COPY MAY CAUSE ERRORS

WARNING
BEWARE OF UNDERGROUND SERVICES
 The location of underground cables are approximate only and their exact position should be checked on site. No guarantee is given that all existing cables and services are shown. Locate all underground cables and services before commencement of work. Refer to Worksafe Regulation 3.21.

DIAL 1100 BEFORE YOU DIG

REV	DATE	DESCRIPTION	RVD
D	25.07.14	ISSUED FOR ROAD APPLICATION	CB
C	24.06.14	ISSUED FOR ROAD APPLICATION	CB
B	23.05.14	ISSUED FOR ROAD APPLICATION	CB
A	17.04.14	ISSUED FOR ROAD APPLICATION	TB

REVISIONS

CLIENT

HOLDMARK

2/2-4 GIFFNOCK AVENUE, MACQUARIE PARK NSW 2113

Sydney Office
 12-14 Windsor St Sydney NSW 2000
 P: +61 2 9770 3000
 E: info@bge.com.au
 www.bge.com.au

BG & E

PROJECT

SHEPHERDS BAY MEADOWBANK

STATUS

PRELIMINARY ONLY
 NOT TO BE USED FOR CONSTRUCTION

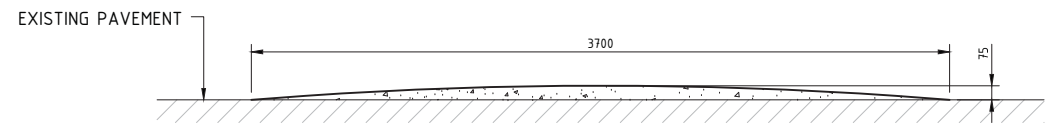
DRAWN	DESIGNED	CHECKED	APPROVED
TB	TB	TH	

DATUM: AHD GRID: MGA SCALE: 1:250 AT: A1 SIZE

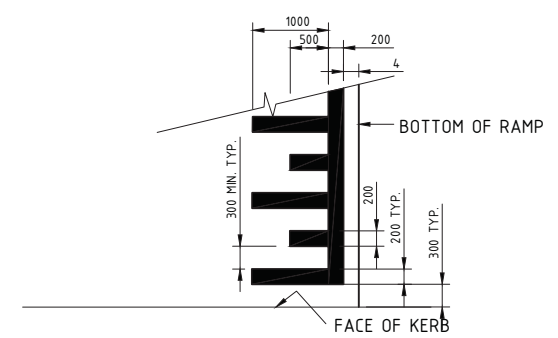
TITLE

SITWORKS PLAN SHEET 7

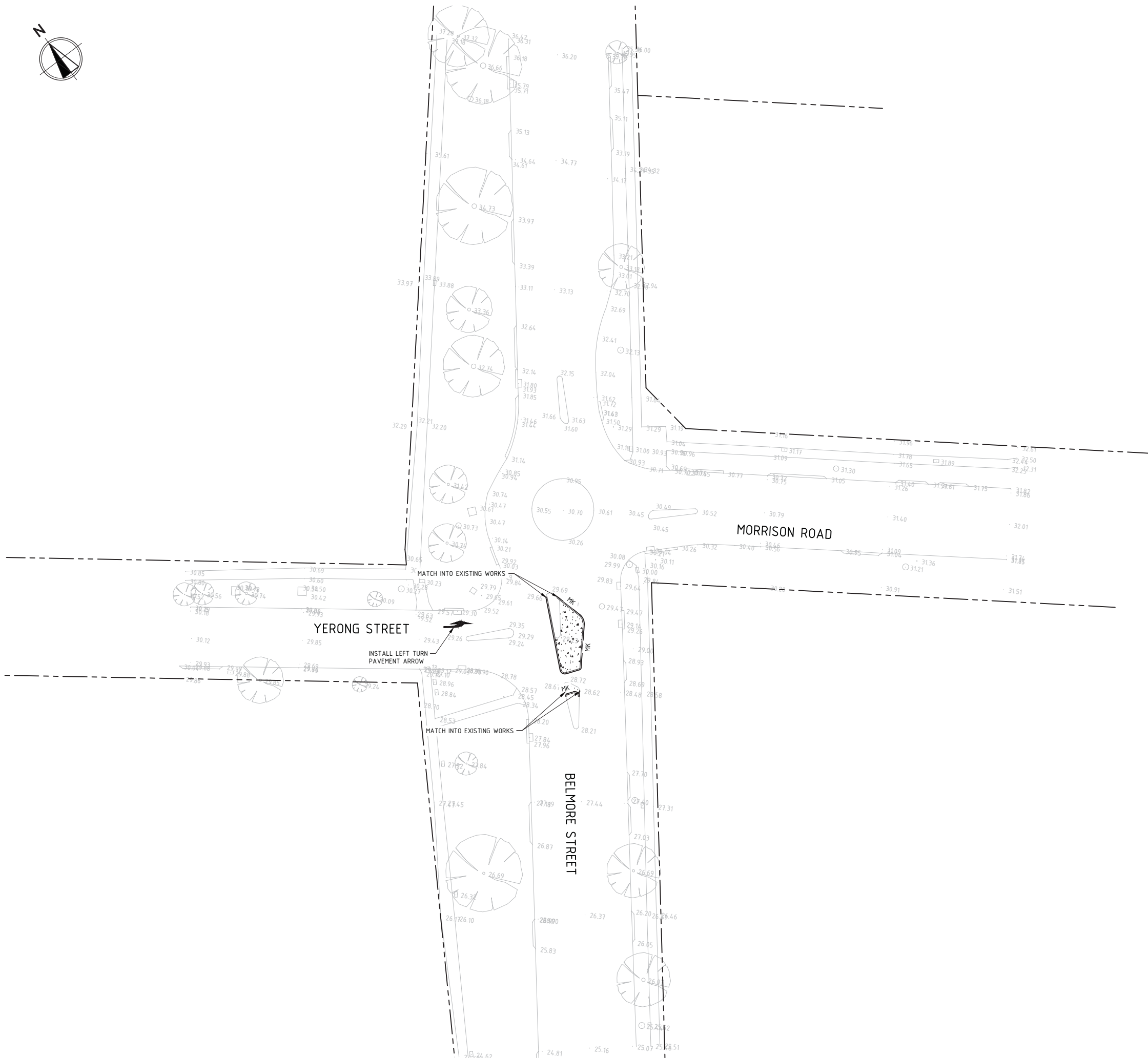
PROJECT No.	DRAWING No.	REV.
S10076	C-0016	D



SPEED HUMP IN FLEXIBLE PAVEMENT
 SCALE 1:20



PAVEMENT MARKING SETOUT
 SCALE NTS



LEGEND

- EXISTING ROAD BOUNDARY
- PROPOSED ROAD BOUNDARY
- PROPOSED KERB AND GUTTER
- PROPOSED MOUNTABLE KERB
- PROPOSED KERB ONLY
- PROPOSED DISH DRAIN
- PROPOSED STORMWATER PIT AND LINE
- EXISTING STORMWATER LINE
- EXISTING STORMWATER TO BE REMOVED
- OVERLAND FLOW PATH
- SUBSOIL DRAIN WITH FLUSHING POINT
- NEW ROAD PAVEMENT CONSTRUCTION TO GEOTECH ENGINEERS SPECIFICATION
- CONCRETE ISLAND INFILL
- FOOTPATH TO LANDSCAPE ARCHITECTS SPECIFICATION
- MILL AND RESHEET 30mm AC10
- BIO-RETENTION AREA

- NOTE:**
1. FOR SURFACE LEVELS AND FINISHES REFER TO LANDSCAPE ARCHITECTS PLANS.
 2. THE ORIGINAL OF THIS DRAWING WAS PRODUCED USING COLOUR SEPARATION FOR GREATER CLARITY. WORKING WITH BLACK AND WHITE COPY MAY CAUSE ERRORS

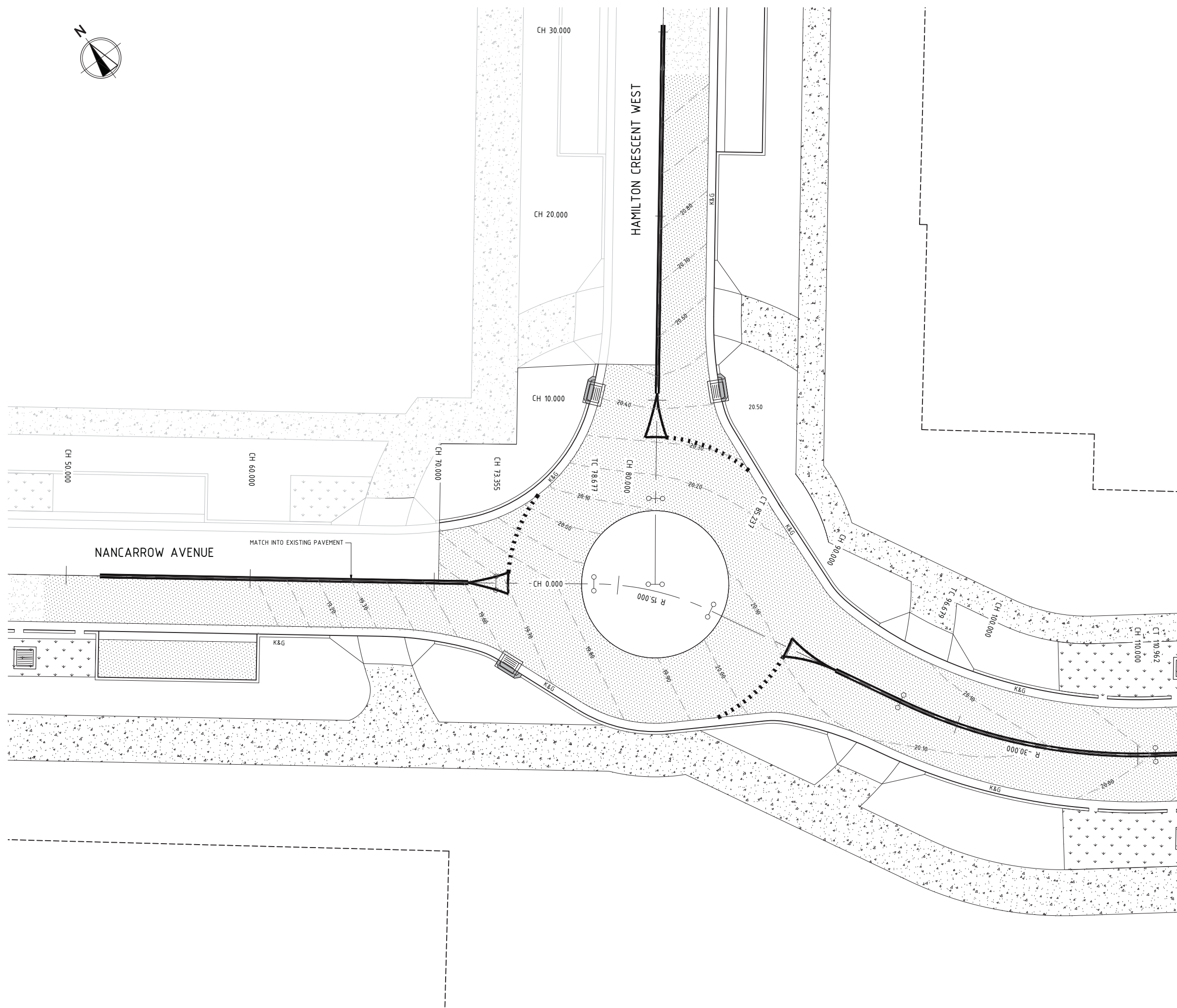
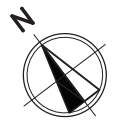
WARNING
BEWARE OF UNDERGROUND SERVICES

The location of underground cables are approximate only and their exact position should be checked on site. No guarantee is given that all existing cables and services are shown. Locate all underground cables and services before commencement of work. Refer to Worksafe Regulation 3.21.

DIAL 1100
BEFORE YOU DIG

REV	DATE	DESCRIPTION	RVD
C	24.06.14	ISSUED FOR ROAD APPLICATION	CB
B	23.05.14	ISSUED FOR ROAD APPLICATION	CB
A	17.04.14	ISSUED FOR ROAD APPLICATION	TB

REVISIONS	
CLIENT	
HOLDMARK	
2/2-4 GIFFNOCK AVENUE, MACQUARIE PARK NSW 2113	
SHEPHERDS BAY MEADOWBANK	
PRELIMINARY ONLY NOT TO BE USED FOR CONSTRUCTION	
DRAWN	DESIGNED
TB	TH
DATUM	SCALE
AHD	MGA 1:250
SITWORKS PLAN SHEET 9	
PROJECT No	DRAWING No
S10076	C-0018
REV	C



LEGEND

	EXISTING ROAD BOUNDARY
	PROPOSED ROAD BOUNDARY
	PROPOSED KERB AND GUTTER
	PROPOSED MOUNTABLE KERB
	PROPOSED KERB ONLY
	PROPOSED DISH DRAIN
	PROPOSED STORMWATER PIT AND LINE
	EXISTING STORMWATER LINE
	EXISTING STORMWATER TO BE REMOVED
	OVERLAND FLOW PATH
	SUBSOIL DRAIN WITH FLUSHING POINT
	NEW ROAD PAVEMENT CONSTRUCTION TO GEOTECH ENGINEERS SPECIFICATION
	CONCRETE ISLAND INFILL
	FOOTPATH TO LANDSCAPE ARCHITECTS SPECIFICATION
	MILL AND RESHEET 30mm AC10
	BIO-RETENTION AREA

NOTE:

- FOR SURFACE LEVELS AND FINISHES REFER TO LANDSCAPE ARCHITECTS PLANS.
- THE ORIGINAL OF THIS DRAWING WAS PRODUCED USING COLOUR SEPARATION FOR GREATER CLARITY. WORKING WITH BLACK AND WHITE COPY MAY CAUSE ERRORS

WARNING
BEWARE OF UNDERGROUND SERVICES
 The location of underground cables are approximate only and their exact position should be checked on site. No guarantee is given that all existing cables and services are shown. Locate all underground cables and services before commencement of work. Refer to Worksafe Regulation 3.21.

DIAL 1100
BEFORE YOU DIG

REV	DATE	DESCRIPTION	RVD
B	03.11.14	ISSUED FOR ROAD APPLICATION	CB
A	25.07.14	ISSUED FOR ROAD APPLICATION	TB

REVISIONS

CLIENT

HOLDMARK

2/2-4 GIFFNOCK AVENUE, MACQUARIE PARK NSW 2113

Sydney Office
 8-8 Windsor St Sydney NSW 2000
 P: +61 2 9570 3300
 E: info@bg&e.com
 www.bg&e.com

BG & E

PROJECT

SHEPHERDS BAY MEADOWBANK

STATUS

PRELIMINARY ONLY
 NOT TO BE USED FOR CONSTRUCTION

DRAWN	DESIGNED	CHECKED	APPROVED
TB	TB	TH	
DATUM	GRID	SCALE	AT
AHD	AMG	1:250	A1 SIZE

TITLE

ROUNDBOUT PLAN

PROJECT No.	DRAWING No.	REV.
S10076	C-0019	B

HARRIS PAGE & ASSOCIATES

SHEPHERDS BAY

STAGE 4 & 5

STORMWATER CONCEPT DESIGN

STORMWATER SERVICES LEGEND

GENERAL NOTES

1. DRAWINGS ARE DIAGRAMMATIC ONLY AND HAVE BEEN PREPARED FOR THE PURPOSE OF INDICATING THE DESIGN INTENT AND SCOPE OF WORKS OF THE HYDRAULIC SERVICES.
2. IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR PLUMBING SUBCONTRACTOR TO INVESTIGATE AND COORDINATE BEFORE AND DURING THE CONSTRUCTION PHASE ALL EXISTING SERVICES WHICH WILL EFFECT THE INSTALLATION OF THESE SERVICES.
3. HYDRAULIC DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE HYDRAULIC SERVICES SPECIFICATION AND WITH RELEVANT ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
4. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE RELEVANT CODES AND AUSTRALIAN STANDARDS.
5. POSITION AND LEVELS OF AUTHORITIES MAINS AND/OR EXISTING SERVICES ARE INDICATIVE ONLY AND ARE TO BE CHECKED PRIOR TO COMMENCING ANY WORK.
6. DO NOT SCALE FROM THIS DRAWING. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSION SETOUT.

LOCATION PLAN



IMAGE TAKEN FROM GOOGLE MAPS 2014

DRAWING SCHEDULE

DWG No.	Scale	Drawing Title
SW-00	NTS	STORMWATER SERVICES COVER SHEET AND LEGEND
SW-01	1:250	STORMWATER SERVICES SEDIMENT & EROSION CONTROL PLAN
SW-02	1:250	STORMWATER SERVICES BASEMENT LEVEL 3
SW-03	1:250	STORMWATER SERVICES BASEMENT LEVEL 2
SW-04	1:250	STORMWATER SERVICES BASEMENT LEVEL 1
SW-05	1:250	STORMWATER SERVICES GROUND FLOOR

ISSUE	AMENDMENT	DATE
P1	ISSUE FOR INFORMATION	30/10/14

CLIENT

HOLDMARK

Suite 2/2-4 Gidcock Avenue, Macquarie Park NSW Australia 2113
 Telephone: (02) 9699 5540 Fax: (02) 9699 5629

ARCHITECT / PROJECT MANAGER

ROBERTSON + MARRIS

Ground Floor, 11-17 Buckingham Street, Surry Hills, Sydney NSW Australia 2010
 Telephone: (02) 9319 4388 Fax: (02) 9319 7338
 Email: r+m@robertsonmarris.com.au

Team: Arch: David Mayes 3190 John Ryan 3181 Brian Marrs 5975 Andrea Scarnelli

HYDRAULIC & FIRE SERVICES CONSULTANTS

HARRIS PAGE & Associates
PTY LIMITED
 HYDRAULIC & FIRE CONSULTANTS
 Level 2, 32 Carrington Street, Sydney NSW Australia 2000
 Telephone: (02) 9262 1400 Fax: (02) 9262 4385
 Email: info@harrispage.com.au ABRN 008 548 098

PROJECT

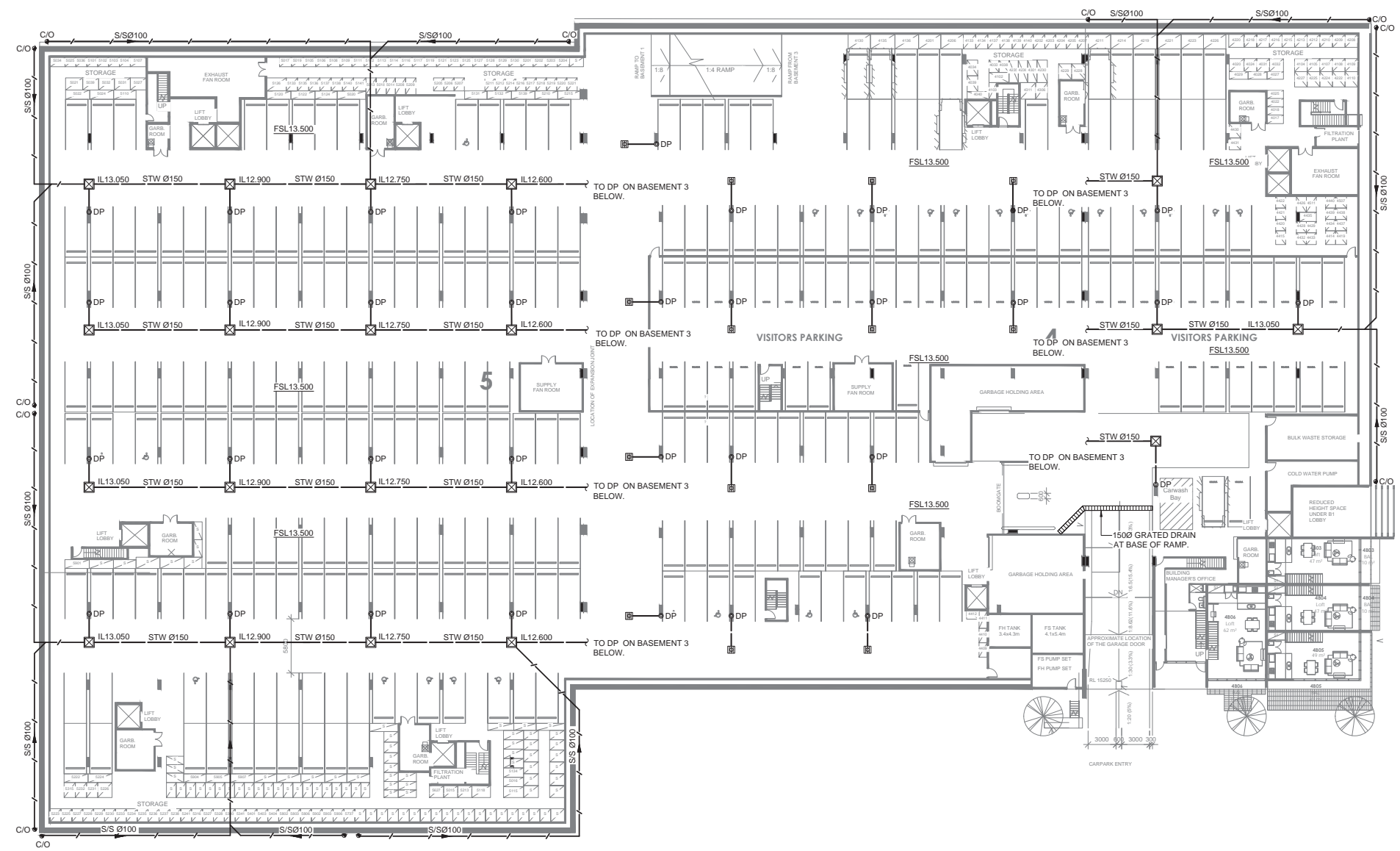
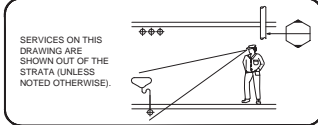
SHEPHERDS BAY
STAGE 4 & 5

DRAWING TITLE

STORMWATER SERVICES
COVER SHEET, LEGEND
& NOTES

DATE	DRAWN	CHECKED	NO IN SET	SCALE
OCT. 2014	AT	TN		NTS @B1
PROJECT No.	DRAWING No.	REVISION		
5731	SW-00	P1		

COPYRIGHT OF HARRIS PAGE & ASSOCIATES Pty Ltd. All rights reserved. This drawing may not be reproduced or transmitted in any form, or by any means in part or in whole without permission from HARRIS PAGE & ASSOCIATES Pty Ltd. Figured dimensions shall be taken in preference to scaling. The contractor shall check all dimensions on drawings and site before commencing work.



BELMORE STREET

NANCARROW AVENUE

LEGEND

- CATCHMENT ZONE
- SUBSOIL DRAINAGE LINE
- STORMWATER DRAINAGE LINE
- ☒ STORMWATER PIT
- ☐ 300mm² GRATED OUTLET
- ☐ STORMWATER HEADWALL
- DOWNPIPE
- CLEAR OUT
- ▨ BIO-RETENTION AREA

P1	ISSUE FOR INFORMATION	30/10/14
ISSUE	AMENDMENT	DATE

CLIENT

HOLDMARK

Suite 2/2-4 Gifford Avenue, Macquarie Park NSW Australia 2113
 Telephone: (02) 9699 5540 Fax: (02) 9699 5229

ARCHITECT / PROJECT MANAGER

ROBERTSON + MARKS

Ground Floor, 11-17 Buckingham Street, Surry Hills, Sydney NSW Australia 2010
 Telephone: (02) 9379 4388 Fax: (02) 9379 7338
 Email: info@robertsonmarks.com.au

Name: Arch: David Mayes 3190 John Ryan 3181 Brian Morris 5975 Andrew Scarselli

HYDRAULIC & FIRE SERVICES CONSULTANTS

HARRIS PAGE & Associates
 PTY LIMITED

HYDRAULIC & FIRE CONSULTANTS
 Level 2, 32 Carrington Street, Sydney NSW Australia 2000
 Telephone: (02) 9262 3400 Fax: (02) 9262 4385
 Email: info@harrispage.com.au ABRN 008 548 098

PROJECT

**SHEPHERDS BAY
 STAGE 4 & 5**

DRAWING TITLE

**STORMWATER DRAINAGE
 DA SUBMISSION
 BASEMENT LEVEL 2**

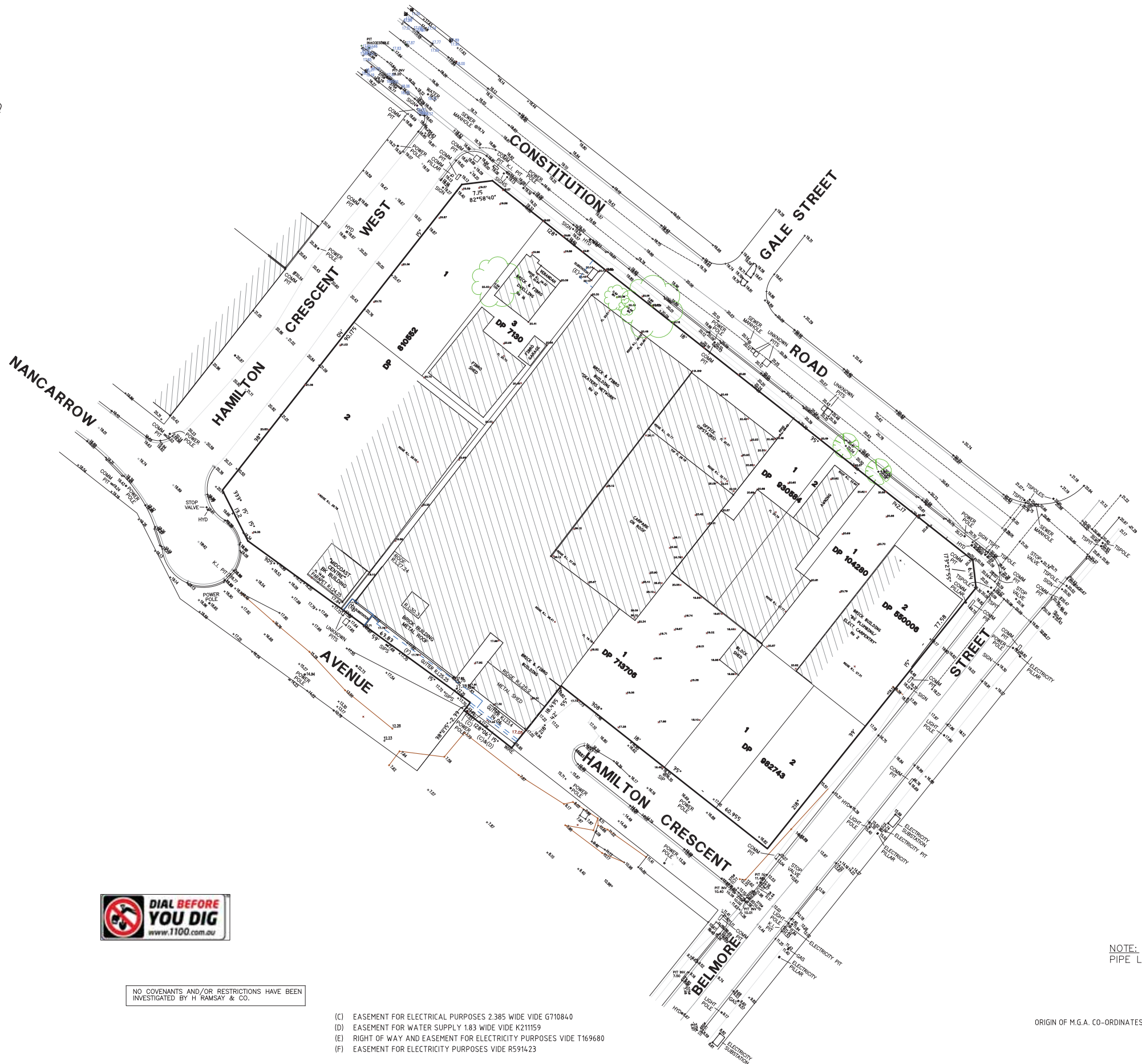
DATE	DRAWN	CHECKED	NO IN SET	SCALE
OCT. 2014	AT	TN		1:200 @B1
PROJECT No.	DRAWING No.	REVISION		
5731	SW-03	P1		

- GENERAL NOTES**
- THE STORMWATER DRAINAGE IS DESIGNED IN CONJUNCTION WITH CARDNO WSUD MASTER PLAN DOCUMENT 600283_WSUDMASTERPLANREPORTV02 DATED 24/04/2013 & RYDE CITY COUNCILS DEVELOPMENT CONTROL PLAN 2010 SECTION 8.
 - ALL DRAWINGS TO BE READ IN CONJUNCTION WITH BG&E STORMWATER ROAD INFRASTRUCTURE DRAWINGS FOR CONNECTIONS TO BIO-RETENTION AREAS AND INFRASTRUCTURE TRUNK MAIN DESIGN.
 - ALL RUNOFF RECURRENCE INTERVALS & RAINFALL INTENSITY DATA ARE BASED FROM INFORMATION COLLECTED FROM THE 'BUREAU OF METEOROLOGY'.

- 100% OF EACH BUILDING ROOF AREA ASSUMED TO BE NON TRAFFICABLE AND DISCHARGE TO ASSOCIATED RAINWATER TANKS.
- ALL LANDSCAPE AREA TO DISCHARGE TO NOTED BIO-RETENTION FILTRATION BASIN. BIO RETENTION FILTRATION BASIN TO BG&E DESIGN DETAILS.
- SEDIMENT AND EROSION CONTROL PLAN HAS EXISTING SURVEY PLAN USED WITH EXISTING SERVICES NOT SHOWN. THE CONCEPT STORMWATER DRAWINGS CONTAIN SURVEY PLANS INDICATE NEW WORKS OF EXTENSION TO HAMILTON CRESCENT AND ALL UPGRADED STORMWATER INFRASTRUCTURE FOR CLARITY.
- ALL DOCUMENTATION USED TO DEVELOP DESIGN NOTED IN TABLE BELOW.

Company Name	Document Type	Revision	Date
Cardno	WSUD Masterplan Strategy Report - Document No. 600283	2	24/04/2013
Ryde City Council	Development Control Plan, Section 8	-	2010
BG & E	Shepherds Bay Masterplan Civil Infrastructure Upgrade	C	
	Flood Assessment Report - Document No. S10076-REP-0001	0	16/04/2014
Integraco	BASIX Sustainability Report	Draft	22/10/2014

AVERAGE RECURRENCE INTERVALS (MEADOWBANK)
 20YR - 18MM/HR
 50YR - 215MM/HR
 100YR - 238MM/HR



LEGEND
 HYD HYDRANT
 K.I. PIT KERB INLET PIT
 S.I.P. SEWER INSPECTION POINT
 T.S.PIT TRAFFIC SIGNAL PIT
 T.S.POLE TRAFFIC SIGNAL POLE



NO COVENANTS AND/OR RESTRICTIONS HAVE BEEN INVESTIGATED BY H RAMSAY & CO.

- (C) EASEMENT FOR ELECTRICAL PURPOSES 2.385 WIDE VIDE G710840
- (D) EASEMENT FOR WATER SUPPLY 1.83 WIDE VIDE K211159
- (E) RIGHT OF WAY AND EASEMENT FOR ELECTRICITY PURPOSES VIDE T169680
- (F) EASEMENT FOR ELECTRICITY PURPOSES VIDE R591423

VARIOUS EASEMENTS AFFECTING INTERNAL LOTS ARE TO BE RELEASED

NOTE:
 PIPE LEVELS SHOWN ARE TO INVERT OF PIPE

ORIGIN OF M.G.A. CO-ORDINATES - SSM 122875 - E323870.315, N6256240.804 CLASS C ORDER 3
 AND SSM 122864 - E323745.396, N6256107.178 CLASS C ORDER 3
 5/07/2010

NOTES:
 INTERNAL DETAIL AND LEVELS BY OTHERS.
 DIAMETER, HEIGHT & SPREAD OF TREES ARE APPROXIMATE ONLY
 NO BOUNDARY SURVEY HAS BEEN CARRIED OUT.
 DETAIL ON THIS PLAN HAS BEEN LOCATED FOR PLOTTING PURPOSES ONLY.
 SERVICES ETC. UNLESS NOTED HAVE NOT BEEN LOCATED.
 SERVICES SHOWN ARE INDICATIVE ONLY. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN. THEREFORE, FIELD CONFIRMATION OF THE EXACT POSITION SHOULD BE MADE PRIOR TO COMMENCEMENT OF ANY EXCAVATION.
 ANY POINT OR FEATURE CRITICAL TO THE PREPARATION OF PLANS AND/OR CONSTRUCTION SHOULD BE ACCURATELY LOCATED PRIOR TO COMPLETION OF THOSE PLANS AND/OR COMMENCEMENT OF CONSTRUCTION
 DIMENSIONS AND BEARINGS FROM VARIOUS PLANS
 ORIGIN OF LEVELS: SSM 1044 RL 2.55 (AHD) CLASS LC ORDER L3
 USE STATED DIMENSIONS. DO NOT SCALE.

© THIS PLAN & THE INFORMATION CONTAINED HEREON REMAINS THE PROPERTY OF H RAMSAY & COMPANY AND MUST NOT BE COPIED IN WHOLE OR PART WITHOUT THE WRITTEN CONSENT OF H RAMSAY & COMPANY & IS NOT TO BE USED FOR ANY OTHER PURPOSE THAN FOR THAT WHICH IT HAS BEEN PREPARED. THIS PLAN HAS BEEN PREPARED FOR THE SOLE USE OF THE INSTRUCTING PARTY &/OR THEIR NOMINATED CLIENT

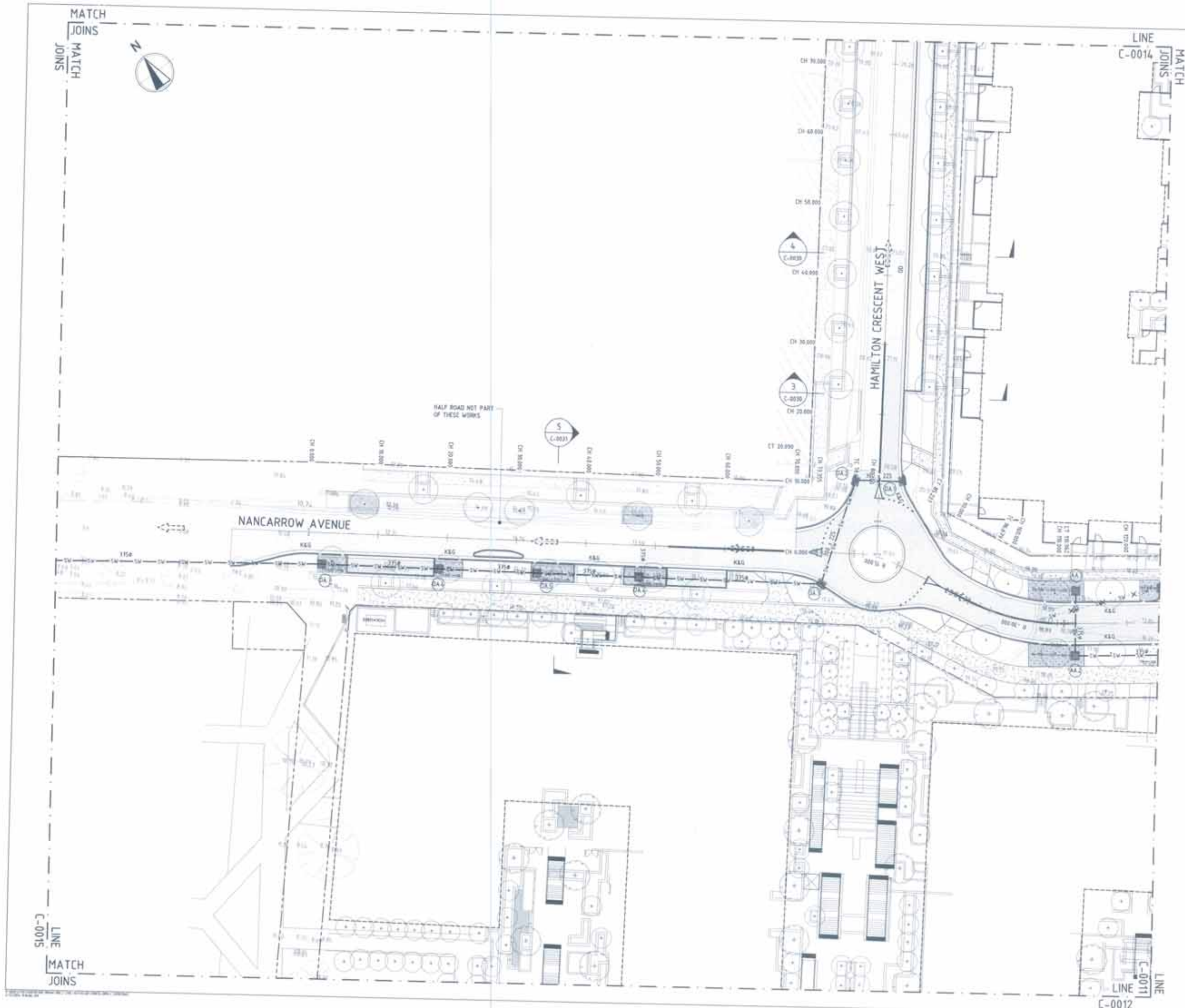
AMENDMENTS	
DATE	DESCRIPTION

L.G.A	RYDE	INSTRUCTED BY:	MR G YOUSSEF
LOCALITY:	RYDE	RE:	HOLDMARK DEVELOPMENTS P/L

H RAMSAY & CO.
 SURVEYORS EST. 1962
 H Ramsay & Company Pty Limited ACN 069 967 817
 "CARLINGFORD CENTRAL" SUITE 15, 241-245 PENNANT HILLS RD, CARLINGFORD NSW 2118
 P.O. BOX 9082 HARRIS PARK NSW 2150 PH: (02) 9635 5840 FAX: (02) 9806 0027
 EMAIL: surveyor@hramsays.com.au www.hramsays.com.au

PLAN SHOWING DETAIL AND LEVELS OVER LOTS 1 & 2 DP 810552, LOT 3 DP 7130, LOT 1 DP 713706, LOTS 1 & 2 DP 930584, LOT 1 DP 104280, LOT 2 DP 550006 AND LOTS 1 & 2 DP 982743
 NANCARROW AVENUE, HAMILTON CRESCENT WEST, CONSTITUTION ROAD, BELMONE STREET AND HAMILTON CRESCENT SHEPHERDS BAY

SCALE	1:500@A1
DATUM	AHD
SURVEY	GC NM
DRAWN	PVB
DATE	20/11/2014
OUR REF	8073/13
SHEET 1 OF 1 SHEETS	



LEGEND

	EXISTING ROAD BOUNDARY
	PROPOSED ROAD BOUNDARY
	PROPOSED KERR AND GUTTER
	PROPOSED MOUNTABLE KERR
	PROPOSED KERR ONLY
	PROPOSED DSH DRAIN
	PROPOSED STORMWATER PIT AND LINE
	EXISTING STORMWATER LINE
	EXISTING STORMWATER TO BE REMOVED
	OVERLAND FLOW PATH
	SUBSIDE DRAIN WITH FLUSHING POINT
	NEW ROAD PAVEMENT CONSTRUCTION TO GEOTECH ENGINEERS SPECIFICATION
	CONCRETE ISLAND INFILL
	FOOTPATH TO LANDSCAPE ARCHITECTS SPECIFICATION
	HILL AND RESHEET (SEE ACT)
	RD-RETENTION AREA

NOTE:

- FOR SURFACE LEVELS AND FINISHES REFER TO LANDSCAPE ARCHITECTS PLANS.
- THE ORIGINAL OF THIS DRAWING WAS PRODUCED USING COLOUR SEPARATION FOR GREATER CLARITY. WORKING WITH BLACK AND WHITE COPY MAY CAUSE ERRORS.

WARNING
 BEWARE OF UNDERGROUND SERVICES
 The location of underground services are approximate only and their exact position should be checked on site. No guarantee is given that all existing cables and services are shown. Locate all underground cables and services before commencement of work. Refer to: Worksafe Regulation 2.21.

DIAL 1100
 BEFORE YOU DIG

NO	DATE	DESCRIPTION	BY
1	11/11/11	ISSUE FOR ROAD APPLICATION	JD
2	12/11/11	ISSUE FOR ROAD APPLICATION	JD
3	14/11/11	ISSUE FOR ROAD APPLICATION	JD
4	15/11/11	ISSUE FOR ROAD APPLICATION	JD
5	16/11/11	ISSUE FOR ROAD APPLICATION	JD
6	17/11/11	ISSUE FOR ROAD APPLICATION	JD
7	18/11/11	ISSUE FOR ROAD APPLICATION	JD
8	19/11/11	ISSUE FOR ROAD APPLICATION	JD
9	20/11/11	ISSUE FOR ROAD APPLICATION	JD
10	21/11/11	ISSUE FOR ROAD APPLICATION	JD
11	22/11/11	ISSUE FOR ROAD APPLICATION	JD
12	23/11/11	ISSUE FOR ROAD APPLICATION	JD
13	24/11/11	ISSUE FOR ROAD APPLICATION	JD
14	25/11/11	ISSUE FOR ROAD APPLICATION	JD
15	26/11/11	ISSUE FOR ROAD APPLICATION	JD
16	27/11/11	ISSUE FOR ROAD APPLICATION	JD
17	28/11/11	ISSUE FOR ROAD APPLICATION	JD
18	29/11/11	ISSUE FOR ROAD APPLICATION	JD
19	30/11/11	ISSUE FOR ROAD APPLICATION	JD
20	31/11/11	ISSUE FOR ROAD APPLICATION	JD

REVISIONS

HOLDMARK
 255-4 SPRING AVENUE, INGLEWOOD PARK NSW 2112

Sydney Office
 L2 8 Woodfield by Sydney NSW 2000
 P (+61) 2 9770 5300
 E: info@bgandae.com
 A: www.bgandae.com

BG & E

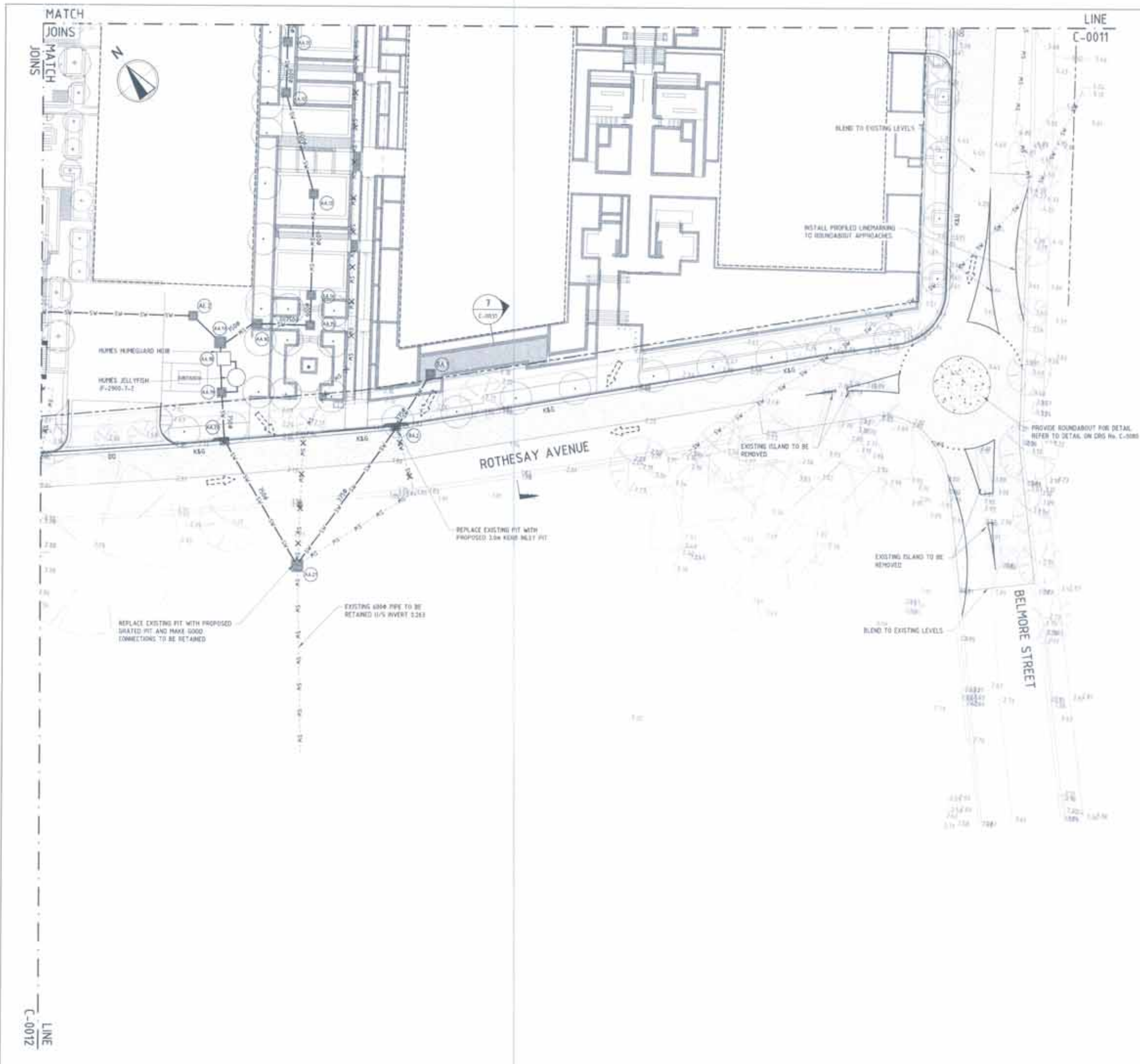
SHEPHERDS BAY MEADOWBANK

PRELIMINARY ONLY
 NOT TO BE USED FOR CONSTRUCTION

DATE	ISSUED	BY	FOR
15/11/11	15/11/11	JD	1254

SITWORKS PLAN SHEET 1

PROJECT NO.	DATE	SCALE
S10076	C-0010	G



LEGEND

- EXISTING ROAD BOUNDARY
- PROPOSED ROAD BOUNDARY
- PROPOSED KERB AND GUTTER
- PROPOSED MOUNTABLE KERB
- PROPOSED KERB ONLY
- PROPOSED DISH DRAIN
- PROPOSED STORMWATER PIT AND LINE
- EXISTING STORMWATER LINE
- EXISTING STORMWATER TO BE REMOVED
- OVERLAND FLOW PATH
- SUBSID DRAIN WITH FLUSHING POINT
- NEW ROAD PAVEMENT CONSTRUCTION TO GEOTECH ENGINEERS SPECIFICATION
- CONCRETE ISLAND INFILL
- FOOTPATH TO LANDSCAPE ARCHITECTS SPECIFICATION
- FILL AND RESHEET 30mm AEW
- BIO-RETENTION AREA

NOTE:

1. FOR SURFACE LEVELS AND FINISHES REFER TO LANDSCAPE ARCHITECTS PLANS.
2. THE ORIGINAL OF THIS DRAWING WAS PRODUCED USING COLOUR SEPARATION FOR GREATER CLARITY. WORKING WITH BLACK AND WHITE COPY MAY CAUSE ERRORS.

WARNING

REPAIRS OF UNDERGROUND SERVICES

The location of underground cables are approximate only and their exact position should be checked on site. No guarantee is given that all existing cables and services are shown. Locate all underground cables and services before commencement of work. Refer to Workplace Regulation 5.21.

DIAL 1100 BEFORE YOU DIG

NO.	DATE	DESCRIPTION	BY
1	22/11/24	ISSUED FOR ROAD APPLICATION	JK
2	22/11/24	ISSUED FOR ROAD APPLICATION	JK
3	24/11/24	ISSUED FOR ROAD APPLICATION	JK
4	25/11/24	ISSUED FOR ROAD APPLICATION	JK
5	26/11/24	ISSUED FOR ROAD APPLICATION	JK
Rev	2024	REVISION	JK

HOLDMARK

2/1-4 SPRING AVENUE, HALLS BAY NSW 2102

Sydney Office

2/1-4 Woodhill Dr, Sydney NSW 2102
 P: +61 2 9275 1200
 E: info@bge.com.au
 bge.com.au

SHEPHERDS BAY MEADOWBANK

PRELIMINARY ONLY
 NOT TO BE USED FOR CONSTRUCTION

DATE	ISSUED	REVISED	APPROVED
22/11/24	JK		

SITWORKS PLAN SHEET 4

PROJECT NO.	ISSUED NO.	REV.
S10076	C-0013	E

LINE C-0012



LEGEND

	EXISTING ROAD BOUNDARY
	PROPOSED ROAD BOUNDARY
	PROPOSED AERIS AND SUTTER
	PROPOSED MOUNTABLE KERR
	PROPOSED KERR ONLY
	PROPOSED ESH DRAIN
	PROPOSED STORMWATER PIT AND LINE
	EXISTING STORMWATER LINE
	EXISTING STORMWATER TO BE REMOVED
	OVERLAND FLOW PATH
	SURGE DRAIN WITH FLOODING POINT
	NEW ROAD PAVEMENT CONSTRUCTION TO GEOTECH ENGINEERS SPECIFICATION
	CONCRETE ISLAND INFILL
	FOOTPATH TO LANDSCAPE ARCHITECTS SPECIFICATION
	WELL AND RESHEET 30mm ACB
	SOI-RETENTION AREA

NOTE

- FOR SURFACE LEVELS AND FINISHES REFER TO LANDSCAPE ARCHITECTS PLANS.
- THE ORIGINAL OF THIS DRAWING WAS PRODUCED USING COLOUR SEPARATION FOR GREATER CLARITY. WORKING WITH BLACK AND WHITE COPY MAY CAUSE ERRORS.

WARNING
 BEWARE OF UNDERGROUND SERVICES.
 The location of underground utilities are approximate only and their exact position should be checked on site. No guarantee is given that all existing cables and services are shown. Locate all underground cables and services before commencement of work. Refer to Statutory Regulation 8.21.

DIAL 1100
 BEFORE YOU DIG

NO.	DATE	DESCRIPTION	BY
1	15/11/24	ISSUED FOR ROAD APPLICATION	TR
2	15/11/24	ISSUED FOR ROAD APPLICATION	TR
3	15/11/24	ISSUED FOR ROAD APPLICATION	TR
4	15/11/24	ISSUED FOR ROAD APPLICATION	TR
5	15/11/24	ISSUED FOR ROAD APPLICATION	TR

HOLDMARK
 10-A APPROX AERIS, MOUNTAIN PARK HWY 210

Sydney Office
 12 B Winkfield Sydney NSW 2000
 P: +61 2 9770 2200
 E: info@bgandc.com.au

BG & E

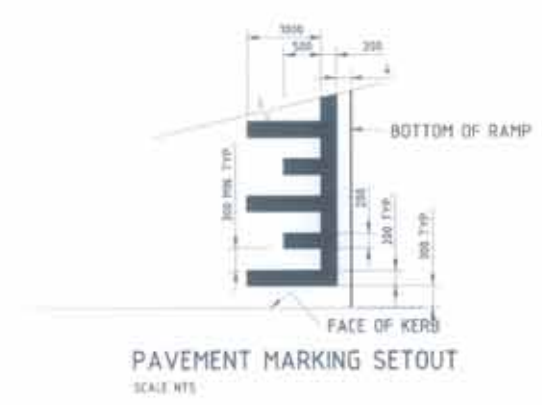
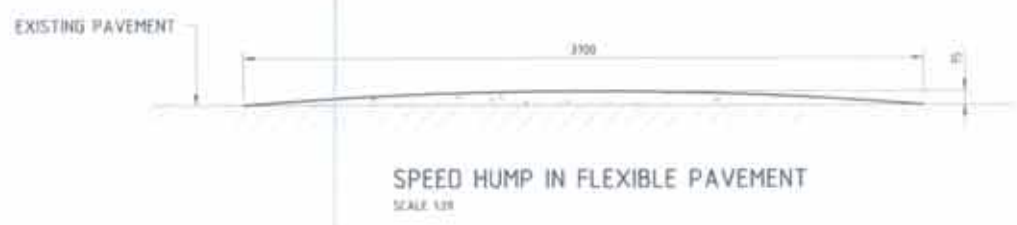
SHEPHERDS BAY MEADOWBANK

PRELIMINARY ONLY
 NOT TO BE USED FOR CONSTRUCTION

DATE	ISSUED	BY	CHK	APPV
24/11/24	15/11/24	TR	TR	TR

SITWORKS PLAN SHEET 7

PROJECT NO.	ISSUE NO.	REV.
S10076	C-0016	D





LEGEND

- EXISTING ROAD BOUNDARY
- PROPOSED ROAD BOUNDARY
- PROPOSED KERB AND GUTTER
- PROPOSED MOUNTABLE KERB
- PROPOSED KERB ONLY
- PROPOSED DISH DRAIN
- PROPOSED STORMWATER PIT AND LINE
- EXISTING STORMWATER LINE
- EXISTING STORMWATER TO BE REMOVED
- OVER AND FLOW PATH
- SUBSIDIARY DRAIN WITH FLOODING POINT
- NEW ROAD PAVEMENT CONSTRUCTION TO GEOTECH ENGINEERS SPECIFICATION
- CONCRETE ISLAND INFILL
- FOOTPATH TO LANDSCAPE ARCHITECTS SPECIFICATION
- FILL AND RESEED 30mm A2/D
- 80L RETENTION AREA

NOTE:
 1. FOR SURFACE LEVELS AND FINISHES REFER TO LANDSCAPE ARCHITECTS PLANS.
 2. THE ORIGINAL OF THIS DRAWING WAS PRODUCED USING COLOUR SEPARATION FOR GREATER CLARITY. WORKING WITH BLACK AND WHITE COPY MAY CAUSE ERRORS.

WARNING
 BEWARE OF UNDERGROUND SERVICES.
 The location of underground services are approximate only and their exact position should be checked on site. No guarantee is given that all underground cables and services are shown. Locate all underground cables and services before commencement of work. Refer to Network Regulation 5.2.1.

DIAL 1100
 BEFORE YOU DIG

NO.	DATE	DESCRIPTION	BY
1	24/04/24	ISSUE FOR ROAD APPLICATION	DB
2	24/04/24	ISSUE FOR ROAD APPLICATION	DB
3	24/04/24	ISSUE FOR ROAD APPLICATION	DB
4	24/04/24	ISSUE FOR ROAD APPLICATION	DB

HOLDMARK
 1/5-4 BETHUNE AVENUE, HAZELBROOK NSW 2178

Sydney Office
 L2 & 3 Woodfield by Sydney Street 2000
 P: +61 2 9733 2300
 E: info@bgandc.com.au
 www.bgandc.com.au

SHEPHERDS BAY MEADOWBANK

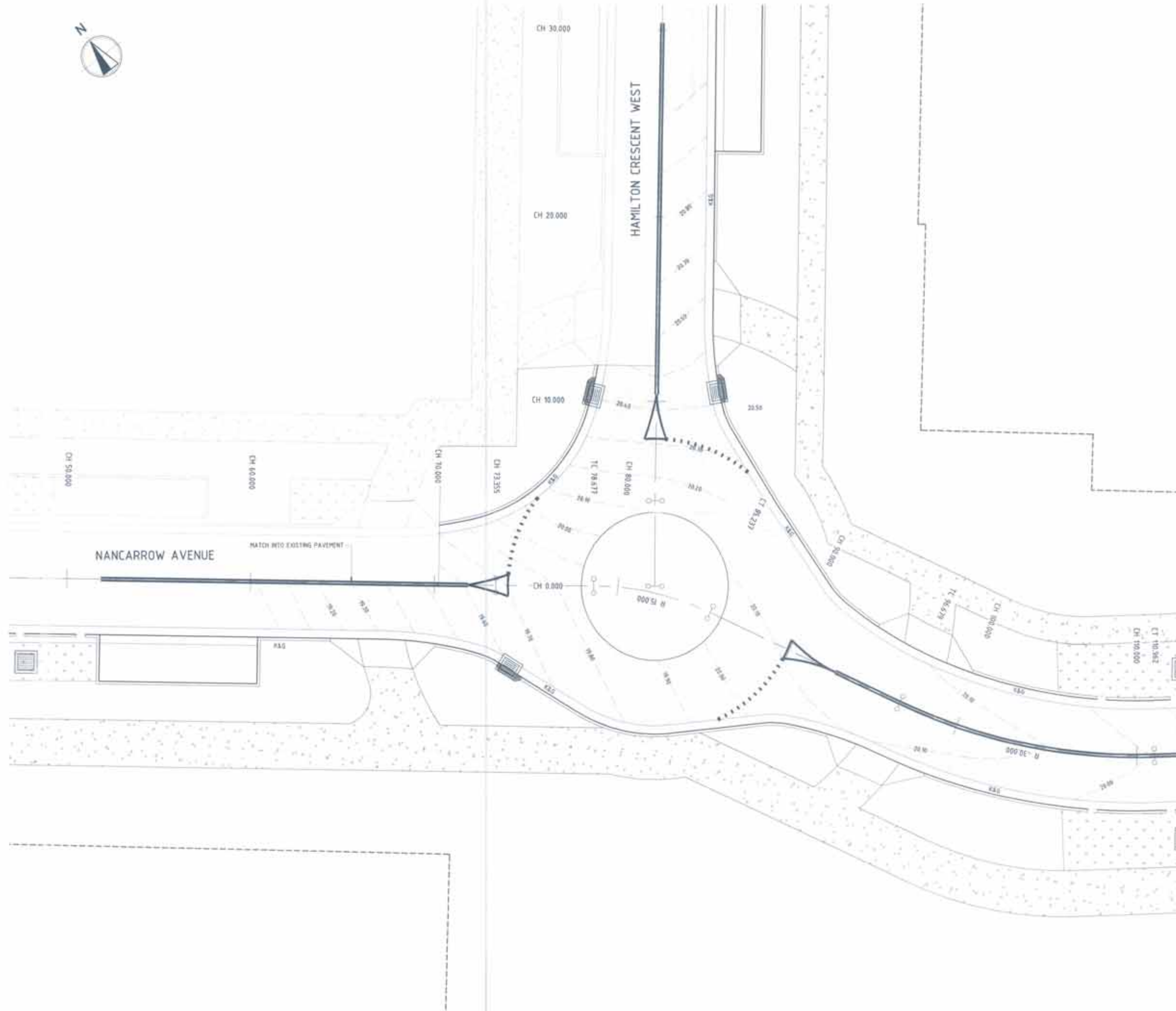
PRELIMINARY ONLY
 NOT TO BE USED FOR CONSTRUCTION

NO.	DATE	DESCRIPTION	BY
1	24/04/24	ISSUE FOR ROAD APPLICATION	DB

SITWORKS PLAN SHEET 9

PROJECT NO.	S10076	DRAWING NO.	C-0018	REV.	C
-------------	--------	-------------	--------	------	---

THIS DRAWING IS THE PROPERTY OF BG & E. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED. IT IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF BG & E.



LEGEND

	EXISTING ROAD BOUNDARY
	PROPOSED ROAD BOUNDARY
	PROPOSED KERB AND OUTER
	PROPOSED MOUNTABLE KERB
	PROPOSED KERB RWLY
	PROPOSED OSH DRAIN
	PROPOSED STORMWATER PIT AND LINE
	EXISTING STORMWATER LINE
	EXISTING STORMWATER TO BE REMOVED
	OVERLAND FLOW PATH
	SUBSIDE DRAIN WITH FLUSHING POINT
	NEW ROAD PAVEMENT CONSTRUCTION TO GEOTECH ENGINEERS SPECIFICATION
	CONCRETE ISLAND APRON
	FOOTPATH TO LANDSCAPE ARCHITECTS SPECIFICATION
	FILL AND RESHEET 30mm ACB
	SOIL-RETENTION AREA

- NOTE**
- FOR SURFACE LEVELS AND FINISHES REFER TO LANDSCAPE ARCHITECTS PLANS.
 - THE ORIGINAL OF THIS DRAWING WAS PRODUCED USING COLOUR SEPARATION FOR GREATER CLARITY. WORKING WITH BLACK AND WHITE COPY MAY CAUSE ERRORS.

WARNING
 BEHIND THE UNAUTHORIZED SIGNATURE
 The location of underground utilities are approximate only and their exact position should be checked on site. No guarantee is given that all existing cables and services are shown. Locate all underground cables and services before commencement of work. Refer to Statutory Regulation 1.21.

DIAL 1100
 BEFORE YOU DIG

NO.	DATE	ISSUED FOR ROAD APPLICATION	BY
1	20/11/2018	ISSUED FOR ROAD APPLICATION	MB
2	20/11/2018	ISSUED FOR ROAD APPLICATION	MB
3	24/11/2018	AS ABOVE	MB

REVISIONS

HOLDMARK
 4/3-4 SPRING AVENUE, MCGUIRE PARK NSW 2177

Sydney Office
 L2 9 Wentworth St, Sydney NSW 2000
 P: +61 2 9739 3300
 F: +61 2 9739 3300
 E: info@bgandae.com.au
 www.bgandae.com.au

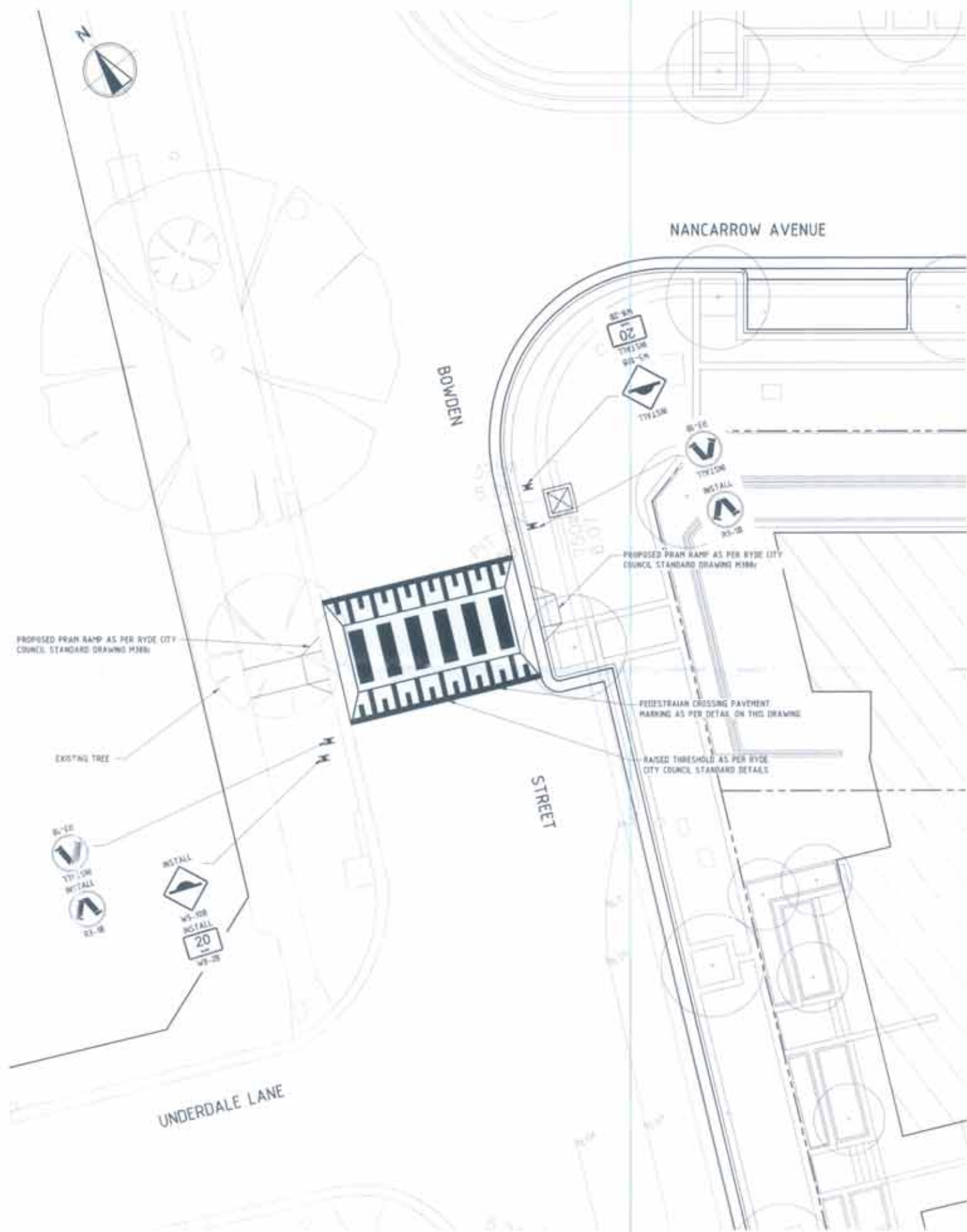
SHEPHERDS BAY MEADOWBANK

PRELIMINARY ONLY
 NOT TO BE USED FOR CONSTRUCTION

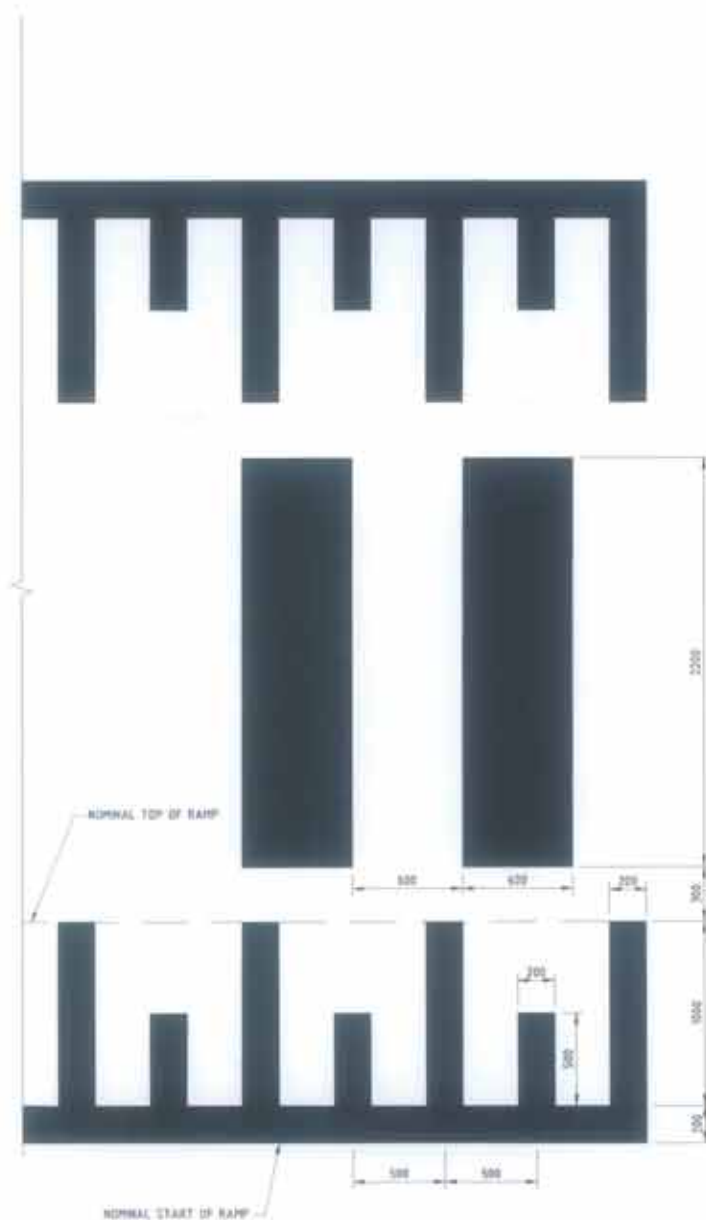
DATE	BY	CHKD	APPD
20/11/2018	MB	MB	MB
20/11/2018	MB	MB	MB

ROUNDAABOUT PLAN

PROJECT NO.	ISSUED TO	REV
S10076	C-0019	B



RAISED THRESHOLD PLAN
SCALE 1:80



RAISED THRESHOLD PAVEMENT MARKING DIMENSIONS
SCALE 1:20

NO.	DATE	ISSUED FOR	BY
1	04/10/20	ISSUED FOR QA	AB
2	04/10/20	REVISION	AB

REVISIONS	
NO.	DESCRIPTION

HOLDMARK
SHEPHERDS BAY/MEADOWBANK

Sydney Office
 L2 8 Waterloo St Sydney NSW 2000
 P/+61 2 9770 1300
 E/sales@bgandc.com.au
 www.bgandc.com.au

BG & E

**SHEPHERDS BAY
MEADOWBANK**

PRELIMINARY ONLY
NOT TO BE USED FOR CONSTRUCTION

TO	BY	DATE	APPROVED

NO.	DATE	ISSUED FOR	BY
1	04/10/20	ISSUED FOR QA	AB

BOWDEN STREET/NANCARROW AVENUE RAISED THRESHOLD PLAN

PROJECT NO.	SKC050	SCALE	A
PROJECT NO.	S10076	SCALE	A

DA - Stage 4 & 5 - Sheet List		
Sheet Number/REV	Sheet Name	Print Set
DA-45-000/A	STAGE 4&5 - Cover Sheet	B1 & A3
DA-45-001/A	STAGE 4&5 - SITE PLAN	B1 & A3
DA-45-100/A	STAGE 4&5 - BASEMENT 3	B1 & A3
DA-45-101/A	STAGE 4&5 - BASEMENT 2	B1 & A3
DA-45-102/A	STAGE 4&5 - BASEMENT 1	B1 & A3
DA-45-103/A	STAGE 4&5 - GROUND LEVEL	B1 & A3
DA-45-104/A	STAGE 4&5 - LEVEL 1	B1 & A3
DA-45-105/A	STAGE 4&5 - LEVEL 2	B1 & A3
DA-45-106/A	STAGE 4&5 - LEVEL 3	B1 & A3
DA-45-107/A	STAGE 4&5 - LEVEL 4	B1 & A3
DA-45-108/A	STAGE 4&5 - LEVEL 5	B1 & A3
DA-45-109/A	STAGE 4&5 - LEVEL 6	B1 & A3
DA-45-110/A	STAGE 4&5 - LEVEL 7	B1 & A3
DA-45-111/A	STAGE 4&5 - LEVEL 8 & Roof	B1 & A3
DA-45-112/A	STAGE 4&5 - LEVEL 9	B1 & A3
DA-45-113/A	STAGE 4&5 - ROOF	B1 & A3
DA-45-201/A	NORTH ELEVATIONS	B1 & A3
DA-45-202/A	SOUTH ELEVATIONS	B1 & A3
DA-45-203/A	STAGE 4 - EAST ELEVATION	B1 & A3
DA-45-204/A	STAGE 5 - EAST ELEVATION	B1 & A3
DA-45-205/A	STAGE 4 - WEST ELEVATION	B1 & A3
DA-45-206/A	STAGE 5 - WEST ELEVATION	B1 & A3
DA-45-301/A	SECTION STAGE 4&5	B1 & A3
DA-45-302/A	STAGE 5 - SECTIONS - 1	B1 & A3
DA-45-303/A	STAGE 5 - SECTIONS - 2	B1 & A3
DA-45-304/A	STAGE 4 - SECTIONS - 1	B1 & A3
DA-45-305/A	STAGE 4 - SECTIONS - 2	B1 & A3
DA-45-501/A	STAGE 4 SCHEDULES	B1 & A3
DA-45-502/A	STAGE 5 SCHEDULES	B1 & A3
DA-45-600/A	STAGE 4&5 - SHADOW DIAGRAMS	B1 & A3
DA-45-701/A	STAGE 4&5 - EXTERIOR FINISHES	B1 & A3
DA-45-801/A	STAGE 4&5 - Amenities Sheet 1	A3 Only
DA-45-802/A	STAGE 4&5 - Amenities Sheet 2	A3 Only
DA-45-803/A	STAGE 4&5 - Amenities Sheet 3	A3 Only
DA-45-804/A	STAGE 4&5 - Amenities Sheet 4	A3 Only
DA-45-805/A	STAGE 4&5 - Amenities Sheet 5	A3 Only
DA-45-806/A	STAGE 4&5 - Amenities Sheet 6	A3 Only

P4&5 PARKING SCHEDULE	
Type	Count
P4&5 Basement 1	
Single Disabled	19
Single Space	157
Tandem Front	19
Tandem Rear	18
Visitor Space	59
P4&5 Basement 2	
Single Disabled	31
Single Space	182
Tandem Disabled	2
Visitor Space	45
P4&5 Basement 3	
Single Space	100
Tandem Front	8
Tandem Rear	8
Grand total	647

P4&5 PARKING SCHEDULE Number of Slots	
Type	Count
P4&5 Basement 1	
Single Disabled	19
Single Space	157
Tandem Front	18
Tandem Rear	18
Visitor Space	59
P4&5 Basement 2	
Single Disabled	31
Single Space	182
Tandem Disabled	2
Visitor Space	45
P4&5 Basement 3	
Single Space	100
Tandem Front	8
Tandem Rear	8
Grand total	621

Unit MIX - Stage 4	
TYPE	Count
1B	59
1B+S	85
2B	54
2B+S	10
3B	7
Loft	11
Loft 2 Bed	2
Studio	6
Total	234

Unit MIX - Stage 5	
TYPE	Count
1B	65
1B+S	132
2B	53
2B+S	17
3B	6
Studio	4
Total	277

Unit MIX - Stage 4 & 5	
TYPE	Count
1B	124
1B+S	217
2B	107
2B+S	27
3B	13
Loft	11
Loft 2 Bed	2
Studio	10
Total	511



DA Submission

DEVELOPMENT APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 4 & 5

ARCHITECT
ROBERTSON+MARKS
 EST 1992

Ground Level: 11-17 Buckingham St, Surry Hills, 2010 Australia
 t: (+61) 2 9339 4399 e: info@robertson+marks.net.au www.robertson+marks.net.au
 BRIAN MARR (SYD) ANDREW SCARVELL MARCO G. ABROGHIANZA

CLIENT
HOLDMARK

2/2-4 GIFFNOCK AV., MACQUARIE PARK, NSW 2113
 P: (02) 9889 5540 F: (02) 9889 5829
 e: info@holdmark.com.au www.holdmark.com.au

NOTES

Dimensions - Contractors to check all dimensions on site prior to commencing construction.
 Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
 Internal layouts shown are indicative only for information purposes and are subject to further design development and change.
 Window mullions, if shown, are indicative only.
 Louvre panels, if shown, are indicative only.
 All dimensions and levels shown are approximate.
 Any finishes nominated are indicative only and subject to change.
 Articulations shown on the facade are indicative only and are subject to further design development and change.
 Storage elevations and areas are not necessarily shown on this drawing and are subject to change.

REVISIONS

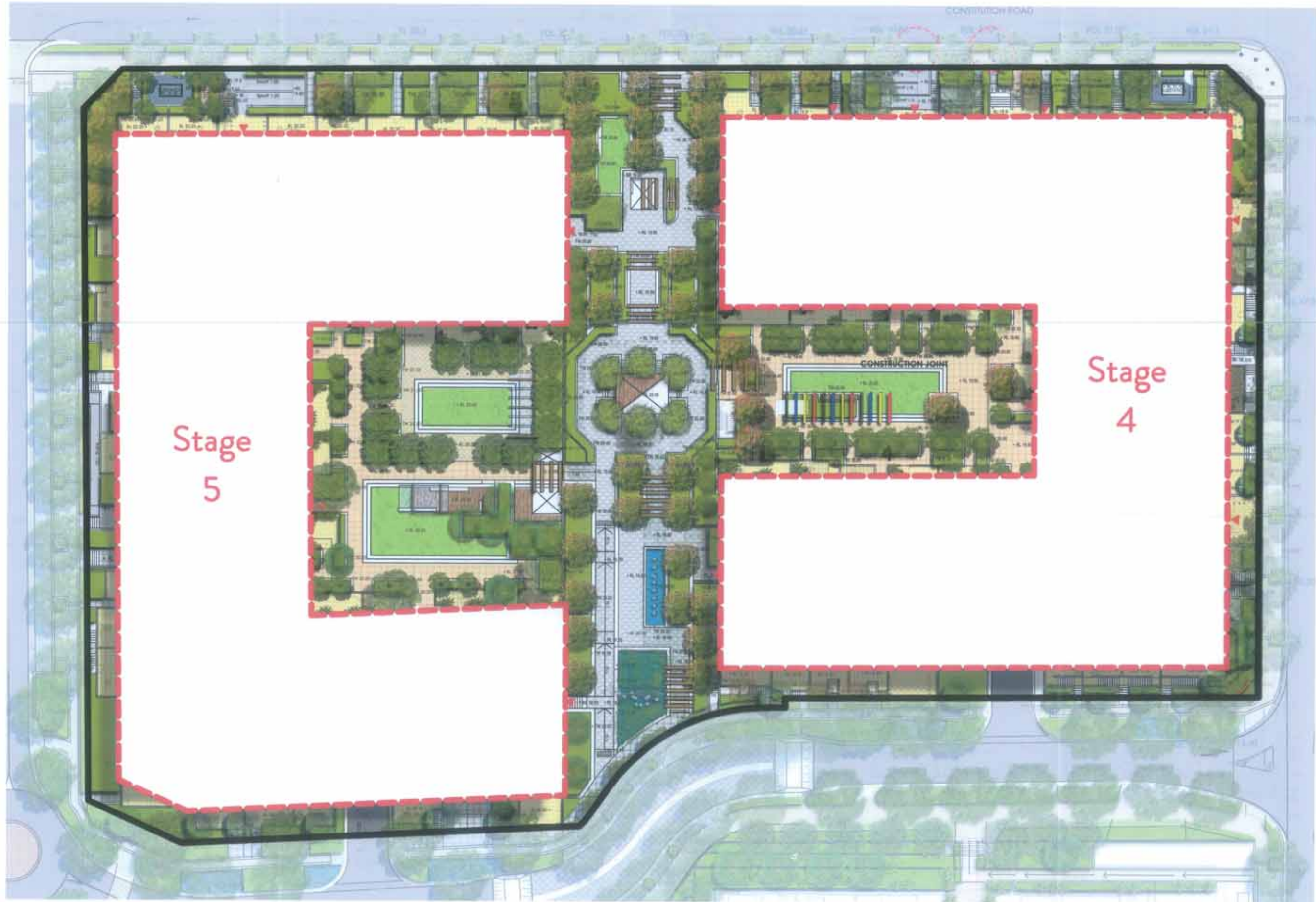
No.	Date	Description	By	App.
1	14/09/2014	Issued	BLVD/AM/SA	

TRUE NORTH & KEY PLAN

DRAWING TITLE
 STAGE 4&5 - Cover Sheet

SCALE - @B1
DATE - Dec 1st - 2014
PROJECT # 10068-3

Drawing Number
 DA-45-000/A



----- APPROVED ENVELOPE

DA Submission

DEVELOPMENT APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 4 & 5

ARCHITECT
ROBERTSON + MARKS
 EST. 1992
 Ground Level 11-17 Buckingham St, Surry Hills, 2010 Australia
 t: (61) 2 9399 4388 e: info@robertsonmarks.com.au www.robertsonmarks.com.au
 BRUSH MANN SMYTH + ANDREW SCARFELLO + MARCO DE JARDIM

CLIENT
HOLDMARK
 212-4 GIFFNOCK AV., MACQUARIE PARK, NSW 2113
 P: (02) 9889 5540 F: (02) 9888 5829
 e: info@holdmark.com.au www.holdmark.com.au

NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction.
 Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
 Internal layouts shown are indicative only for information purposes and are subject to further design development and change.
 Window mullions, if shown, are indicative only.
 Louvre panels, if shown, are indicative only.
 All dimensions and levels shown are approximate.
 Any facilities nominated are indicative only and subject to change.
 Articulations shown on the facade are indicative only and are subject to further design development and change.
 Storage allocations and areas are not necessarily shown on the drawings and are subject to change.

REVISIONS			
No.	Date	Description	By
1	10/01/2014	ISSUED FOR DA	RM



DRAWING TITLE
STAGE 4&5 - SITE PLAN
 SCALE: 1:200 (BIM)
 DATE: 02/03/14
 PROJECT # 10068-3
 Drawing Number
DA-45-001/A
ROBERTSON + MARKS



DEVELOPMENT APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 4 & 5

ARCHITECT
ROBERTSON+MARKS
 EST 1992
 Ground Level 11-12 Buckingham St, Surry Hills, 2010 Australia
 t: (02) 2919-4389 e: info@robertson+marks.com.au www.robertson+marks.com.au
 BRIAN BLAIR 1974 • ANDREW SCHIFFELS • MARCO D. ARBONAZZI

CLIENT
HOLDMARK
 212-4 GIFFNOCK AV., MACQUARIE PARK, NSW 2113
 P: (02) 9899 5540 F: (02) 9888 5829
 e: info@holdmark.com.au www.holdmark.com.au

NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction.
 Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
 Internal layouts shown are indicative only for information purposes and are subject to further design development and change.
 Window mullions, if shown, are indicative only.
 Louvre panels, if shown, are indicative only.
 All dimensions and levels shown are approximate.
 Any finishes nominated are indicative only and subject to change.
 Articulation shown on the facade are indicative only and are subject to further design development and change.
 Storage allocations and areas are not necessarily shown on the drawings and are subject to change.

REVISIONS

REV	DATE	DESCRIPTION	BY
1	15/02/2014	ISSUED FOR IFC	BM



DA Submission

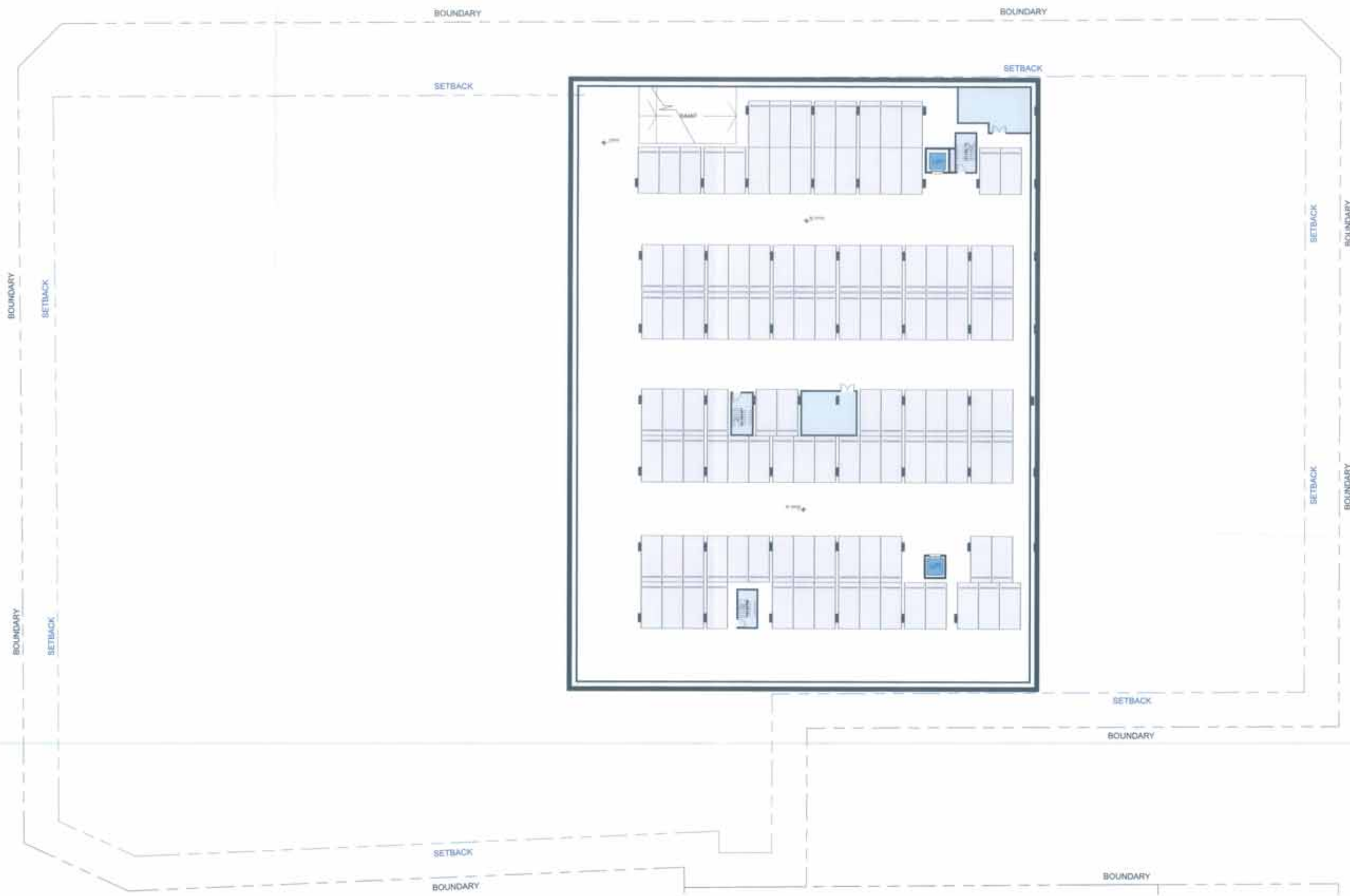
DRAWING TITLE
STAGE 485 - BASEMENT 1

SCALE: 1:200 @B1
 DATE: Dec 1st - 2014
 PROJECT # 10058-3

Drawing Number
DA-45-102/A

ROBERTSON+MARKS







- - - - - APPROVED ENVELOPE
 - - - - - APPROVED 60% POP-UP ENVELOPE

DA Submission

DEVELOPMENT APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 4 & 5

ARCHITECT
ROBERTSON + MARKS
 EST. 1992
 Ground Level 11-17 Burlington St. Surry Hills, 2010 Australia
 L: (+61) 2 9319 4300 A: info@robertsonmarks.net.au www.robertsonmarks.net.au
 BRIAN MANN 98% ANDREW SCARVELL 5% MARCO O. ARBONDA 97%

CLIENT
HOLDMARK
 212-4 GIFFNOCK AV. P: (02) 9889 5540
 MACQUARIE PARK F: (02) 9888 5829
 NSW 2113
 e: info@holdmark.com.au www.holdmark.com.au

NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction.
 Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
 Internal layouts shown are indicative only for information purposes and are subject to further design development and change.
 Window mullions, if shown, are indicative only.
 Louvre panels, if shown, are indicative only.
 All dimensions and levels shown are approximate.
 Any finishes nominated are indicative only and subject to change.
 Articulations shown on the facade are indicative only and are subject to further design development and change.
 Storage allocations and areas are not necessarily shown on the drawings and are subject to change.

REV	DATE	DESCRIPTION	BY
A	14 DEC 2014	ISSUED FOR DA	



DRAWING TITLE
STAGE 4&5 - GROUND LEVEL
 SCALE: 1:200 (DBI)
 DATE: Dec 14 - 2014
 PROJECT # 10068-3
 Drawing Number
DA-45-103/A

ROBERTSON + MARKS



- - - - - APPROVED ENVELOPE
 - - - - - APPROVED 60% POP-UP ENVELOPE

DA Submission

DEVELOPMENT APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 4 & 5

ARCHITECT
ROBERTSON+MARKS
 EST 1892
 Ground Level: 71-77 Barkington St. Sony Hills 2010 Australia
 t: (+61) 2 9319 4388 e: info@robertsonmarks.com.au www.robertsonmarks.com.au
 BRIAN MANN 8875 - ANDREW SCARFUS - MARCO G. ARBORELIANCA

CLIENT
HOLDMARK
 212-4 GIFFNOCK AV. P: (02) 9889 5540
 MACQUARIE PARK P: (02) 9888 5829
 NSW 2113
 www.holdmark.com.au www.holdmark.com.au

NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction.
 Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
 Internal layouts shown are indicative only for information purposes and are subject to further design development and change.
 Window mullions, if shown, are indicative only.
 Louvre panels, if shown, are indicative only.
 All dimensions and levels shown are approximate.
 Any finishes nominated are indicative only and subject to change.
 Articulations shown on the facade are indicative only and are subject to further design development and change.

Rev	Date	Description
1	10/01/2014	ISSUED FOR I.D.



DRAWING TITLE
STAGE 4&5 - LEVEL 1
 SCALE: 1/200 (BBI)
 DATE: Dec 1st - 2014
 PROJECT # 10088-B
 Drawing Number
DA-45-104/A



- - - - - APPROVED ENVELOPE
 - - - - - APPROVED 60% POP-UP ENVELOPE

DA Submission

DEVELOPMENT
 APPLICATION
 Concept Plan Approval

ARCHITECT
ROBERTSON+MARKS
 EST. 1992
 Ground Level 15/17 Bingham St. Surry Hills, 2010 Australia

CLIENT
HOLDMARK
 20-4 GIFFNOCK AV,
 MACQUARIE PARK
 NSW 2107
 P: (02) 9889 5540
 F: (02) 9888 5829

NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction.
 Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
 Internal layouts shown are indicative only for information purposes and are subject to further design development and change.
 Window mullions, if shown, are indicative only.
 Louvre panels, if shown, are indicative only.
 All dimensions and levels shown are approximate.

REV	DATE	DESCRIPTION	BY
1	14/01/2014	ISSUED FOR IFC	RM



DRAWING TITLE
STAGE 4&5 - LEVEL 3
 SCALE - 1:200 @M
 DATE - Dec 1st - 2014
 PROJECT # 10048-3
 Drawing Number
DA-45-106/A



--- APPROVED ENVELOPE
 --- APPROVED 60% POP-UP ENVELOPE

DA Submission

DEVELOPMENT APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 4 & 5

ARCHITECT
ROBERTSON+MARKS
 EST 1992
 Ground Level 11-17 Buckingham St, Surry Hills, 2010 Australia
 t: (+61) 2 9339 4388 e: info@robertsonmarks.com.au www.robertsonmarks.com.au
 BRIAN HANN 9876 - ANDREW SCARVELL - MARCO D. ARBONDAKIS

CLIENT
HOLDMARK
 212-4 GIFFTHOCK AV., P: (02) 9889 5540
 MACQUARIE PARK, E: (02) 9888 5829
 NSW 2113
 e: info@holdmark.com.au www.holdmark.com.au

NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction.
 Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
 Internal layouts shown are indicative only for information purposes and are subject to further design development and change.
 Window mullions, if shown, are indicative only.
 Louvre panels, if shown, are indicative only.
 All dimensions and levels shown are approximate.
 Any finishes nominated are indicative only and subject to change.
 Articulations shown on the facades are indicative only and are subject to further design development and change.
 Storage allocations and areas are not necessarily shown on the drawings and are subject to change.

REVISIONS

No.	Date	Description	By
1	19/02/2014	ISSUED FOR PERMIT	RM



DRAWING TITLE
STAGE 4&5 - LEVEL 2
 SCALE: 1:200 (B1)
 DATE: Dec 1st - 2014
 PROJECT # 10068-3
 Drawing Number
DA-45-105/A
ROBERTSON+MARKS



--- APPROVED ENVELOPE
 --- APPROVED 60% POP-UP ENVELOPE

DA Submission

DEVELOPMENT APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 4 & 5

ARCHITECT
ROBERTSON+MARKS
 EST. 1892
 Ground Level: 11-17 Buckingham St. Surry Hills 2010 Australia
 t: (01) 2 939 4300 e: info@robertsonmarks.com.au www.robertsonmarks.com.au
 BRIAN MARKS 1975 • ANDREW SCAPVELLO • MARCO D. ABRONZANI

CLIENT
HOLDMARK
 22-4 GIFFNOCK AV.,
 MACQUARIE PARK
 NSW 2113
 P: (02) 9889 5540
 F: (02) 9888 5829
 e: info@holdmark.com.au www.holdmark.com.au

NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction.
 Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
 Internal layouts shown are indicative only for information purposes and are subject to further design development and change.
 Window mullions, if shown, are indicative only.
 Louvre panels, if shown, are indicative only.
 All dimensions and levels shown are approximate.
 Any finishes nominated are indicative only and subject to change.
 Articulations shown on the facade are indicative only and are subject to further design development and change.
 Storage allocations and areas are not necessarily shown on the drawings and are subject to change.

REVISIONS

No.	Date	Description	By
1	10/02/2014	ISSUED FOR DA	RM



DRAWING TITLE
STAGE 4&5 - LEVEL 4
 SCALE: 1:200 (DIM)
 DATE: Dec 1st - 2014
 PROJECT # 10068-3
 Drawing Number
DA-45-107/A
ROBERTSON+MARKS



- - - - - APPROVED ENVELOPE
 - - - - - APPROVED 60% POP-UP ENVELOPE

DA Submission

DEVELOPMENT APPLICATION
 Concept Plan Approval

ARCHITECT
ROBERTSON+MARKS
 EST. 1992
 Ground Level 11-17 Buckingham St, Surry Hills 2010 Australia

CLIENT
HOLDMARK
 3/2-4 GIFFNOCK AV,
 MACQUARIE PARK
 R: (02) 9885 5340
 F: (02) 9888 5826

NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction.
 Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
 Internal layouts shown are indicative only for information purposes and are subject to further design development and change.
 Window mullions, if shown, are indicative only.
 Louvre panels, if shown, are indicative only.
 All dimensions and levels shown are approximates.

REV	DATE	DESCRIPTION	BY
1	24/02/2014	ISSUED FOR PERMIT	...



DRAWING TITLE
STAGE 4&5 - LEVEL 5
 SCALE: 1:200 @B1
 DATE: Dec 1st - 2014
 PROJECT # 10068-3
 Drawing Number
DA-45-108/A



--- APPROVED ENVELOPE
 APPROVED FOR USE ONLY



----- APPROVED ENVELOPE
 APPROVED 60% FOR USE ENVELOPE



--- APPROVED ENVELOPE
 --- APPROVED 60% POP-UP ENVELOPE

DA Submission

DEVELOPMENT APPLICATION
 Concept Plan Approval (MP 09_0216)
 STAGE 4 & 5

ARCHITECT
ROBERTSON+MARKS
 EST 1992
 Ground Level 11/17 Buckingham St. Surry Hills 2010 Australia
 t: +61 2 9333 4388 e: r.m@robertsonmarks.com.au www.robertsonmarks.com.au
 BRIAN HANRATTY - ANDREW SCARVELL - MARCO G. ARBONDA

CLIENT
HOLDMARK
 2/2-4 GIFFNOCKE AV., MACQUARIE PARK, NSW 2113
 P: (02) 9889 5540 F: (02) 9888 5829
 e: info@holdmark.com.au www.holdmark.com.au

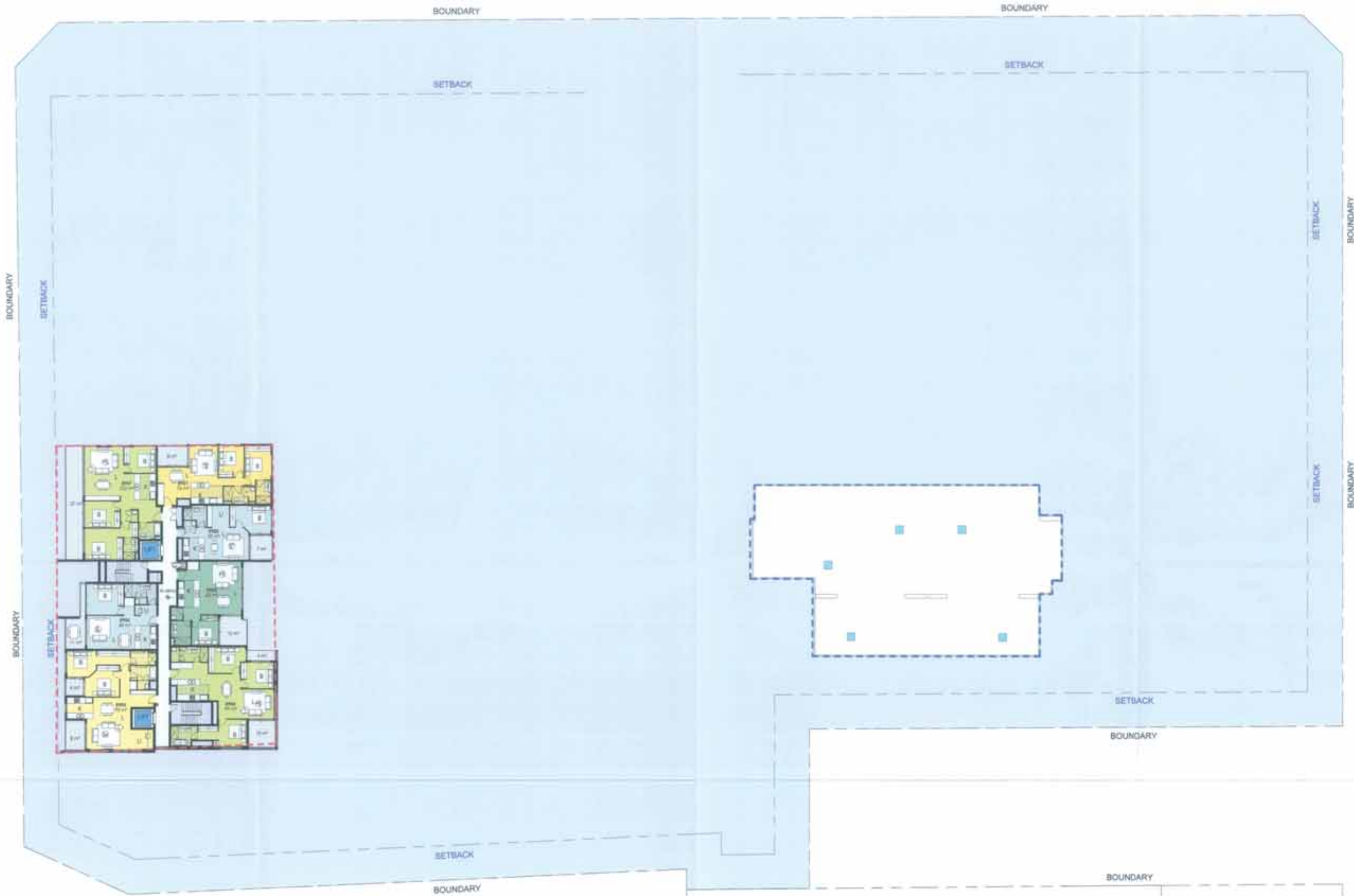
NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction.
 Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
 Internal layouts shown are indicative only for information purposes and are subject to further design development and change.
 Window mullions, if shown, are indicative only.
 Louvre panels, if shown, are indicative only.
 All dimensions and levels shown are approximate.
 Any finishes nominated are indicative only and subject to change.
 Articulations shown on the facade are indicative only and are subject to further design development and change.
 Storage allocations and areas are not necessarily shown on the drawings and are subject to change.

REVISIONS

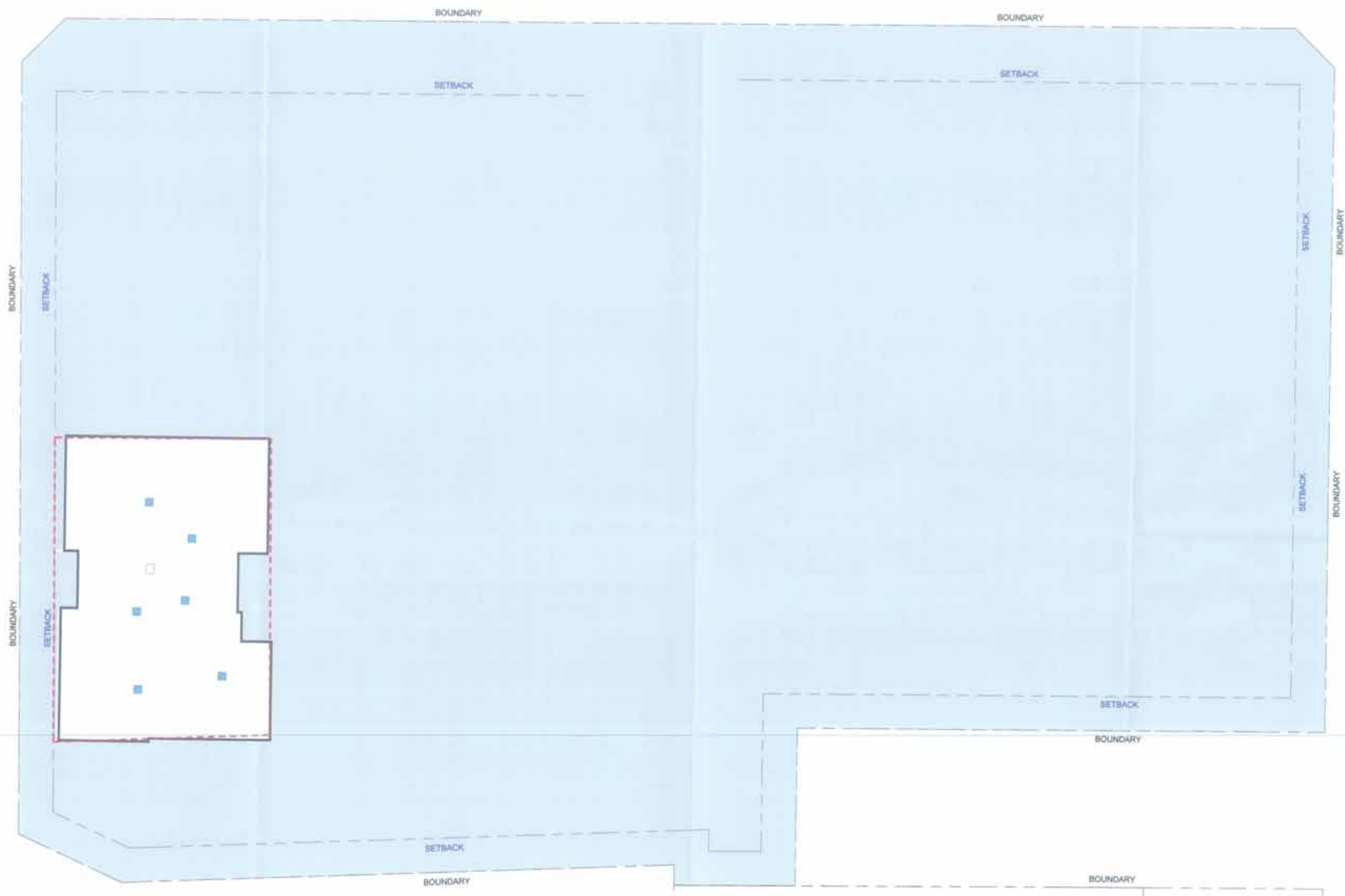
No.	Date	Description	By
1	15/01/2014	ISSUED FOR DA	RM



DRAWING TITLE
STAGE 4&5 - LEVEL 8 & Roof
 SCALE: 1:300 (RRI)
 DATE: Dec 1st - 2014
 PROJECT # 10068-3
 Drawing Number
DA-45-111/A
ROBERTSON+MARKS



----- APPROVED ENVELOPE
----- APPROVED 60% POP-UP ENVELOPE



- - - - - APPROVED ENVELOPE
- - - - - APPROVED 60% POP-UP ENVELOPE

DA Submission

DEVELOPMENT APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 4 & 5

ARCHITECT
ROBERTSON + MARKS
 EST 1992
 Ground Level: 11-17 Buckingham St, Surry Hills, 2010, Australia
 t: 1512 2 939 4388 e: mail@rmarks.net.au www.rmarks.net.au
 BRIAN MANNING • ANDREW SCARVELLO • MARCO G. ARBONDAIZA

CLIENT
HOLDMARK
 2/2-4 GIFFNOCK AV,
 MACQUARIE PARK, NSW 2113
 P: (02) 9889 5540
 F: (02) 9888 5829
 e: info@holdmark.com.au www.holdmark.com.au

NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction.
 Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
 Internal layouts shown are indicative only for information purposes and are subject to further design development and change.
 Window mullions, if shown, are indicative only.
 Louvre panels, if shown, are indicative only.
 All dimensions and levels shown are approximate.
 Any finishes nominated are indicative only and subject to change.
 Articulation shown on the facade are indicative only and are subject to further design development and change.
 Storage allocations and areas are not necessarily shown on the drawings and are subject to change.

REVISIONS			
Rev	Date	Description	By
1	11/01/2014	Issue for DA	BM



DRAWING TITLE
 STAGE 4&5 - ROOF
 SCALE: 1:200 (RRI)
 DATE: Dec 1st - 2014
 PROJECT # 10068-3
 Drawing Number
DA-45-113/A

NORTH ELEVATION



STAGE 4

STAGE 5

----- APPROVED ENVELOPE
 ----- APPROVED 60% POP-UP ENVELOPE

DA Submission

DEVELOPMENT APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 4 & 5

ARCHITECT
ROBERTSON+MARKS
 EST 1892
 Ground Level 11/17 Buckingham St, Surry Hills 2010 Australia
 t: (0)2 9339 4388 e: r.m@robertsonmarks.com.au www.robertsonmarks.com.au
 BRIAN MANN DITS • ANDREW SCARVELL • MARCO D. ARBONDA

CLIENT
HOLDMARK
 2/2-4 GIFFNOCK AV, MACQUARIE PARK NSW 2113
 P: (0)2 9889 5540 F: (0)2 9888 5829
 e: info@holdmark.com.au www.holdmark.com.au

NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction.
 Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
 Internal layouts shown are indicative only for information purposes and are subject to further design development and change.
 Window mullions, if shown, are indicative only.
 Louvre panels, if shown, are indicative only.
 All dimensions and levels shown are approximate.
 Any finishes nominated are indicative only and subject to change.
 Articulations shown on the facade are indicative only and are subject to further design development and change.
 Storage allocations and areas are not necessarily shown on the drawings and are subject to change.

REV	DATE	DESCRIPTION	BY
1	14/02/2014	ISSUED FOR ICP	RM



DRAWING TITLE
NORTH ELEVATIONS
 SCALE: 1:200 (S&B)
 DATE: Dec 1st - 2014
 PROJECT # 10068-3
 Drawing Number
DA-45-201/A

ROBERTSON+MARKS

SOUTH ELEVATION



STAGE 5

STAGE 4

----- APPROVED ENVELOPE
 ----- APPROVED 60% POP-UP ENVELOPE

DA Submission

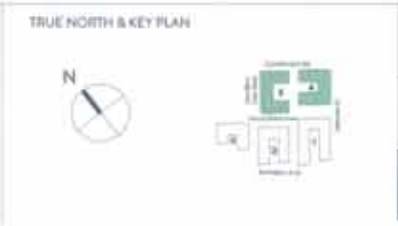
DEVELOPMENT APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 4 & 5

ARCHITECT
ROBERTSON + MARKS
 EST 1992
 Ground Level 11/17 Buckingham St, Surry Hills, 2010 Australia
 t: (+61) 2 9319 4388 e: rmark@robertson-marks.net.au www.robertson-marks.net.au
 BRIAN MARK OBE • ANDREW SCARVELL • MARCO D. ABBONDANZA

CLIENT
HOLDMARK
 2/2-4 GIFFNOCK AV., MACQUARIE PARK, NSW 2113
 P: (02) 9889 5540 F: (02) 9888 5829
 e: info@holdmark.com.au www.holdmark.com.au

NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction.
 Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
 Internal layouts shown are indicative only for information purposes and are subject to further design development and change.
 Window mullions, if shown, are indicative only.
 Louvre panels, if shown, are indicative only.
 All dimensions and levels shown are approximate.
 Any finishes nominated are indicative only and subject to change.
 Articulations shown on the facade are indicative only and are subject to further design development and change.
 Storage allocations and areas are not necessarily shown on the drawings and are subject to change.

Rev	Date	Description	By
1	12/01/2014	ISSUED FOR PERMIT	RM



DRAWING TITLE
SOUTH ELEVATIONS
 SCALE: 1:200 (DBI)
 DATE: Dec 1st - 2014
 PROJECT # 10068-3
 Drawing Number
DA-45-202/A
ROBERTSON + MARKS

STAGE 4



EAST ELEVATION

----- APPROVED ENVELOPE
----- APPROVED 60% POP-UP ENVELOPE

DA Submission

DEVELOPMENT APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 4 & 5

ARCHITECT
ROBERTSON+MARKS
 EST 1992
 Ground Level 11/17 Buckingham St. Surry Hills, 2010 Australia
 t: +61 2 9319 4288 e: r.m@robertsonmarks.net.au www.robertsonmarks.net.au
 BRIAN MAHONEY - ANDREW SCARVELL - MARCO D. ABBONDANZA

CLIENT
HOLDMARK
 2/2-4 GIFFNOCK AV, MACQUARIE PARK, NSW 2113
 P: (02) 9889 5540 F: (02) 9888 5829
 e: info@holdmark.com.au www.holdmark.com.au

NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction.
 Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
 Internal layouts shown are indicative only for information purposes and are subject to further design development and change.
 Window mullions, if shown, are indicative only.
 Louvre panels, if shown, are indicative only.
 All dimensions and levels shown are approximate.
 Any finishes nominated are indicative only and subject to change.
 Articulations shown on the façade are indicative only and are subject to further design development and change.
 Storage allocations and areas are not necessarily shown on the drawings and are subject to change.

REVISIONS

No.	Date	Description	By
1	19/02/2014	ISSUED FOR PERMIT	RM



DRAWING TITLE
 STAGE 4 - EAST ELEVATION
 SCALE: 1:200 (B1)
 DATE: Dec 1st - 2014
 PROJECT # 10068-3
 Drawing Number
 DA-45-203/A
ROBERTSON+MARKS

STAGE 5



EAST ELEVATION

- - - - - APPROVED ENVELOPE
- - - - - APPROVED 60% POP-UP ENVELOPE

DA Submission

DEVELOPMENT
 APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 4 & 5

ARCHITECT
ROBERTSON+MARKS
 EST 1892
 Ground Level 11-17 Basingham St, Surry Hills, 2015, Australia
 t: (02) 2 9379 4388 e: info@rmarks.net.au www.rmarks.net.au
 BRISH HANH BUI • ANDREW SCARVELLE • MARCO D. ABBONDANZA

CLIENT
HOLDMARK
 2/2-4 GIFFNOCK AV,
 MACQUARIE PARK
 NSW 2113
 P: (02) 9889 5540
 F: (02) 9886 5829
 e: info@holdmark.com.au www.holdmark.com.au

NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction.
 Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
 Internal layouts shown are indicative only for information purposes and are subject to further design development and change.
 Window mullions, if shown, are indicative only.
 Louvre panels, if shown, are indicative only.
 All dimensions and levels shown are approximate.
 Any finishes nominated are indicative only and subject to change.
 Articulations shown on the façade are indicative only and are subject to further design development and change.
 Storage allocations and areas are not necessarily shown on the drawings and are subject to change.

REV	DATE	DESCRIPTION	BY
1	12/06/24	ISSUE FOR DA	RM



DRAWING TITLE
STAGE 5 - EAST ELEVATION
 SCALE: 1:200 (B1)
 DATE: 12/06/24
 PROJECT #: 10568-3
 Drawing Number
DA-45-204/A

ROBERTSON+MARKS

STAGE 4



WEST ELEVATION

----- APPROVED ENVELOPE
 ----- APPROVED 60% POP-UP ENVELOPE

DA Submission

DEVELOPMENT APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 4 & 5

ARCHITECT
ROBERTSON+MARKS
 EST 1992
 Ground Level 11/17 Buckingham St. Surry Hills 2010 Australia
 t. (61)2 9319 4388 e. r.mrk@robertsonmarks.com.au www.robertsonmarks.com.au
 BRISH WANN BUIS - ANDREW SCARVELL - MARCO DI ARBONDAZZA

CLIENT
HOLDMARK
 3/3-4 GIFFHOCK AV, MACQUARIE PARK NSW 2113
 P. (02) 9889 5540 F. (02) 9888 5829
 e. info@holdmark.com.au www.holdmark.com.au

NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction.
 Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
 Internal layouts shown are indicative only for information purposes and are subject to further design development and change.
 Window mullions, if shown, are indicative only.
 Louvre panels, if shown, are indicative only.
 All dimensions and levels shown are approximate.
 Any finishes nominated are indicative only and subject to change.
 Articulations shown on the facade are indicative only and are subject to further design development and change.
 Storage allocations and areas are not necessarily shown on the drawings and are subject to change.

REV	DATE	DESCRIPTION	BY
1	10/01/2014	ISSUED FOR DA	RM

TRUE NORTH & KEY PLAN

DRAWING TITLE
STAGE 4 - WEST ELEVATION
 SCALE: 1:200 (SB)
 DATE: Dec 1st - 2014
 PROJECT # 10068-3
 Drawing Number
DA-45-205/A
ROBERTSON+MARKS

STAGE 5



WEST ELEVATION

- - - - - APPROVED ENVELOPE
- - - - - APPROVED 60% POP-UP ENVELOPE

DA Submission

DEVELOPMENT APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 4 & 5

ARCHITECT
ROBERTSON+MARKS
 EST 1992
 Ground Level: 11-17, Buckingham St, Surry Hills 2010 Australia
 t: (61) 2 9319 4388 e: info@robertsonmarks.com.au www.robertsonmarks.com.au
 BRIAN BARN SPT - ANDREW SCARVELLE - MARCO O. JARDONANZA

CLIENT
HOLDMARK
 312-4 GIFFNOCK AV, P: (02) 9889 5540
 MACQUARIE PARK, F: (02) 9888 5829
 NSW 2113
 e: info@holdmark.com.au www.holdmark.com.au

NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction.
 Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
 Internal layouts shown are indicative only for information purposes and are subject to further design development and change.
 Window mullions, if shown, are indicative only.
 Louvre panels, if shown, are indicative only.
 All dimensions and levels shown are approximate.
 Any facades nominated are indicative only and subject to change.
 Articulations shown on the facade are indicative only and are subject to further design development and change.
 Storage allocations and areas are not necessarily shown on the drawings and are subject to change.

REV	DATE	DESCRIPTION	BY
1	14/06/24	ISSUED FOR PERMIT	RM



DRAWING TITLE
STAGE 5 - WEST ELEVATION
 SCALE: 1:200 @B1
 DATE: 12/6/24
 PROJECT #: 10068-3
 Drawing Number
DA-45-206/A
ROBERTSON+MARKS

SOUTH SECTION



STAGE 4

STAGE 5

--- APPROVED ENVELOPE
 - - - - - APPROVED 60% POP-UP ENVELOPE

DA Submission

DEVELOPMENT APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 4 & 5

ARCHITECT
ROBERTSON+MARKS
 EST 1892
 Ground Level: 11-17 Buckingham St, Surry Hills, 2010 Australia
 t: (01) 2 939 4300 e: info@rmarks.net.au www.rmarks.net.au
 BRIAN HAYHES - ANDREW SCARVELL - MARCO DI ABBONDANZA

CLIENT
HOLDMARK
 219-4 GIFFMOCK AV, MACQUARIE PARK NSW 2113
 P: (02) 9889 5540 F: (02) 9886 5829
 e: info@holdmark.com.au www.holdmark.com.au

NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction.
 Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
 Interval layouts shown are indicative only for information purposes and are subject to further design development and change.
 Window mullions, if shown, are indicative only.
 Louvre panels, if shown, are indicative only.
 All dimensions and levels shown are approximate.
 Any finishes nominated are indicative only and subject to change.
 Articulations shown on the facades are indicative only and are subject to further design development and change.
 Storage allocations and areas are not necessarily shown on the drawings and are subject to change.

REV	DATE	DESCRIPTION	BY
1	14/02/2014	ISSUED FOR DA	RM

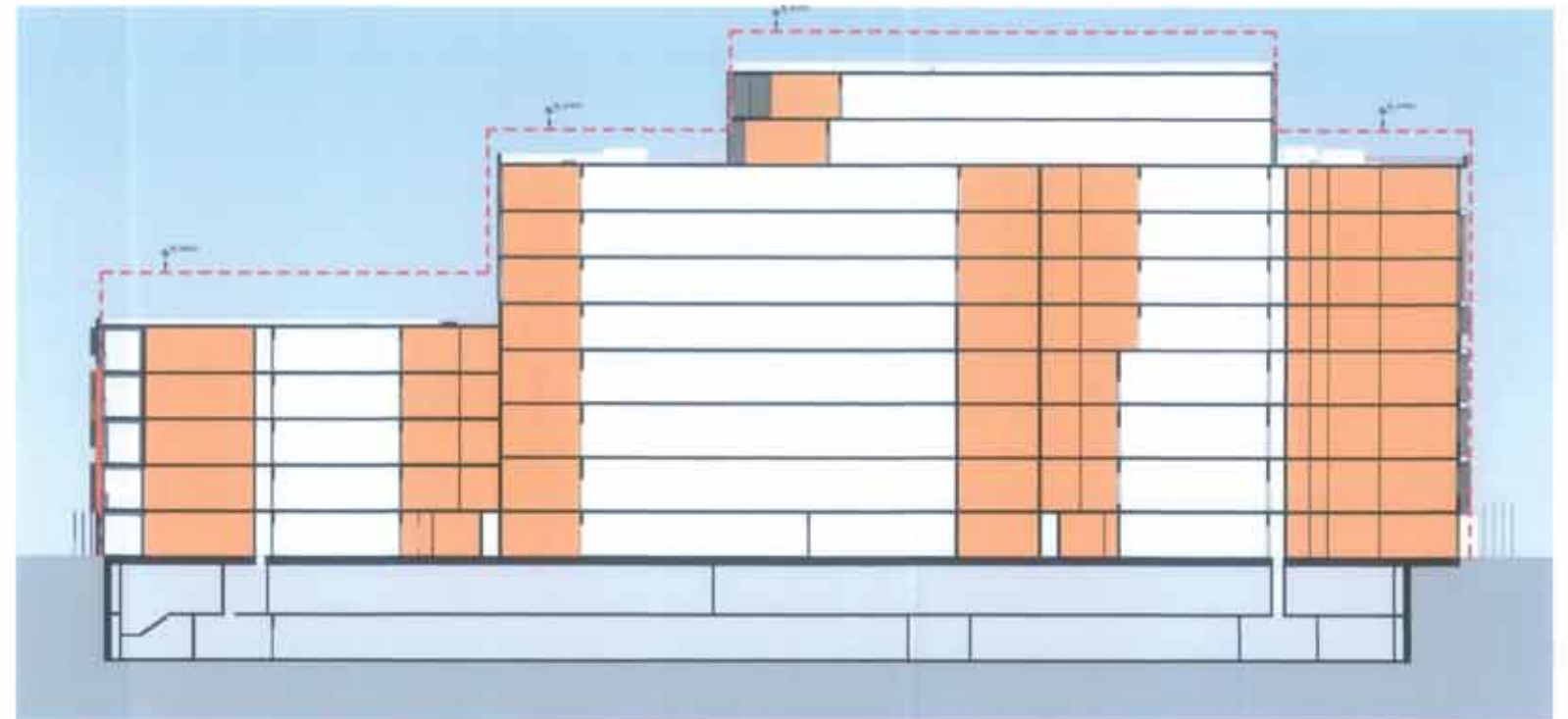


DRAWING TITLE
SECTION STAGE 4&5
 SCALE: 1:200 @B1
 DATE: Dec 1st - 2014
 PROJECT # 10066-3
 Drawing Number
DA-45-301/A
ROBERTSON+MARKS

STAGE 5



SECTION A



SECTION B



RESIDENTIAL
 CORRIDORS
 CAR PARKING, STORAGE, PLANT

- - - - - APPROVED ENVELOPE
- - - - - APPROVED 60% POP-UP ENVELOPE

DA Submission

DEVELOPMENT APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 4 & 5

ARCHITECT
ROBERTSON+MARKS
 EST 1892
 Ground Level 11/17 Buckingham St. Surry Hills 2010 Australia
 t: (+61) 2 9319 4388 e: info@rmarks.net.au www.rmarks.net.au
 BRIAN MAHONEY - ANDREW SCARVELLO - MARCO D. AZEVEDO

CLIENT
HOLDMARK
 3/2-4 GIFFHOCK AV,
 MACQUARIE PARK NSW 2113
 P: (02) 9889 5540
 F: (02) 9888 5829
 e: info@holdmark.com.au www.holdmark.com.au

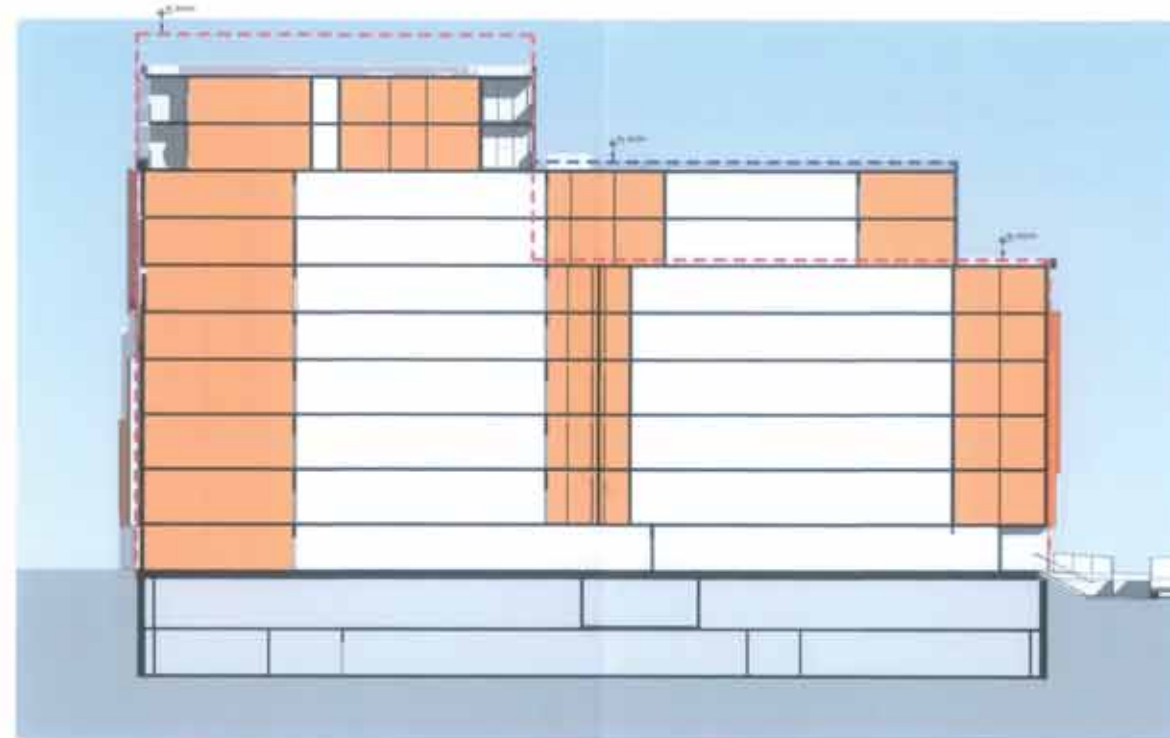
NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction.
 Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
 Internal layouts shown are indicative only for information purposes and are subject to further design development and change.
 Window mullions, if shown, are indicative only.
 Louvre panels, if shown, are indicative only.
 All dimensions and levels shown are approximate.
 Any finishes nominated are indicative only and subject to change.
 Articulations shown on the facade are indicative only and are subject to further design development and change.
 Storage allocations and areas are not necessarily shown on the drawings and are subject to change.

REV	DATE	DESCRIPTION	BY
1	11/08/14	ISSUED FOR PERMIT	RM



DRAWING TITLE
 STAGE 5 - SECTIONS - 1
 SCALE: As indicated @B1
 DATE: 12/08/14
 PROJECT # 10068-3
 Drawing Number
 DA-45-302/A
ROBERTSON+MARKS

STAGE 5



SECTION C



RESIDENTIAL
 CORRIDORS
 CAR PARKING, STORAGE, PLANT

- - - - - APPROVED ENVELOPE
- - - - - APPROVED 60% POP-UP ENVELOPE

DA Submission

DEVELOPMENT APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 4 & 5

ARCHITECT
ROBERTSON+MARKS
 EST 1882
 Ground Level 11-17, Buckingham St, Surry Hills, 2010, Australia
 t: (+61) 2 9192 4388 e: rml@robertson+marks.net.au www.robertson+marks.net.au
 BRIAN MANN BAYL - ANDREW SCARVELLO - MARCO D. ARBONDAZLA

CLIENT
HOLDMARK
 2/2-4 GIFFNOCK AV, MACQUARIE PARK NSW 2113
 P: (02) 9889 5540 F: (02) 9888 5829
 e: info@holdmark.com.au www.holdmark.com.au

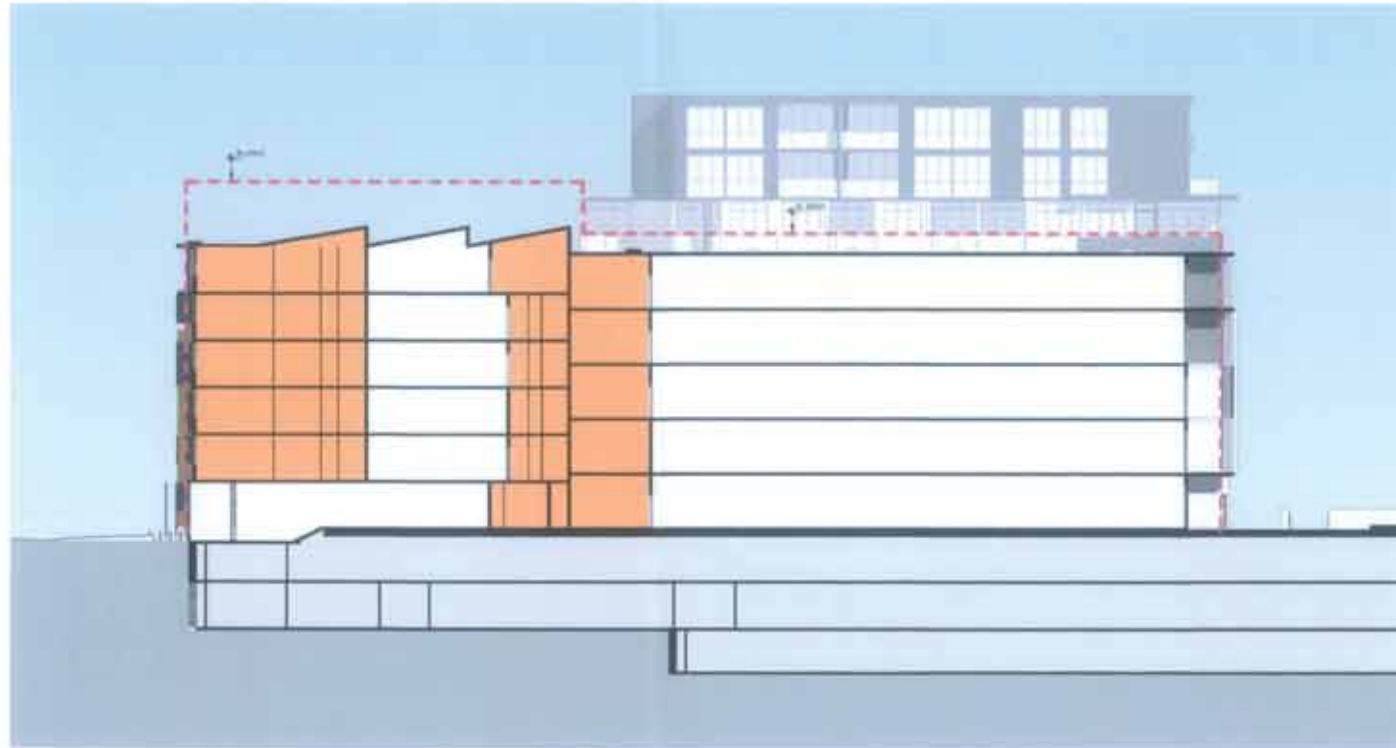
NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction.
 Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
 Internal layouts shown are indicative only for information purposes and are subject to further design development and change.
 Window mullions, if shown, are indicative only.
 Louvre panels, if shown, are indicative only.
 All dimensions and levels shown are approximate.
 Any finishes nominated are indicative only and subject to change.
 Articulations shown on the facade are indicative only and are subject to further design development and change.
 Storage allocations and areas are not necessarily shown on the drawings and are subject to change.

REV	DATE	DESCRIPTION	BY
1	10/02/2014	ISSUED FOR IFC	RM

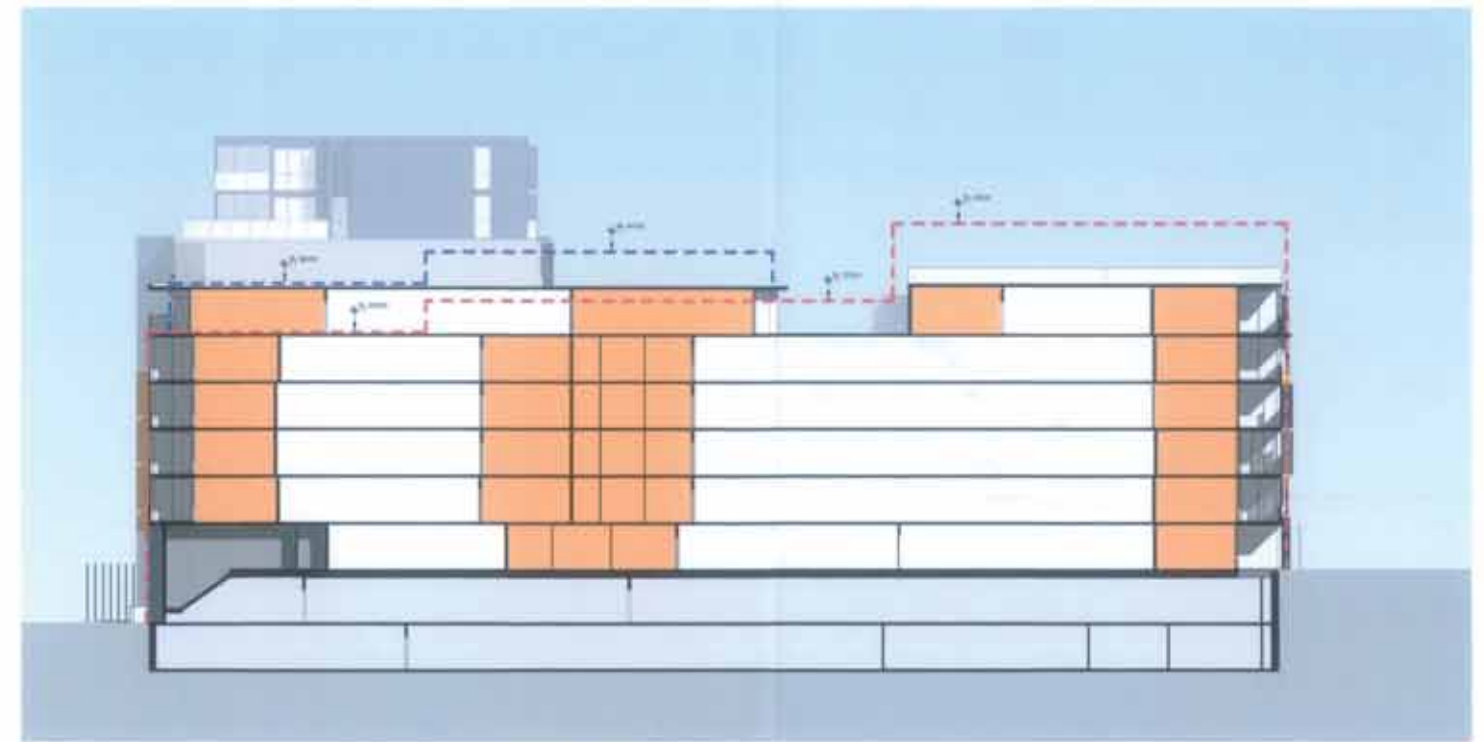
TRUE NORTH & KEY PLAN

DRAWING TITLE
 STAGE 5 - SECTIONS - 2
 SCALE: As indicated @B1
 DATE: 12/06/14
 PROJECT # 10068-3
 Drawing Number
 DA-45-303/A
ROBERTSON+MARKS

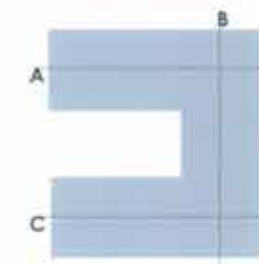
STAGE 4



SECTION A



SECTION B



RESIDENTIAL
 CORRIDORS
 CAR PARKING, STORAGE, PLANT

- - - - - APPROVED ENVELOPE
- - - - - APPROVED 60% POP-UP ENVELOPE

DA Submission

DEVELOPMENT
 APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 4 & 5

ARCHITECT
ROBERTSON + MARKS
 EST 1993
 Ground Level 11-17 Buckingham St. Surry Hills 2010 Australia
 L: (+61) 2 9339 4388 e: info@rmks.net.au www.rmks.net.au
 BRIAN HARRIS - ANDREW SCARVELL - MARCO D. ABRONDAHSA

CLIENT
HOLDMARK
 2/2-4 GIFFNOCK AV. P: (02) 9889 5540
 MACQUARIE PARK E: (02) 9888 5829
 NSW 2113
 e: info@holdmark.com.au www.holdmark.com.au

NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction.
 Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
 Internal layouts shown are indicative only for information purposes and are subject to further design development and change.
 Window mullions, if shown, are indicative only.
 Louvre panels, if shown, are indicative only.
 All dimensions and levels shown are approximate.
 Any finishes nominated are indicative only and subject to change.
 Articulation shown on the facade are indicative only and are subject to further design development and change.
 Storage allocations and areas are not necessarily shown on the drawings and are subject to change.

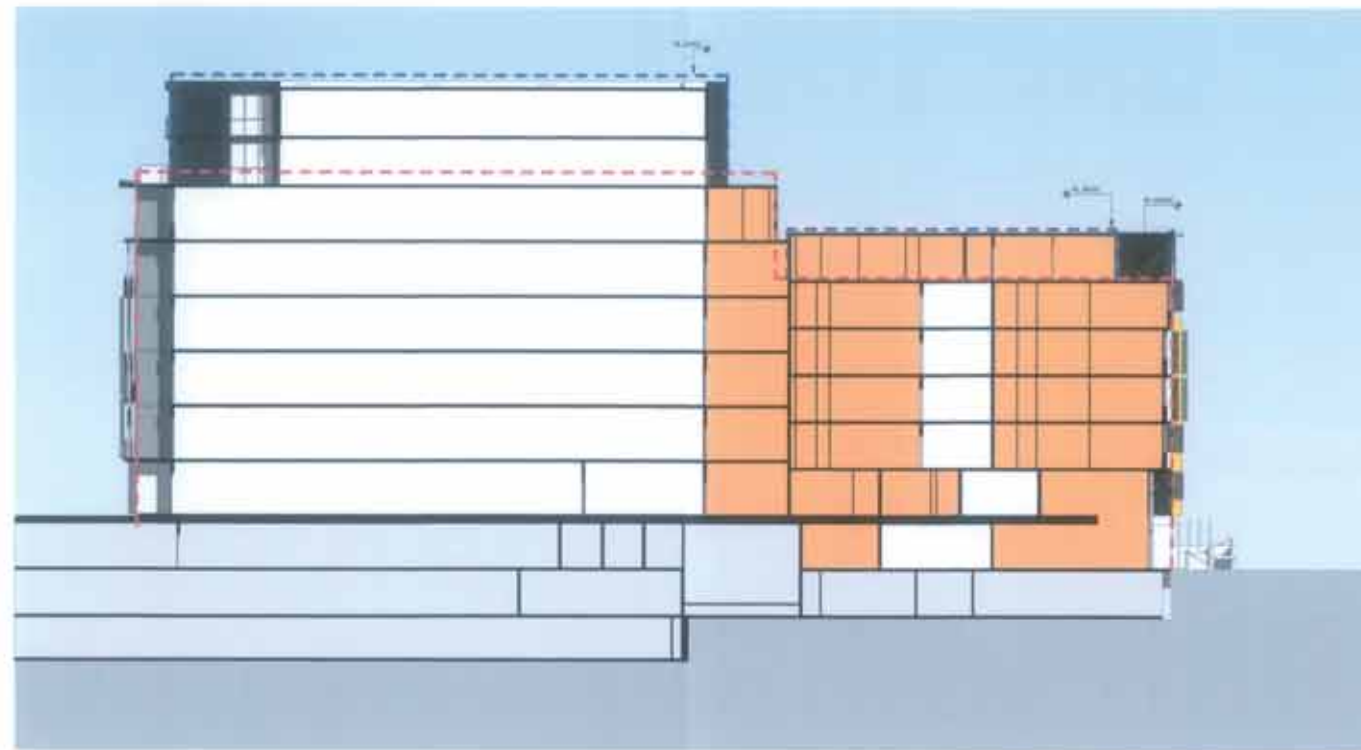
REV	DATE	DESCRIPTION	BY
1	14/02/2024	ISSUED FOR DA	RM



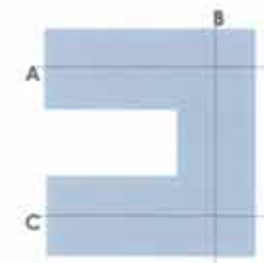
DRAWING TITLE
 STAGE 4 - SECTIONS - 1
 SCALE: As indicated (DB)
 DATE: 12/08/24
 PROJECT # 30068-3
 Drawing Number
 DA-45-304/A

ROBERTSON + MARKS

STAGE 4

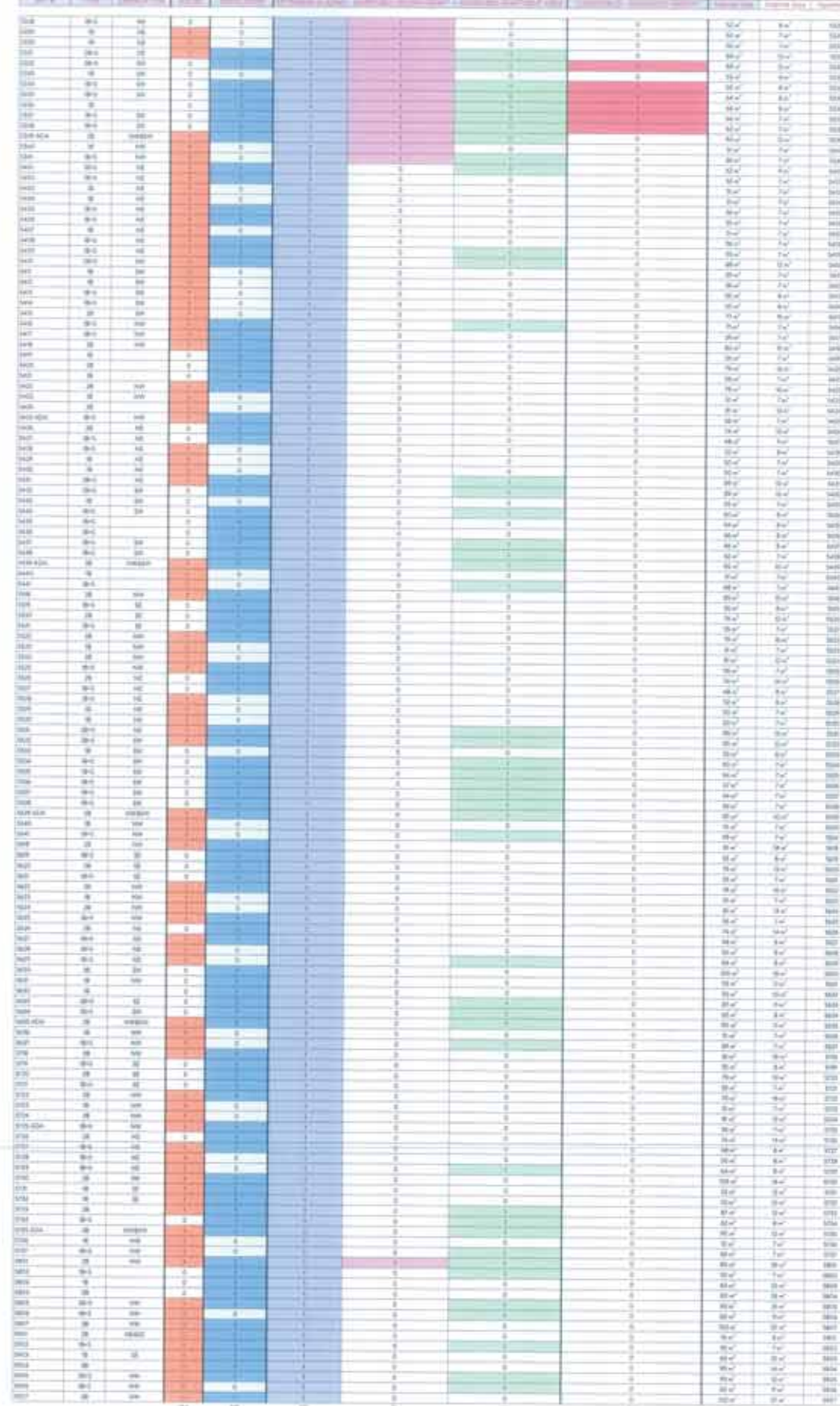
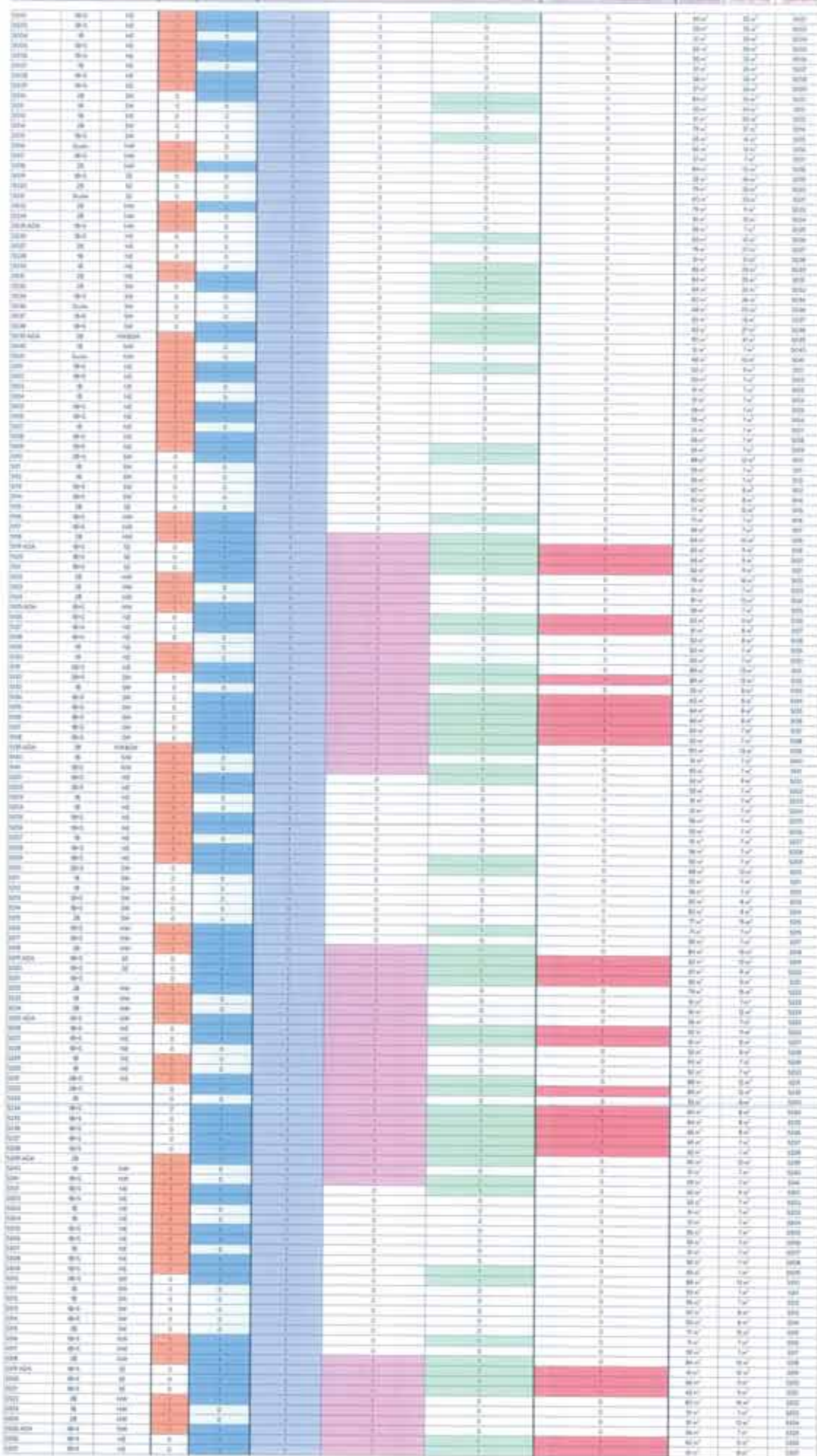


SECTION C



RESIDENTIAL CORRIDORS CAR PARKING, STORAGE, PLANT

APPROVED ENVELOPE
APPROVED 60% POP-UP ENVELOPE



Unit Mix - Stage 5	
Type	Count
1B	65
1B+S	132
2B	53
2B+S	17
3B	6
Studio	4
	277

DEVELOPMENT
APPLICATION
Concept Plan Approval
(MP 09_0216)
STAGE 4 & 5

ARCHITECT

ROBERTSON + MARKS
EST 1992

Ground Level 11-17 Buckingham St, Surry Hills, 2010 Australia
t: (+61) 2 9219 4388 e: rml@marks.net.au www.marks.net.au
BRIAN MAASH 3EPL - ANDREW SCARVELLI - MARCO G. ARBONDAKIA

CLIENT

HOLDMARK

312-4 GIFFNOCK AV, P: (02) 9889 5540
MACQUARIE PARK F: (02) 9888 5829
NSW 2113

e: info@holdmark.com.au www.holdmark.com.au

NOTES

Dimensions - Contractors to check all dimensions on site prior to commencing construction.
Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
Internal layouts shown are indicative only for information purposes and are subject to further design development and change.
Window mullions, if shown, are indicative only.
Louvre panels, if shown, are indicative only.
All dimensions and levels shown are approximate.
Any finishes nominated are indicative only and subject to change.
Articulations shown on the facade are indicative only and are subject to further design development and change.
Storage allocations and areas are not necessarily shown on the drawings and are subject to change.

REVISIONS

No.	Date	Description	By
1	14/02/2014	04/2014 RMB	

TRUE NORTH & KEY PLAN



DRAWING TITLE

STAGE 5 SCHEDULES

SCALE : @B1
DATE : 10/27/14
PROJECT # Project Number

Drawing Number
DA-45-502/A

ROBERTSON + MARKS



Shadow June 21 - 0900Hrs



2 Shadow June 21 - 1200Hrs

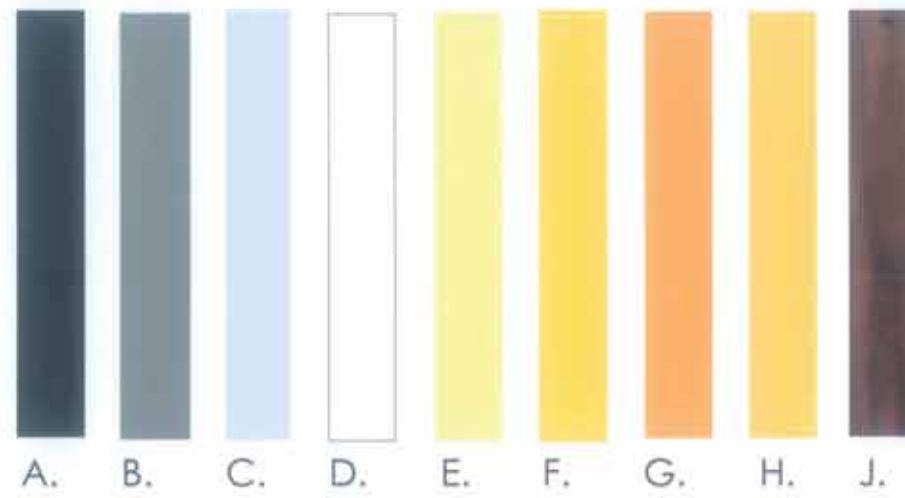


3 Shadow June 21 - 1500Hrs

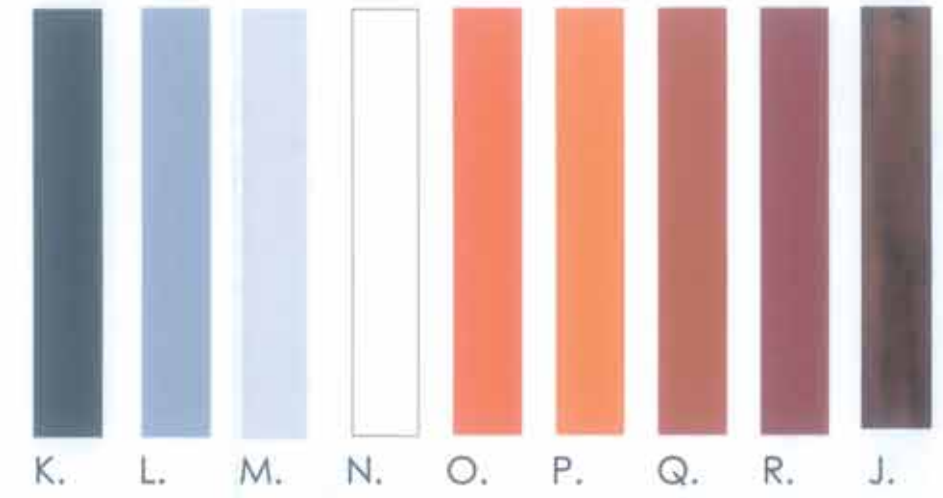
EXTERNAL FINISHES:

1. SANDSTONE • LANDSCAPE
 2. RECYCLED TIMBER • AWNINGS & FEATURES
 3. ZINC or SIMILAR • CLADDING
 4. ALUMINIUM CLADDING • WALLS, FRAMES & SLABS
 5. POWDERCOAT • WINDOW FRAMES, BALUSTRADES & SCREENS
 6. GLAZED BRICKS • BALUSTRADES
 7. GLASS • BALUSTRADES
- A. - H. & K - R. • PAINT

STAGE 4 • COLOUR PALETTE



STAGE 5 • COLOUR PALETTE



4. & 5.

4., 5. & PAINT FINISH



5.

3.



2. & 4.

1.

DEVELOPMENT
APPLICATION
Concept Plan Approval
(MP 09_0216)
STAGE 4 & 5

ARCHITECT
ROBERTSON + MARKS
EST 1992
Ground Level 11-17 Buckingham St. Surry Hills, 2010 Australia
t: +61 2 9399 4369 e: info@robertson-marks.com.au www.robertson-marks.com.au
BRIAN MANN IRLS • ANDREW SCARVELLIS • MARCO G. ARBODGANZA

CLIENT
HOLDMARK
2/2-4 GIFFNOCK AV,
MACQUARIE PARK NSW 2113
P: (02) 9889 5540
F: (02) 9888 5829
e: info@holdmark.com.au www.holdmark.com.au

NOTES
Dimensions - Contractors to check all dimensions on site prior to commencing construction.
Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
Internal layouts shown are indicative only for information purposes and are subject to further design development and change.
Window mullions, if shown, are indicative only.
Louvre panels, if shown, are indicative only.
All dimensions and levels shown are approximate.
Any finishes nominated are indicative only and subject to change.
Articulations shown on the facade are indicative only and are subject to further design development and change.
Storage allocations and areas are not necessarily shown on the drawings and are subject to change.

REV	DATE	DESCRIPTION	BY
1	11/02/2014	ISSUED FOR RFP	RM



DRAWING TITLE
STAGE 4&5 - EXTERIOR FINISHES
SCALE: @B1
DATE: 12/01/14
PROJECT # 10066-3
Drawing Number
DA-45-701/A

ROBERTSON + MARKS



HARRIS PAGE & ASSOCIATES SHEPHERDS BAY STAGE 4 & 5 STORMWATER CONCEPT DESIGN

STORMWATER SERVICES LEGEND

GENERAL NOTES

1. DRAWINGS ARE DIAGNOSTIC ONLY AND HAVE BEEN PREPARED FOR THE PURPOSE OF INDICATING THE DESIGN INTENT AND SCOPE OF WORKS OF THE HYDRAULIC SERVICES.
2. IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR PLUMBING SUBCONTRACTOR TO INVESTIGATE AND COORDINATE BEFORE AND DURING THE CONSTRUCTION PHASE ALL EXISTING SERVICES WHICH WILL AFFECT THE INSTALLATION OF THESE SERVICES.
3. HYDRAULIC DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE HYDRAULIC SERVICES SPECIFICATION AND WITH RELEVANT ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
4. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE RELEVANT CODES AND AUSTRALIAN STANDARDS.
5. POSITION AND LEVELS OF AUTHORITIES MARKS AND/OR EXISTING SERVICES ARE INDICATIVE ONLY AND ARE TO BE CHECKED PRIOR TO COMMENCING ANY WORK.
6. DO NOT SCALE FROM THIS DRAWING. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSION DETAILS.

LOCATION PLAN



IMAGE TAKEN FROM COOLB WPTS 2014

DRAWING SCHEDULE

DWG No.	Scale	Drawing Title
SW-00	NTS	STORMWATER SERVICES COVER SHEET AND LEGENDS
SW-01	1:200	STORMWATER SERVICES SOBBENT & EROSION CONTROL PLAN
SW-02	1:200	STORMWATER SERVICES BASINMENT LEVEL 2
SW-03	1:200	STORMWATER SERVICES BASINMENT LEVEL 1
SW-04	1:200	STORMWATER SERVICES BASINMENT LEVEL 1
SW-05	1:200	STORMWATER SERVICES GROUND FLOOR

NO.	DESCRIPTION	DATE

HOLDMARK
 100/110 SHEPHERDS BAY ROAD, SHEPHERDS BAY, QLD 4212
 Telephone: (07) 5524 2400 Fax: (07) 5524 2401

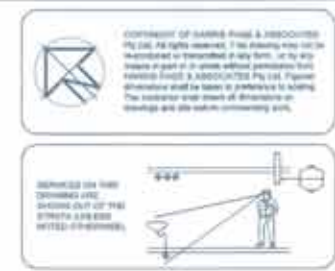
ROBERTSON+MAERS
 11/11 SHEPHERDS BAY ROAD, SHEPHERDS BAY, QLD 4212
 Telephone: (07) 5524 2400 Fax: (07) 5524 2401
 Email: info@robma.com.au

HARRIS PAGE & Associates PTY LIMITED
 100/110 SHEPHERDS BAY ROAD, SHEPHERDS BAY, QLD 4212
 Telephone: (07) 5524 2400 Fax: (07) 5524 2401
 Email: info@harrispage.com.au

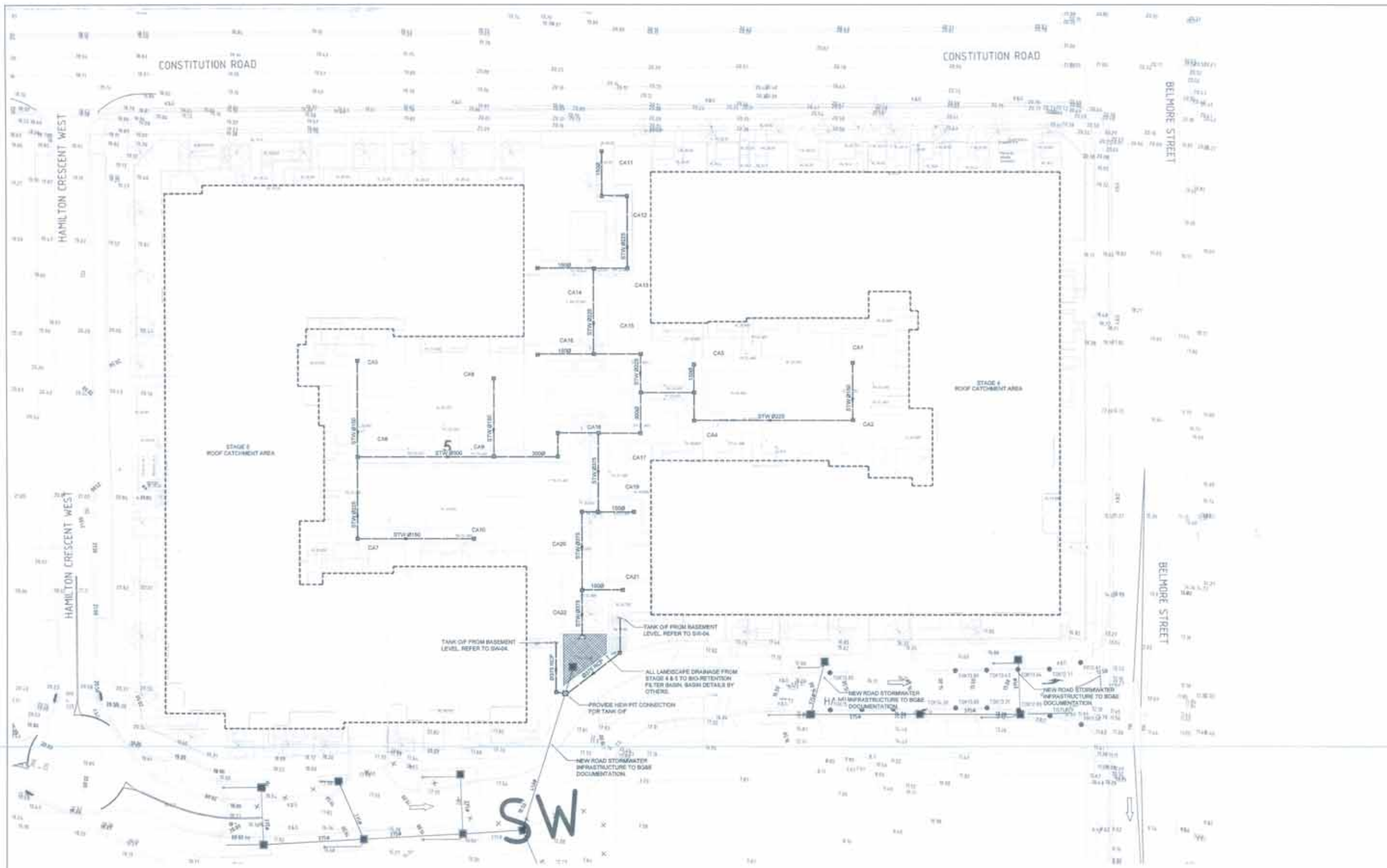
PROJECT SHEPHERDS BAY STAGE 4 & 5

DRAWING TITLE STORMWATER SERVICES COVER SHEET, LEGEND & NOTES

DATE	DESIGN	CHECKED	APPROVED	SCALE
OCT. 2014	KT	TH	NTS	NTS
PROJECT NO.	DESCRIPTION	REVISION		
5731	SW-00	P1		



- LEGEND**
- CATCHMENT ZONE
 - SUBSOIL DRAINAGE LINE
 - STORMWATER DRAINAGE LINE
 - STORMWATER PIT
 - 300mm² GRATED OUTLET
 - STORMWATER HEADWALL
 - DOWNPIPE
 - CLEAR OUT
 - BIO-RETENTION AREA



NO.	DESCRIPTION	DATE

HOLDMARK
 100/101 Oldfield Road, Adelaide SA 5008 Australia
 Telephone: 08 8344 0000 Fax: 08 8344 0001

ROBERTSON+MARKS
 Level 11/111 Northgate Street, North Adelaide SA 5006 Australia
 Telephone: 08 8344 0000 Fax: 08 8344 0001

HARRIS PAGE & Associates PTY LIMITED
 MICHAEL & FINE CONSULTANTS
 Level 11, 111 Northgate Street, North Adelaide SA 5006 Australia
 Telephone: 08 8344 0000 Fax: 08 8344 0001

SHEPHERDS BAY STAGE 4 & 5

DA SUBMISSION STORMWATER DRAINAGE PODIUM FLOOR

DATE	ISSUE	CREATED BY	REVISION	SCALE
OCT. 2014	AT	TN		1:250 @B1

PROJECT NO.	DESCRIPTION	NO. OF SHEETS
5731	SW-05	P1

- REVISIONS**
- THE STORMWATER DRAINAGE IS DESIGNED IN CONJUNCTION WITH CARING WOOD MASTER PLAN DOCUMENT WMSD MASTERPLAN STRATEGY REPORT DATED 2004, 2010 & RIDE CITY COUNCIL'S DEVELOPMENT CONTROL PLAN 2010 SECTION 8.
 - ALL DRAWINGS TO BE READ IN CONJUNCTION WITH ROAD STORMWATER ROAD INFRASTRUCTURE DRAWINGS FOR CONNECTION TO BIORETENTION AREAS AND INFRASTRUCTURE TRUNK MAIN DESIGN.
 - ALL APPROPRIATE RECURRENCE INTERVALS & RAINFALL INTENSITY DATA ARE BASED FROM INFORMATION COLLECTED FROM THE BUREAU OF METEOROLOGY.
- AVERAGE RECURRENCE INTERVALS & HEADWAYWAY
- | |
|------------------|
| 20% - 0.98mm/hr |
| 50% - 2.15mm/hr |
| 100% - 3.98mm/hr |
- THE NATIONAL METHOD HAS BEEN ADOPTED FOR ALL STW CATCHMENTS CALCULATIONS

REVISIONS

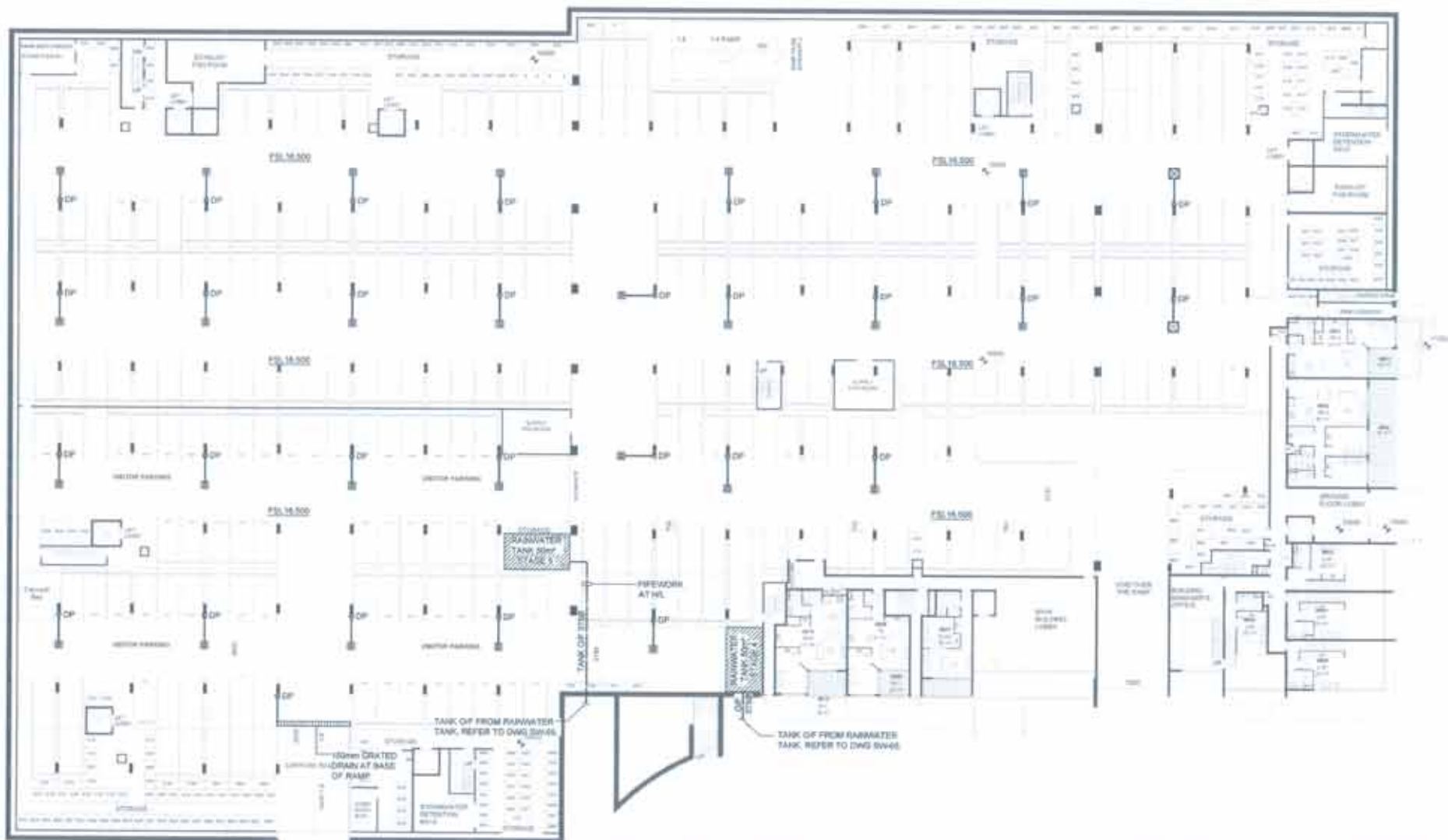
Company Name	Document Type	Revision	Date
Carling	WMSD Masterplan Strategy Report - Document No. 000002	2	24/09/2013
Hyde City Council	Development Control Plan, Section 8		2010
MS & T	Shepherds Bay Masterplan (Civil Infrastructure Upgrade)		
	Flood Assessment Report - Document No. 330219-001-0001	0	18/09/2014
Shepherd	RANZ Sustainability Report	Rev1	22/10/2014

CATCHMENT CALCULATIONS

Refer to floor plans for some locations		Refer to floor plans for some locations		Roof Catchment to Rainwater Tanks	
Catchment Zone	Area (ha)	Catchment Zone	Area (ha)	Catchment Zone	Area (ha)
CA1	0.023	CA11	0.019	CR0019	0.261
CA2	0.038	CA12	0.019	CR0021	0.267
CA3	0.034	CA13	0.038		
CA4	0.028	CA14	0.012		
CA5	0.023	CA15	0.023		
CA6	0.021	CA16	0.038		
CA7	0.016	CA17	0.016		
CA8	0.023	CA18	0.016		
CA9	0.027	CA19	0.038		
CA10	0.019	CA20	0.016		
		CA21	0.005		
		CA22	0.016		

COPYRIGHT OF DRAWING, DESIGN & RESOLUTIONS
 TO BE HELD BY THE CLIENT. THIS DRAWING IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM, OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF HOLDMARK & ASSOCIATES PTY LTD. PLEASE ADVISE THE CLIENT OF ANY SUCH REPRODUCTION OR TRANSMISSION.

SERVICES ON THIS DRAWING ARE SHOWN OUT OF THE STREET CURBLINE UNLESS OTHERWISE NOTED.



LEGEND

- CATCHMENT ZONE
- SUBSOIL DRAINAGE LINE
- STORMWATER DRAINAGE LINE
- STORMWATER PIT
- 300mm GRATED OUTLET
- STORMWATER HEADWALL
- DOWNPIPE
- CLEAR OUT
- BIO-RETENTION AREA

NO.	REVISION	DATE

HOLDMARK

10th Floor, 250 George Street, Sydney NSW 2000 Australia
 Telephone: (02) 9251-0000 Fax: (02) 9251-7500
 Email: info@holdmark.com.au

ROBERTSON & MASEY

11 St Andrew Street, Sydney NSW 2000 Australia
 Telephone: (02) 9251-0000 Fax: (02) 9251-7500
 Email: info@robertson-masey.com.au

HARRIS PAGE & Associates PTY LIMITED

HYDRAULIC & FIRE CONSULTANTS
 Level 3, 20 Campbell Street, Sydney NSW 2000 Australia
 Telephone: (02) 9251-7500 Fax: (02) 9251-7500
 Email: info@harrispage.com.au

SHEPHERDS BAY STAGE 4 & 5

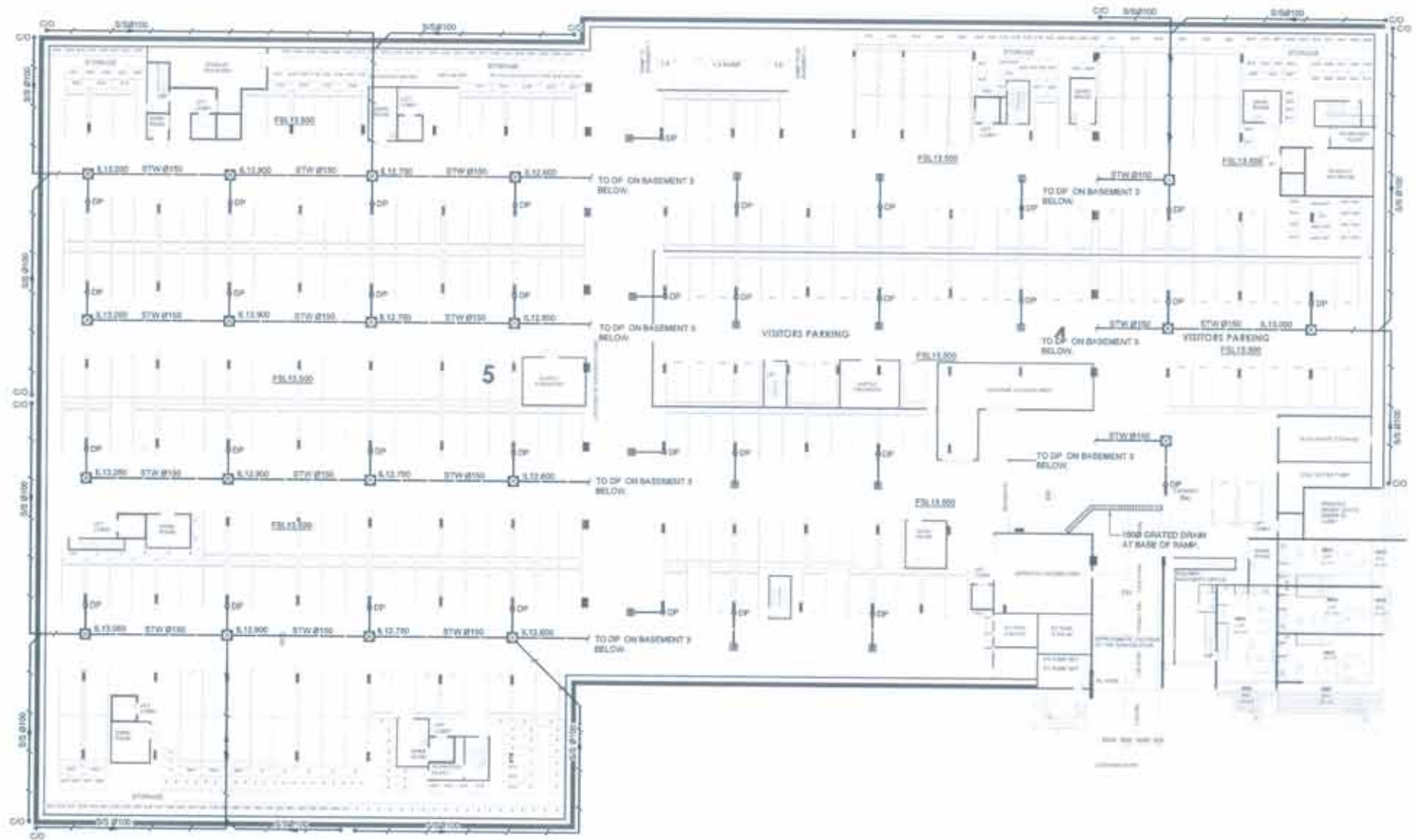
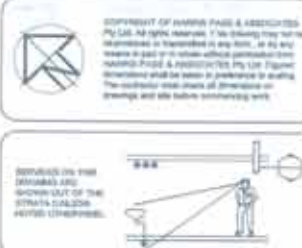
STORMWATER DRAINAGE DA SUBMISSION BASEMENT LEVEL 1

DATE	SCALE	PROJECT	NO.	SCALE
OCT. 2014	AT	TH		1:250 @ B1
PROJECT NO.	SUBMISSION	NO.		
5731	SW-04	P1		

- REVISIONS**
- THE STORMWATER DRAINAGE IS DESIGNED IN CONJUNCTION WITH CIVIL ENGINEER PLAN DOCUMENT SW-01, SW-02, SW-03, SW-04, SW-05 & SW-06 & THE CITY COUNCIL'S DEVELOPMENT CONTROL PLAN 2014 SECTION 8.
 - ALL DRAWINGS TO BE READ IN CONJUNCTION WITH SOME STORMWATER INFRASTRUCTURE DRAWINGS FOR CONNECTIONS TO BIO-RETENTION AREAS AND INFRASTRUCTURE FROM MAIN DESIGN.
 - ALL AVERAGE RECURRENCE INTERVALS & ANNUAL RETURN PERIOD DATA ARE BASED FROM INFORMATION COLLECTED FROM THE BUREAU OF METEOROLOGY.
 - AVERAGE RECURRENCE INTERVALS (AVERAGE)
 - 20YR - 100mm/hr
 - 50YR - 120mm/hr
 - 100YR - 130mm/hr
 - THE RATIONAL METHOD HAS BEEN ADOPTED FOR ALL SITE CATCHMENTS CALCULATIONS.

1. WORK OF EACH BUILDING ROOF AREA ASSIGNED TO BE NON-TRAFFICABLE AND DISCHARGE TO ASSOCIATED RAINWATER TANKS.
 2. ALL LANDSCAPE AREA TO DISCHARGE TO ACTED BIO-RETENTION / FILTRATION WITH BIO-RETENTION FILTRATION BASIN TO BEAS DESIGN DETAILS.
 3. SOILMENT AND EROSION CONTROL PLAN CONTAINS THE EXISTING SURVEY PLAN, THE CONCEPT STORMWATER DRAINAGE CONTAINS NEW ROAD SURVEY PLAN TO RETAIN EXISTING NEW STORMWATER INFRASTRUCTURE AND EXTENSION TO HAMILTON CROSSING.
 4. ALL DOCUMENTATION USED TO DEVELOP DESIGN NOTED IN TABLE BELOW.

Company Name	Document Type	Revision	Date
Carbis	WSP (Waterlogging) Strategy Report - Document No. 400303	1	24/05/2013
Ryde City Council	Development Control Plan, Section 8	-	2014
NS & E	Shepherds Bay Metropolitan Civil Infrastructure Upgrade	C	
	Flood Assessment Report - Document No. 130076-RFP-002	1	12/04/2014
PRGplus	SASIA Sustainability Report	01/01	22/10/2014



BELMORE STREET

NANCARROW AVENUE

- GENERAL NOTES**
- THE STORMWATER DRAINAGE IS DESIGNED IN CONJUNCTION WITH OTHER MASTER PLAN DOCUMENTS: ROAD, VISUAL STORMWATER PLANS FOR PAR 24 TO 24M 2013 & RIDE CITY COUNCILS DEVELOPMENT CONTROL PLAN 2010 SECTION 8.
 - ALL DRAINAGE TO BE READ IN CONJUNCTION WITH ROAD STORMWATER INFRASTRUCTURE DRAWINGS FOR CONNECTIONS TO BUREAU OF WATER SERVICES AND INFRASTRUCTURE TRUNK MAIN DESIGN.
 - ALL AVERAGE RECURRENCE INTERVALS & RAINFALL INTENSITY DATA ARE BASED FROM INFORMATION COLLECTED FROM THE BUREAU OF METEOROLOGY.
 - THE NATIONAL METHOD HAS BEEN ADOPTED FOR ALL SITE CATCHMENT CALCULATIONS.

4. 10% OF EACH BUILDING ROOF AREA ASSUMED TO BE NON IMPERVIOUS AND ALLOWANCE TO ASSOCIATED RAINWATER TANKS

5. ALL LANDSCAPE AREA TO BE DISCHARGE TO NOTED BIO-RETENTION PLANTATION AREA, BIO-RETENTION PLANTATION SHALL TO BE AS PER DESIGN DETAILS.

6. SEDIMENT AND EROSION CONTROL PLAN HAS EXISTING SURVEY PLAN USED WITH EXISTING SURVEY POINTS SHOWN. THE CONCEPT STORMWATER DRAWINGS CONTAIN SURVEY POINTS INDICATE NEW BORDERS OF EXTENSION TO HAMILTON CIRCUS AND ALL UPGRADING STORMWATER INFRASTRUCTURE FOR CLARITY.

7. ALL DOCUMENTATION USED TO DEVELOP DESIGN NOTED IN TABLE BELOW:

Company Name	Document Type	Revision	Date
Carolin	WORLD Metropolitan Strategy Report - Document No. 080203		02/04/2013
Ryde City Council	Development Control Plan, Section 8		2010
NS & I	Shepherds Bay Metropolitan Civil Infrastructure Upgrade		
	Final Assessment Report - Document No. 120716-RFP-0001		16/04/2014
Integrative	BAUR Sustainability Report		22/12/2014

NO.	REVISION	DATE

HOLDMARK
 14/12/14 (2nd Floor) - 14/12/14 (2nd Floor) - 14/12/14 (2nd Floor)
 Sydney NSW 2000 Australia
 Tel: 02 9550 1000
 Fax: 02 9550 1001

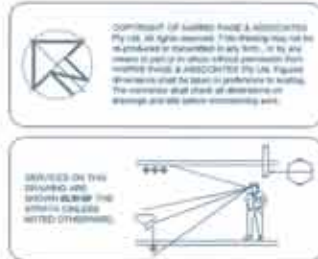
KUBERTSON + WATKINS
 14/12/14 (2nd Floor) - 14/12/14 (2nd Floor) - 14/12/14 (2nd Floor)
 Sydney NSW 2000 Australia
 Tel: 02 9550 1000
 Fax: 02 9550 1001

HARRIS PAGE & Associates PTY LIMITED
 14/12/14 (2nd Floor) - 14/12/14 (2nd Floor) - 14/12/14 (2nd Floor)
 Sydney NSW 2000 Australia
 Tel: 02 9550 1000
 Fax: 02 9550 1001

SHEPHERDS BAY STAGE 4 & 5

STORMWATER DRAINAGE DA SUBMISSION BASEMENT LEVEL 2

DATE	BY	CHECKED	IN CHARGE	SCALE
OCT. 2014	AT	TN		1:200 @B1
PROJECT NO.	DRAWING NO.	SHEET NO.		
5731	SW-03	P1		



EROSION & SEDIMENT CONTROL

1. THE PLANT TO BE INSTALLED SHALL BE THE RESPONSIBILITY AND LIABILITY OF THE CONTRACTOR AND SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS OF THE LOCAL AUTHORITY.
2. THE CONTRACTOR SHALL ENSURE THAT ALL SOIL AND SILT WHICH IS EXPOSED DURING THE CONSTRUCTION OF THE PROJECT IS PROTECTED FROM EROSION AND SEDIMENTATION.
3. ALL EXPOSED SOIL SURFACES SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION BY THE INSTALLATION OF EROSION CONTROL MEASURES.
4. ALL EXPOSED SOIL SURFACES SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION BY THE INSTALLATION OF EROSION CONTROL MEASURES.
5. ALL EXPOSED SOIL SURFACES SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION BY THE INSTALLATION OF EROSION CONTROL MEASURES.
6. ALL EXPOSED SOIL SURFACES SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION BY THE INSTALLATION OF EROSION CONTROL MEASURES.
7. ALL EXPOSED SOIL SURFACES SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION BY THE INSTALLATION OF EROSION CONTROL MEASURES.
8. ALL EXPOSED SOIL SURFACES SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION BY THE INSTALLATION OF EROSION CONTROL MEASURES.
9. ALL EXPOSED SOIL SURFACES SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION BY THE INSTALLATION OF EROSION CONTROL MEASURES.
10. ALL EXPOSED SOIL SURFACES SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION BY THE INSTALLATION OF EROSION CONTROL MEASURES.
11. ALL EXPOSED SOIL SURFACES SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION BY THE INSTALLATION OF EROSION CONTROL MEASURES.
12. ALL EXPOSED SOIL SURFACES SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION BY THE INSTALLATION OF EROSION CONTROL MEASURES.
13. ALL EXPOSED SOIL SURFACES SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION BY THE INSTALLATION OF EROSION CONTROL MEASURES.
14. ALL EXPOSED SOIL SURFACES SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION BY THE INSTALLATION OF EROSION CONTROL MEASURES.
15. ALL EXPOSED SOIL SURFACES SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION BY THE INSTALLATION OF EROSION CONTROL MEASURES.
16. ALL EXPOSED SOIL SURFACES SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION BY THE INSTALLATION OF EROSION CONTROL MEASURES.
17. ALL EXPOSED SOIL SURFACES SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION BY THE INSTALLATION OF EROSION CONTROL MEASURES.
18. ALL EXPOSED SOIL SURFACES SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION BY THE INSTALLATION OF EROSION CONTROL MEASURES.
19. ALL EXPOSED SOIL SURFACES SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION BY THE INSTALLATION OF EROSION CONTROL MEASURES.
20. ALL EXPOSED SOIL SURFACES SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION BY THE INSTALLATION OF EROSION CONTROL MEASURES.

LEGEND



NO.	DESCRIPTION	DATE
01	ISSUED FOR TENDERS	2014
02	REVISED	2014

HOLDMARK
 204-206 Holdmark Place, Shepherds Bay, Auckland 1061
 Telephone: 09 250 0000 Fax: 09 250 0001

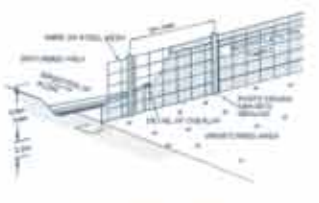
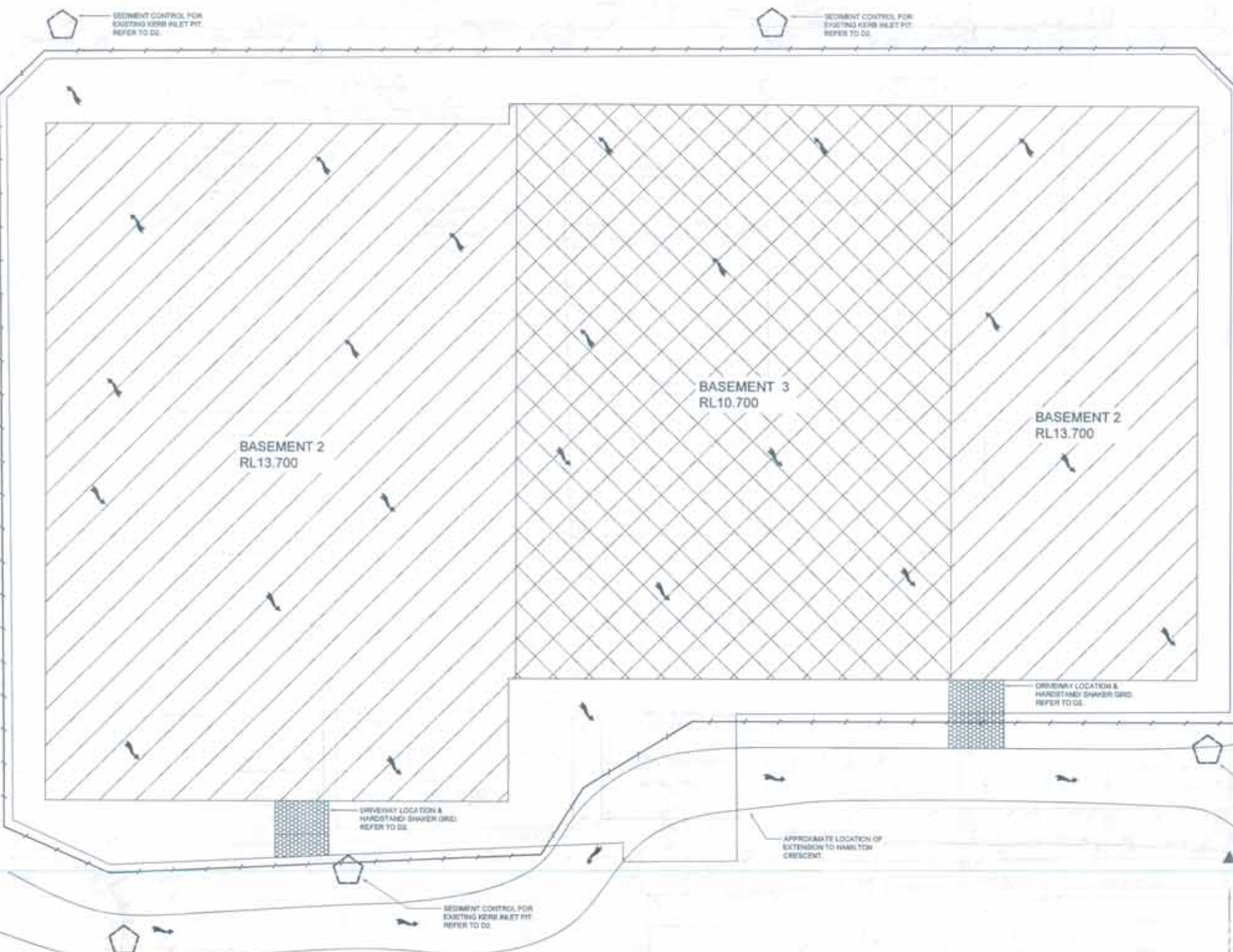
EDUCATION + MARK
 1111 Sandringham Road, Sandringham, Auckland 1013
 Telephone: 09 250 0000 Fax: 09 250 0001
 Email: info@educationmark.co.nz

HARRIS PAGE & Associates
 PTY LIMITED
 100-102 Cambridge Street, Auckland 1010
 Telephone: 09 250 0000 Fax: 09 250 0001
 Email: info@harrispage.co.nz

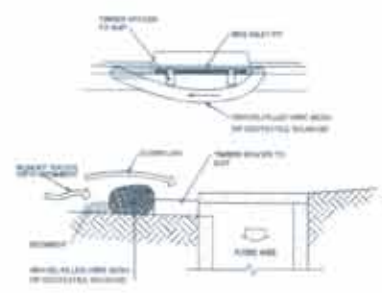
SHEPHERDS BAY
 STAGE 4 & 5

STORMWATER DRAINAGE
 DA SUBMISSION
 SEDIMENT AND EROSION
 CONTROL PLAN

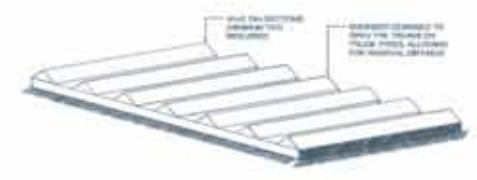
DATE	BY	REVISION	SCALE
OCT. 2014	AT	TN	1:250 @B1
PROJECT NO.	DRAWING NO.	ISSUE NO.	
5731	SW-01	P1	



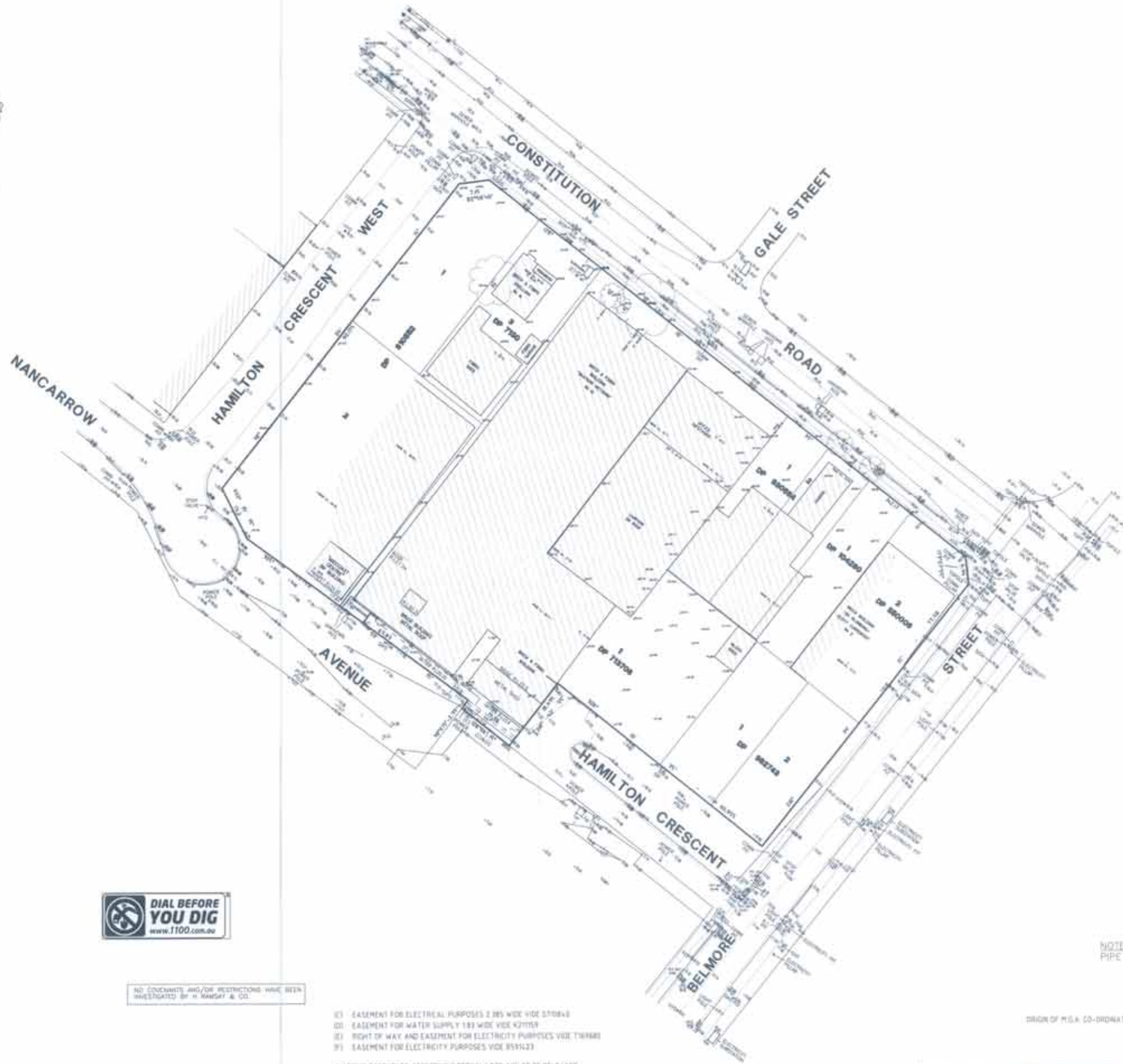
D1 SEDIMENT CONTROL FENCE
 K14



D2 MESH AND GRAVEL INLET FILTER
 K14



D3 RUBLE GRIDS
 TEMPORARY CONSTRUCTION VEHICLE EXIT
 K14



LEGEND

---	100mm WATER MAIN
---	150mm WATER MAIN
---	200mm WATER MAIN
---	300mm WATER MAIN
---	400mm WATER MAIN
---	600mm WATER MAIN
---	100mm SEWER
---	150mm SEWER
---	200mm SEWER
---	300mm SEWER
---	400mm SEWER
---	600mm SEWER
---	100mm GAS
---	150mm GAS
---	200mm GAS
---	300mm GAS
---	400mm GAS
---	600mm GAS
---	100mm ELECTRICITY
---	150mm ELECTRICITY
---	200mm ELECTRICITY
---	300mm ELECTRICITY
---	400mm ELECTRICITY
---	600mm ELECTRICITY



NO COVENANTS AND/OR RESTRICTIONS HAVE BEEN INVESTIGATED BY H RAMSAY & CO.

- (E) EASEMENT FOR ELECTRICAL PURPOSES 2.895 WIDE VIDE 870849
- (W) EASEMENT FOR WATER SUPPLY 1.83 WIDE VIDE 871151
- (E) RIGHT OF WAY AND EASEMENT FOR ELECTRICITY PURPOSES VIDE T19888
- (E) EASEMENT FOR ELECTRICITY PURPOSES VIDE 855123

VARIOUS EASEMENTS AFFECTING INTERNAL LOTS ARE TO BE RELEASED

NOTE: PIPE LEVELS SHOWN ARE TO INVERT UP PIPE

ORIGIN OF M.G.A. CO-ORDINATES - 55M 122875 - E32876.315, N425624.804 (CLASS C ORDER 3)
AND 55M 122864 - E32374.5396, N425610.176 (CLASS C ORDER 3)
5/07/2018

NOTES:
INTERNAL DETAIL AND LEVELS BY OTHERS.
DIAMETER, HEIGHT & SPREAD OF TREES ARE APPROXIMATE ONLY.
NO BOUNDARY SURVEY HAS BEEN CARRIED OUT.
DETAIL ON THIS PLAN HAS BEEN LOCATED FOR PLOTTING PURPOSES ONLY.
SERVICES ETC. UNLESS NOTED HAVE NOT BEEN LOCATED.
SERVICES SHOWN ARE INDICATIVE ONLY. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN. THEREFORE, FIELD CONFIRMATION OF THE EXACT POSITION SHOULD BE MADE PRIOR TO COMMENCEMENT OF ANY EXCAVATION.
ANY POINT OR FEATURE CRITICAL TO THE PREPARATION OF PLANS AND/OR CONSTRUCTION SHOULD BE ACCURATELY LOCATED PRIOR TO COMPLETION OF THESE PLANS AND/OR COMMENCEMENT OF CONSTRUCTION.
DIMENSIONS AND BEARINGS FROM VARIOUS PLANS.
ORIGIN OF LEVELS: GGM 1044 RL 235 (AND CLASS LC ORDER L3)
USE STATED DIMENSIONS. DO NOT SCALE.

AMENDMENTS	
DATE	DESCRIPTION

E.G.A.	INSTRUCTED BY:
RYDE	MR G YOUSSEF
LOCALITY:	RE:
RYDE	HOLDMARK DEVELOPMENTS P/L

H RAMSAY & CO.
 SURVEYORS EST. 1962
 H Ramsay & Company Pty Limited ACN 059 967 817
 "CARLINGFORD CENTRAL" SUITE 15, 241-245 PENNANT HILLS RD, CARLINGFORD NSW 2118
 P.O. BOX 9082 HARRIS PARK NSW 2150 Ph: (02) 9435 3840 Fax: (02) 9806 0027
 EMAIL: su@ramsay@ramsay.com.au www.ramsay.com.au

PLAN SHOWING DETAIL AND LEVELS OVER
 LOTS 1 & 2 DP 810552, LOT 3 DP 7130,
 LOT 1 DP 713706, LOTS 1 & 2 DP 930584,
 LOT 1 DP 104280, LOT 2 DP 550006 AND
 LOTS 1 & 2 DP 982743
 NANCARROW AVENUE, HAMILTON CRESCENT WEST,
 CONSTITUTION ROAD, BELMORE STREET
 AND HAMILTON CRESCENT SHEPHERDS BAY

SCALE	1:500M
DATE	AND
DRAWN	GC HW
DATE	PVB
DATE	20/11/2018
OUR REF	8073/13
SHEET	1 OF 1 SHEETS

© THIS PLAN & THE INFORMATION CONTAINED HEREON REMAINS THE PROPERTY OF H RAMSAY & COMPANY AND MUST NOT BE COPIED IN WHOLE OR PART WITHOUT THE WRITTEN CONSENT OF H RAMSAY & COMPANY & IS NOT TO BE USED FOR ANY OTHER PURPOSE THAN FOR THAT WHICH IT HAS BEEN PREPARED. THIS PLAN HAS BEEN PREPARED FOR THE SOLE USE OF THE INSTRUCTING PARTY & FOR THEIR NOMINATED CLIENT.