

City of Ryde Development Control Plan 2014

Part: 5.1
**Coronation Avenue and Trelawney Street,
Eastwood Character Area**

Translation

ENGLISH

If you do not understand this document please come to Ryde Civic Centre, 1 Devlin Street, Ryde Monday to Friday 8.30am to 4.30pm or telephone the Telephone and Interpreting Service on 131 450 and ask an interpreter to contact the City of Ryde for you on 9952 8222.

ARABIC

إننا نعتذر عليك فهم محتويات هذه الوثيقة، نرجو للحضور إلى مركز بلدية رايد Ryde Civic Centre على العنوان: 1 Devlin Street, Ryde 1 من الاثنين إلى الجمعة بين الساعة 8.30 صباحاً والساعة 4.30 بعد الظهر أو الاتصال بمكتب خدمات للترجمة على الرقم 131 450 لكي تطلب من أحد المترجمين الاتصال بمجلس مدينة رايد، على الرقم 9952 8222، نيابة عنك.

ARMENIAN

Եթե այս գրույթինը չէք հասկնար, խնդրեմ եկէք՝ Րայդ Բիվիք Սենթըր, 1 Տելվին փողոց, Րայդ, (Ryde Civic Centre, 1 Devlin Street, Ryde) Երկուշաբթիէն Ուրբաթ կ.ա. ժամը 8.30 – կ.ե. ժամը 4.30, կամ հեռաձայնեցէք Հեռաձայնի եւ Թարգմանություն Սպասարկության՝ 131 450, եւ խնդրեցէք որ թարգմանիչ մը Րայդ Քաղաքապետարանին հետ կապ հաստատուէ ձեզի համար, հեռաձայնելով՝ 9952 8222 թիվին:

CHINESE

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FARSI

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ITALIAN

Se non capite il presente documento, siete pregati di rivolgervi al Ryde Civic Centre al n. 1 di Devlin Street, Ryde, dalle 8.30 alle 16.30, dal lunedì al venerdì; oppure potete chiamare il Telephone Translating and Interpreting Service al 131 450 e chiedere all'interprete di contattare a vostro nome il Municipio di Ryde presso il 9952 8222.

KOREAN

이 문서가 무슨 의미인지 모르실 경우에는 1 Devlin Street, Ryde 에 있는 Ryde Civic Centre 로 오시거나 (월 – 금, 오전 8:30 – 오후 4:30), 전화 131 450 번으로 전화 통역 서비스에 연락하셔서 통역사에게 여러분 대신 Ryde 시청에 전화 9952 8222 번으로 연락을 부탁드립니다.

| Amend. No. | Date approved | Effective date | Subject of amendment |
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1.0 INTRODUCTION

The character area boundaries are shown on “Coronation Avenue and Trelawney Street Character Area” map.

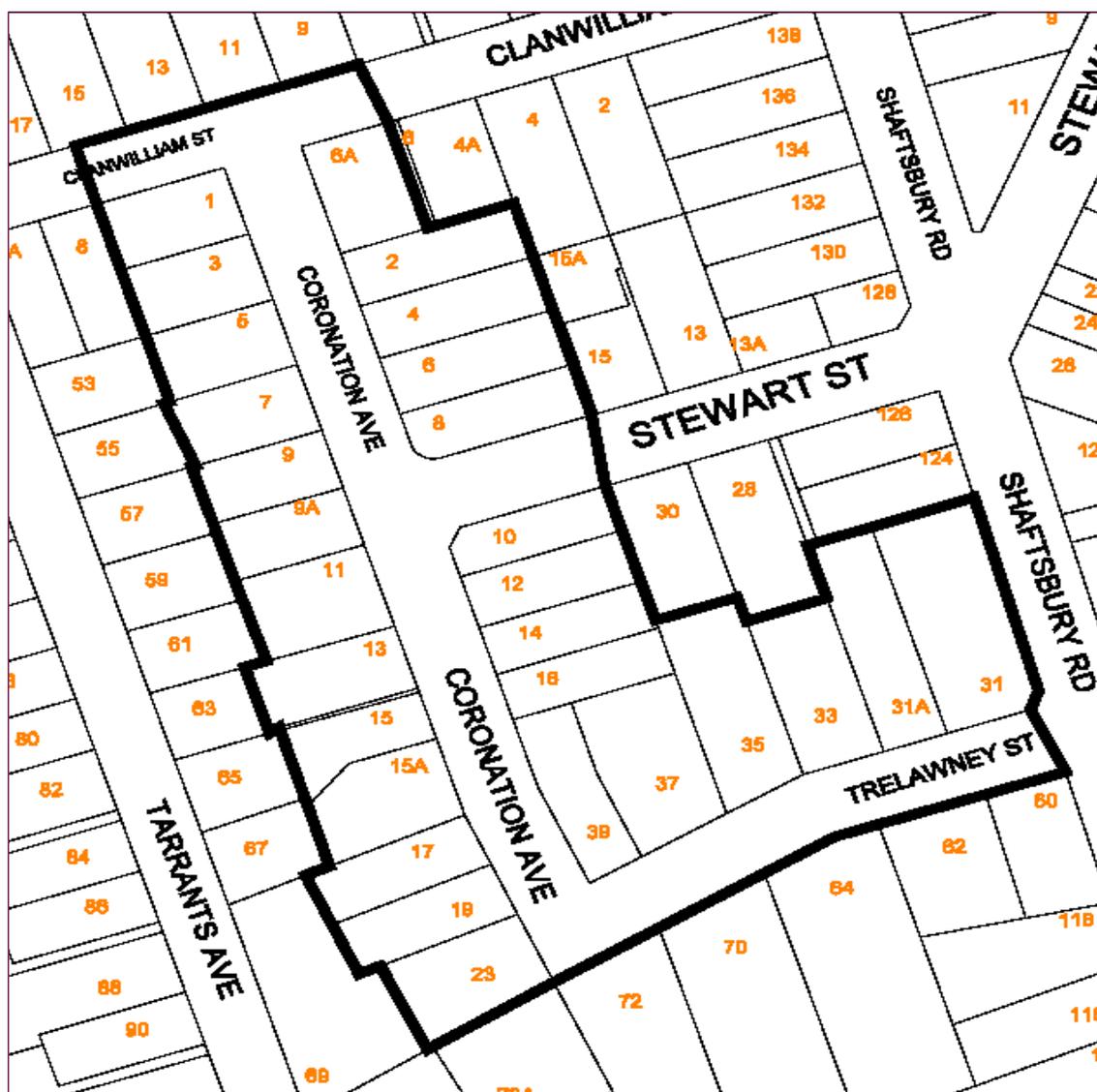


Figure 5.1.01 Coronation Avenue & Trelawney Street Character Area Extent

1.1 Background

This Area was selected because it includes several houses of high architectural quality and an attractive streetscape characterised by grass verges, low fences, open landscaped front gardens and picturesque Federation period housing.

This Part has been introduced to provide clear controls and guidelines that will ensure the retention of built and natural elements that contribute to the character of the Area, while allowing for sympathetic changes that meet the needs of the contemporary community.

The objectives and controls in this Part have been developed following extensive consultation with residents and owners of property in the area consultation included a survey, community workshops and meetings.

1.2 Objectives

The objectives of this Part are:

1. To conserve and enhance the positive characteristics and high level of amenity of the Coronation Avenue and Trelawney Street area;
2. To identify and protect buildings and other elements that make a positive contribution to the area; and
3. To provide for future development that is compatible with the character of the area.

1.3 Contributory Elements

The properties including buildings and other elements within the Area are considered of special value because collectively they contribute to the positive characteristics. Each property within the Area has been noted according to the contribution it makes. The properties are nominated as "highly contributory", "contributory", "neutral items" or "uncharacteristic".

Highly Contributory Items

These properties display most of the positive characteristics of the area. They have a collective significance and their retention is essential if the character of the area is to be kept.

Contributory Items

These properties display use of some of the positive characteristics such as characteristic compatible forms and materials, that contribute to the area as a whole, but to a lesser extent than highly contributory items. Any alterations or additions to contributory items should aim to make them highly contributory items.

Neutral Items

These properties display use of some of the positive characteristics that contribute to the area as a whole, but to a lesser extent than contributory items. These items may be demolished or altered so long as the work result in a building that possesses the characteristics of the highly contributory items.

Uncharacteristic Items

These properties display qualities that detract from the character of the area. They are not to be considered as a precedent for new work when assessing the merit of an application for development. These items may be demolished or altered so long as the works result in a building that possesses the characteristics of the highly contributory items.

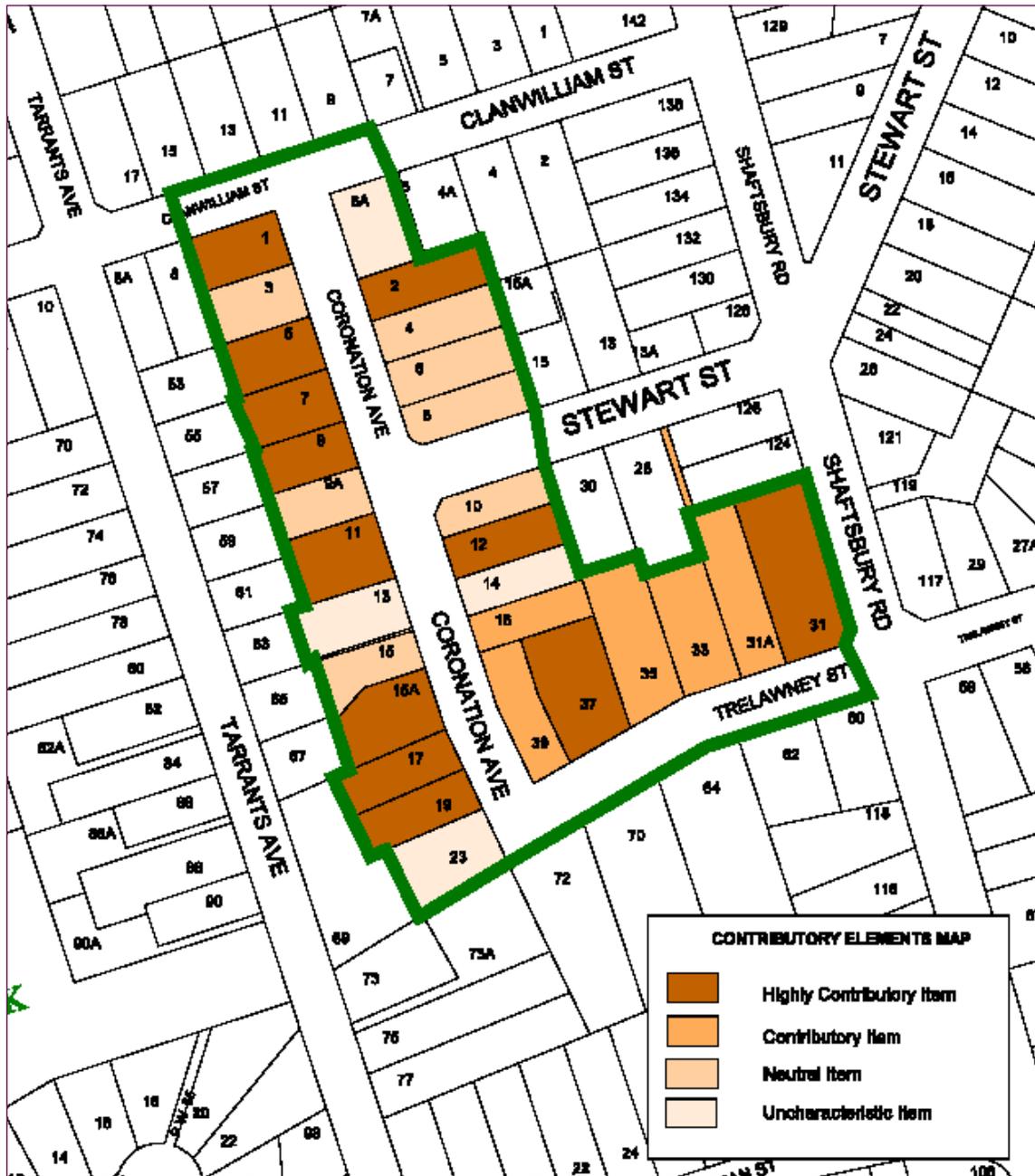


Figure 5.1.02 Map of Contributory Elements Coronation Avenue & Trelawney Street

2.0 THE PLACE

2.1 History

The area is part of the Eastwood Heights Estate created 1903, but prior to this the land had undergone a series of subdivisions. The area was originally part of the Field of Mars land grants. The Coronation Avenue and Trelawney Street area occupied land which was part of a 100 acre land grant made in 1794 to William Patullo, an ensign in the NSW Corps.

This grant, known as Craigie Farm, was bought by William Cox about in 1800. Cox consolidated the land into Brush Farm. Brush Farm remained intact until it was subdivided in 1881. The character area is part of Section 13, which was purchased by George Pile in 1883.

The construction of the railway to Hornsby late in the nineteenth century created the village of Eastwood. Eastwood railway station was opened in 1886 and this encouraged the development of the township. As a result the first two decades of the century saw the demise of the large rural estates, although during this time the Eastwood area did not become closely settled. In the years between the World Wars, the population of Eastwood only grew from 1,880 in 1920 to 3,230 in 1939. The population increased dramatically after WWII.

The area, which formed Eastwood Height Estates, was purchased by Charles Summerhayes, a local architect and developer, who subdivided the land in 1903 and placed it up for sale. The Eastwood Height Estates subdivision was bounded by Shaftesbury Road, Clanwilliam Street, Railway Street (now Tarrants Ave) and included Rose Street (now Stewart Street), Lily Street (now Coronation Avenue), and Alice Street (now Trelawney Street). Rose and Alice were the names of Summerhayes' daughters, and Lily the name of his wife.

Summerhayes was a prominent member of the community and an Alderman on Ryde Council. He was responsible for a number of subdivisions in the Eastwood area, as well as the architect of a number of shops and residences. Summerhayes built his own house 'Womerah', which still stands at No. 31 Trelawney Street, on lots 32 and 33 of the Eastwood Heights Estate.

Eastwood Height Estates subdivision was promoted *"magnificent panoramic views of the city and suburbs. Mountain altitude with suburban conveniences only 33 minutes train journey to the city"*, and was intended for middle class residents who would commute by train to the city for work.

Mura's estate, a larger parcel of land that ran from Tarrants Avenue through to the southern end of Coronation Avenue, was subdivided in 1923. In 1927 unsold lots were for sale as the 'Glorious Views Estate'. The properties that ran between Coronation St and Tarrants Avenue were re-subdivided between the 1930s and 1960s resulting in blocks with a street frontage to Tarrants Avenue.

The historical pattern of subdivision has established a pleasing rhythm of houses and gardens, and the area includes several individual houses of high architectural quality. Overall the land was originally subdivided with the intention of building residences, and this residential pattern of use continues today. Many properties, while not individually outstanding, still make an important contribution to the character of the area. The dominant character of the Area results from the groups of fine Federation bungalows with attractive front gardens set in tree lined streets.

A slight "L" shaped ridge runs along the eastern side of Coronation Avenue and along the Trelawney Street blocks in the south. The land along the ridges was the most favourable for building, and the earliest houses of the original subdivision are located along this slight ridge. At the northern end of Coronation Avenue the land slopes to the east and the ground floors of houses built on these blocks are generally set below street level.

2.2 Description

The houses in the Character Area are mainly single-storey moderate sized suburban bungalows. The Area reflects the traditional preference of Australians for single-storey family houses and provides a diverse range of house sizes from relatively small homes to large family homes. The residences are relatively homogeneous in their single storey scale, form, attention to detail and materials. The predominant materials are face brick walls, terracotta tile roofs and timber windows and doors.

The streetscape is characterised by grass verges, low fences, open landscaped front gardens and picturesque Federation period housing. The private gardens with their lawns, garden beds and specimen trees make an important contribution to the streetscape.

Coronation Avenue has a very different character to that of Trelawney Street, its wide flat openness providing a strong contrast to the split level, narrow and slightly winding quality of Trelawney Street.

The Area is well served by local services and is within walking distance of Eastwood shopping centre and railway station.

2.3 Positive Characteristics

The following set of Positive Characteristics define the Area and should be conserved and used as a tool in decision making.

1. Expansive neighbourhood views from the majority of properties;
2. A consistent streetscape in terms of:
 - siting of dwellings
 - dwelling setbacks
 - landscaped front yards with trees
 - building form, bulk and setbacks
 - garage location
 - materials and colours
 - wide verges with trees
3. Houses are generally consistent in style and materials and display key features of their architectural style:
 - single storey
 - set above grade on piers often with a stone foundation
 - simple, large roofs of similar heights
 - gabled or hipped roofs with a 30 - 40% roof pitch
 - large simple planes for the roof and walls
 - face brick relieved by stucco or timber detailing
 - slate or terracotta tiled roofing materials
 - set in an extensive, landscaped garden
 - contain a verandah with low parapet walls
 - garages located to the rear and only partly visible from the street
 - contain side landscaping
 - building generally framed by vegetation
 - vertically - oriented windows set in groups, often aggregated into a square shape
 - low front fences, or walls or hedges
4. A high level of amenity, i.e. many elements that make the Area an attractive and pleasant place to live.

3.0 STRATEGY AND DEVELOPMENT CONTROLS

3.1 Strategy

The objectives of this part are to be achieved through the following strategy:

1. building or design elements that comply with or complement the Positive Characteristics of the Area are to be retained;
2. highly contributory and contributory buildings are to be retained but inconspicuous additions to the rear may be acceptable;
3. new buildings and alterations and additions to existing building are to match or complement the Positive Characteristics; and
4. neutral or uncharacteristic items may be demolished or altered.

3.2 Building Form, Scale and Massing

The buildings in the area are generally single storey.

The houses along the western side of Coronation Avenue sit prominently along the ridgeline. Together they form a dominant element in the Coronation Avenue streetscape.

The houses along Trelawney Street are set high on the ridge and well back from the street. Because of the narrowness and split in the street the houses cannot be viewed as a group from any distance.

The distinctiveness of many older buildings is found features such as verandahs, stepping roofs and walls, decorative details and variation in materials. The texture and shadow of verandahs, for example, provides an attractive contrast to the solidity of the brick dwellings.

New buildings, alterations and additions should be compatible with the character of the area, the immediate streetscape context and to the building to which they belong. Alterations should aim to enhance the contribution the dwelling makes.

New dwellings built between existing dwellings should be consistent with the existing scale of buildings in the street and, in particular, that of the immediately adjacent buildings.

Objectives

1. To ensure new development is compatible with the form, scale and massing of contributory building.
2. To ensure that any new development visible from the street complements the Positive Character as defined in Clause 2.3 above.

Controls

- a. New development is to reflect height of existing buildings:
 - i. Foundation at front building line: 0.3 m minimum to 0.75 m maximum above ground level (existing);
 - ii. Floor to ceiling: 2.7 m minimum to 3.0 m maximum;
 - iii. Original main roof ridge line: 4.2 m – indicative height.

- b. The extensions to the roof ridge may be up to 1.5 m higher, providing it is set back so that at least 50% of the original roof remains the dominant feature. The extension is to be set behind the front ridge line, and verandah roofs and the like must be retained. The verandah roof area is not to be included in calculating of the roof area.
- c. New development is to be a simple design, and must be broken into smaller sections similar to those in the Area, e.g. by including a porch.
- d. Visibility of additions and garages from the street must be minimised, e.g. by setting them in the rear of the block.

Guidelines

1. Second storey additions to contributory buildings are not encouraged. It is preferred that attic space be created within the existing roofline, where possible.
2. Existing rooflines may be extended to the rear and dormers may be added to the extension, provided development does not impact negatively on the streetscape and the character of the house. In particular, the roof silhouette should remain;
3. Additions at the side of the house may be acceptable providing it is setback a minimum of 5 metres from the front building line and softened by planting and vegetation.
4. Two storey developments on the high side of the street are not encouraged due to the potential bulk and scale of the buildings, but existing dwellings may be extended towards the street.

Variations

Major variations may be approved depending on their merit as assessed by an architectural panel (including heritage expertise) selected by the City of Ryde.



Figure 5.1.03 The volume of the house is broken down by elements such as off-set gables, verandahs and bay windows 3.3 Building Details

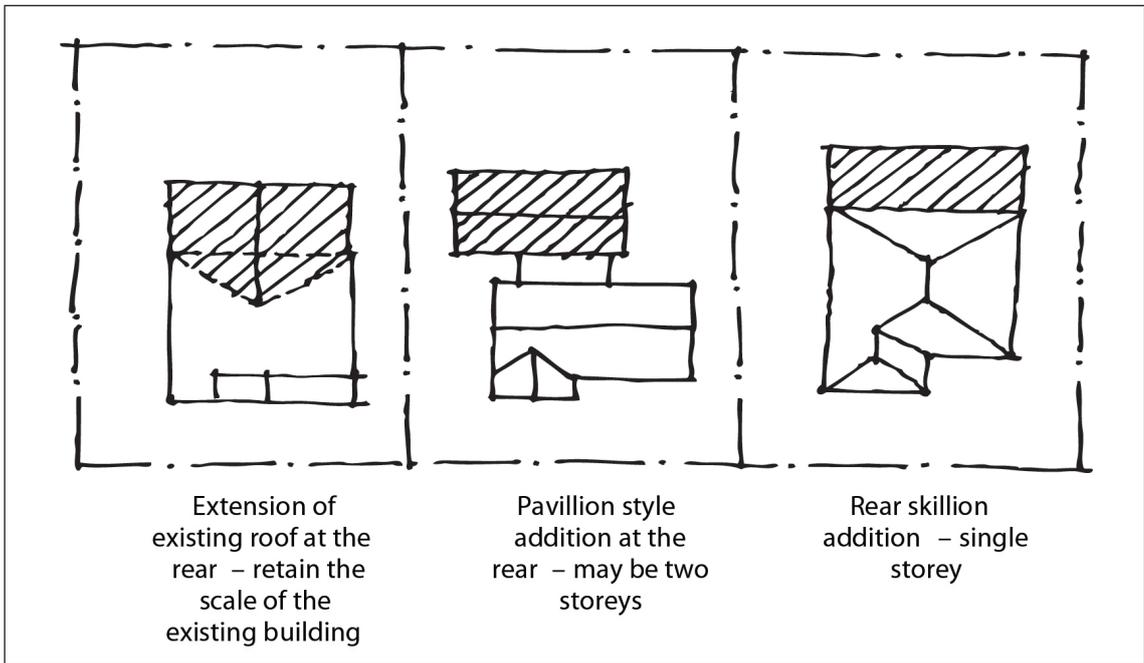


Figure 5.1.04 Siting of Additions

3.3 Building Details

Building details provide visual interest and assist in defining the character of an area. Building elements such as timber doors and windows and the decorative timber work of verandahs adds visual interest and individual character to dwellings.



Figure 5.1.05 The volume of the house is broken down by elements such as off-set gables, verandahs and bay windows

Objectives

1. To ensure that the facades of buildings reflect the detailing and architectural style of the Area.
2. To ensure that new work has a level of detailing compatible with contributory buildings.
3. To encourage the conservation of original facades.

Controls

- a. Building details must be used to provide visual interest, texture and contrast.
- b. The front facades of new dwellings must contain the following:
 - i. Walls with more than 50% of solid wall
 - ii. Walls with solid corners
 - iii. Individual windows with vertical proportions
 - iv. A porch (i.e. a verandah with low parapet walls)
- c. Solar panels and skylights are to be located so that they are not visible from the street.

Guidelines

- Where porches are missing or enclosed, reconstruction to the original design is encouraged.

Variations

Major variations may be approved depending on their merit as assessed by an architectural panel (including heritage expertise) selected by the City of Ryde.

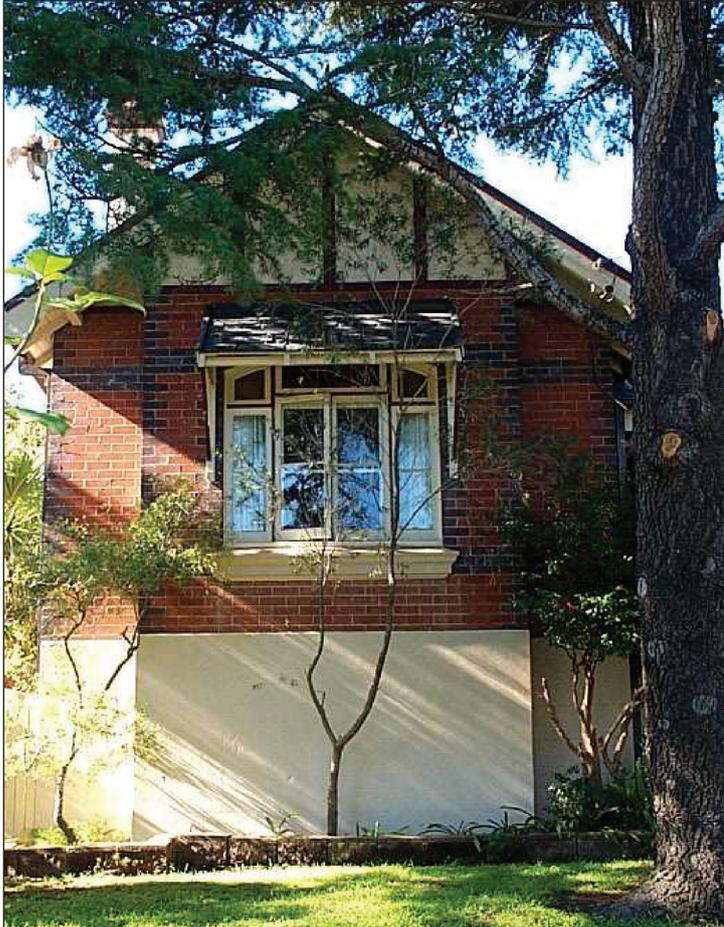


Figure 5.1.06

Details of front wall featuring different coloured brickwork, casement window with awning, half timbered golden and solid base course

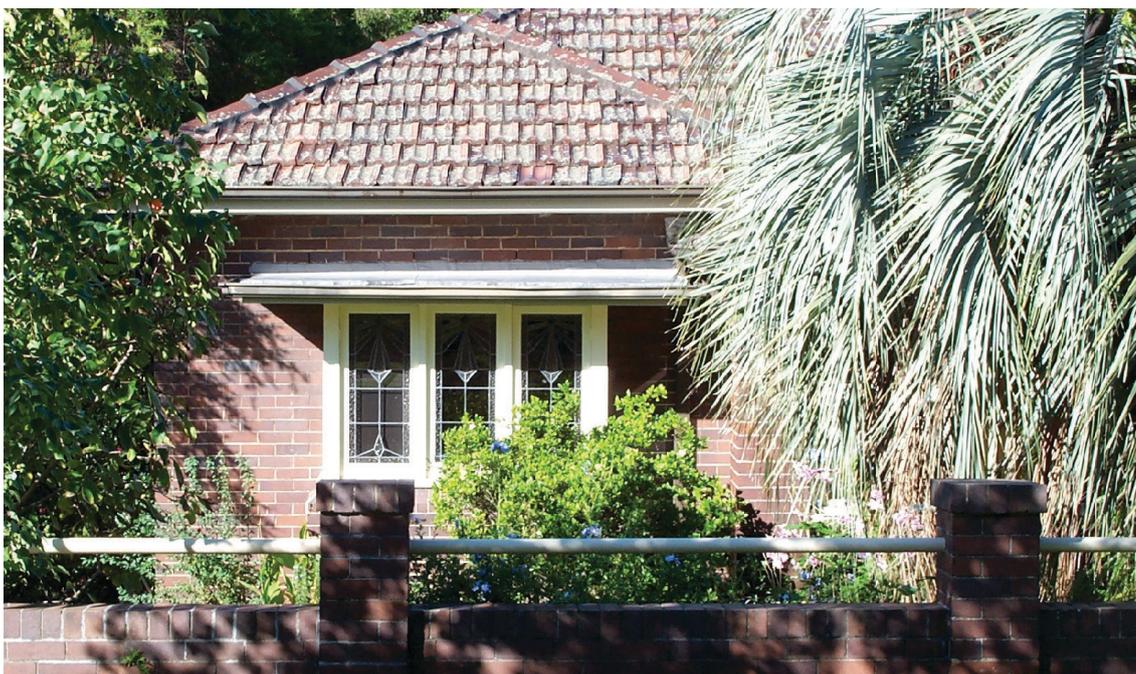


Figure 5.1.07 Architectural features add visual interest and help make the street facade the main facade. Note the use typical of face brickwork, tiled roof and timber joinery, and the front fence which matches the style of the house.

3.4 Roofs

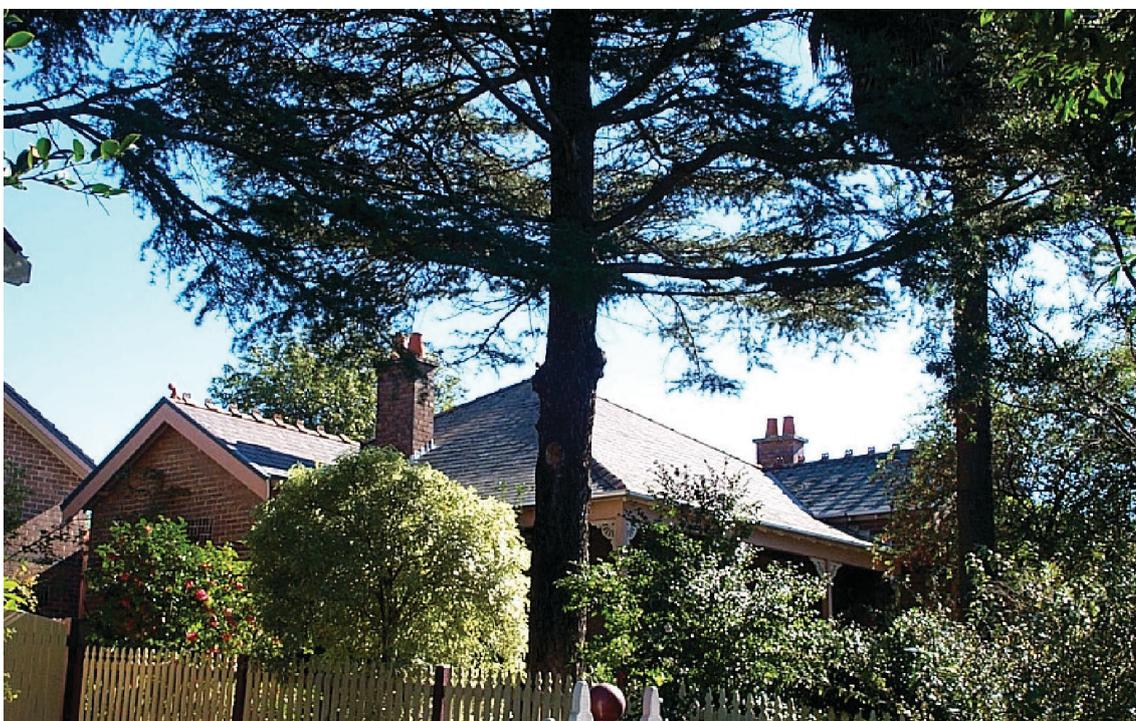


Figure 5.1.08 The house roof is a dominant element of the Area Their shape and material unify the area and contribute to its distinctive character. Pitched roofs, both hipped and gabled, are the typical roof forms in the Coronation and Trelawney Street area. Roof forms are generally asymmetrical and the mass is broken into sections.

The pitch of the roof varies with the style of building. Federation bungalows have more steeply pitched and complex roofs than later bungalows. There are no parapets or flat roofs in the street.

Dormer windows are not characteristic of the Area, however they are characteristic of some building styles. Therefore it may be appropriate to provide additional accommodation within the roof space of steeply pitched roofs by adding a dormer. Lower pitched roofs are generally not suitable for additions in the roof.

The decorative features of the roof such as chimneys and ridge cappings make a significant contribution to the character of the area.

Objectives

1. To conserve and enhance the original roof characteristics in the Area.

Controls

- a. New roofs, unless rear skillion roofs, are to be gabled (with a gable facing the street) or hipped.
- b. New roofs, unless rear skillion roofs, are to be pitched between 30 and 40 degrees.
- c. All eaves must have at least 500 mm of overhang.
- d. Unless on a Federation style building, new roofs should have a large, dominant, simple roof plane facing the street.
- e. Roof extensions should be compatible with the original roof and should have the same slope.

Guidelines

Additional accommodation may be provided within the roofline.

- Dormers and 'eyelid' dormers may be used, depending on their visual impact on the building and the streetscape;
- Dormers should not be set in roofs with less than a 35 degree slope;
- Dormer ridge line should be set a minimum 600 mm below the roof ridge line;
- Dormers should not obscure the original chimneys; and
- Skillion roofs may be appropriate at the rear of buildings where the roof will not be visible from the street.

Variations

Major variations may be approved depending on their merit as assessed by an architectural panel (including heritage expertise) selected by the City of Ryde.

3.5 Building Siting

The siting of houses in the Coronation Avenue and Trelawney Street are generally uniform. The front setbacks of houses in Trelawney Street are 12 m and are greater than those in Coronation Avenue at 7 m.

Houses are set in relatively large well-established gardens. The front gardens make an important contribution to the garden character of the area.

Objectives

1. To conserve and enhance the original pattern of dwelling setbacks.
2. To conserve and enhance the distinctive garden setting.

Controls

- a. New dwellings are to be free-standing in a garden setting.
- b. New dwellings are to present their main facade to the street and are to be sited parallel with the street boundary.
- c. The side setbacks are to be a minimum of 1.5 metres on one side and 4.0 m on the other extending at least 5.0 m past the building line, where it may be reduced to 1.0 m.
- d. Side setbacks on corner blocks shall be 4.0 m on the Coronation Avenue frontage and 2.5 m on a Stewart Street frontage.

Guidelines

- Freestanding garages may be set closer to the side and rear boundaries, providing they are set back from the front building line by at least 5 metres.

Variations

Major variations may be approved depending on their merit as assessed by an architectural panel (including heritage expertise) selected by the City of Ryde.

3.6 Car Parking

Garages, carports and off street car parking areas can have a dramatic effect on the character of the Area. Dwellings, not garages, carports or off street parking, should dominate the streetscape as they contribute more to the positive character of the streetscape.

The location and style of the garages/carports in Coronation Avenue generally varies with the style of the house, but are generally located to the rear of the block.

Objectives

1. To ensure garages, carports and off street parking do not dominate the streetscape.

Controls

- a. Car parking structures must reflect the architectural style of the dwelling.
- b. Garages must be set at least 5 metres behind the front building line and are preferably to be freestanding.
- c. Driveways are to be single width.
- d. Driveways are to comprise concrete wheel strips or brick paving.
- e. Car parking structures are to accommodate important landscape features and their design elements, i.e. should retain items like existing tree plantings.

Guidelines

- Car parking structures should be simple in design.
- Car parking structures should be softened by vegetation, preferably screened by low shrubs and medium sized trees.
- Hard-stand parking areas in front of the building line are not encouraged.
- Driveways should be concrete or brick strips or gravel.
- Carports may be permitted if they are set at least 2.0 m behind the front face of the building.

Variations

Major variations may be approved depending on their merit as assessed by an architectural panel (including heritage expertise) selected by the City of Ryde.



Figure 5.1.09 The garage has limited visibility from the street and is accessed by a single width driveway. Note the grassed section between the concrete wheel strips.

3.7 Materials and Colours

Materials and colours provide an important unifying element for the area. The predominant materials within the area include face brick, rendered surfaces such as stucco, terracotta tiles and timber joinery.

New dwellings and alterations and additions are encouraged to use colours, materials and finishes that are consistent with the predominant materials and colour schemes of the existing houses of the Area.

Objectives

1. To ensure new development complements the existing characteristic materials and colour.

Controls

- a. Materials, finishes and colours on contributory items are to match those already existing on the item where possible.
- b. New roofing is to be slate or terracotta tiles.
- c. The majority of new external walls are to be face brick in a dark red or similar, to match existing, or as compatible with the brickwork of contributing buildings.
- d. An external finishes and colour schedule is to be submitted with the development application.

Guidelines

- Original materials should be reused if practicable.
- Doors and windows facing the street should be wooden.
- External colour schemes are to complement the existing brickwork.
- Originally unpainted finishes such as face brickwork and stonework should not be painted, bagged or rendered.

Variations

Major variations may be approved depending on their merit as assessed by an architectural panel (including heritage expertise) selected by the City of Ryde.



Figure 5.1.10

Front facade displaying a variety of material which provides visual interest: shingle and half timbered gable, rough cast rendered piers, face brickwork balustrade, diamond patterned glass window, smooth render base course, and terrazzo steps.

3.8 Gardens

Within the Coronation Avenue and Trelawney Street Character Area houses sit in large well-established gardens and this landscape setting makes an important contribution to the high residential amenity of the area. Within these streets the garden elements include mature tree specimens, defined garden beds, front fences, gates, paths and expansive lawns.

In the Area the fences are generally low and many front boundaries are edged with a garden bed rather than a fence. The low front fences allow the gardens to be highly visible from the street and to reinforce the garden character of the street. The style of fences generally matches that of the house.

Objectives

1. To encourage the retention and enhancement of the garden setting.
2. To ensure new gardens reflect the character of existing gardens.
3. To conserve original garden elements, like walls and hedges.

Controls

- a. A front garden is to be provided and it must contain:
 - i. lawn;
 - ii. shrubs; and
 - iii. tree(s).

- b. Hard paving is to be restricted to paths and driveways and must be of a minimum width, i.e. driveway of 2.4 m and path of 1.2 m.
- c. The front boundary is to be marked by either a wall or fence or hedge no more than 750 mm in height and are to complement the architectural features of the house.
- d. A matching side fence is to be provided to at least the building line.
- e. All mature or semi-mature tree planting in the front and side gardens are to be retained.

Guidelines

- New plantings must be provided if currently they do not exist or are minimal in order to soften and frame the buildings.
- Garden style should be informal, curvilinear or of space free form rather than rectangular and architectural.

Variations

Major variations may be approved depending on their merit as assessed by a landscape architect (including heritage expertise) selected by the City of Ryde.



Figure 5.1.11 Fences should allow the garden to be seen from the street

3.9 Street Elements

The streetscape is made up of many elements, such as street trees and grassed verges, which together contribute to determine its character. The incremental removal of streetscape elements would lead to the character of the street being lost.

Coronation Avenue and Trelawney Streets provide a strong contrast in streetscape character. This contrast results from the difference in such things as topography, road pattern, and street tree planting.

Objective

1. To retain and enhance the positive characteristics of Coronation Avenue and Trelawney Street.
2. To retain and enhance the high level of streetscape amenity.

Controls and Guidelines

- a. The existing footpath configuration of wide grass section with a relatively narrow hard surface walkway strip in Coronation Avenue, is to be retained.
- b. Driveway footpath crossings are to be a single car width with a maximum of 1 driveway crossing per property.
- c. Street trees are to be provided on the verge of each property.

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