

City of Ryde Development Control Plan 2014

Part: 5.4 Blenheim Road Small Centre

Translation

ENGLISH

If you do not understand this document please come to Ryde Civic Centre, 1 Devlin Street, Ryde Monday to Friday 8.30am to 4.30pm or telephone the Telephone and Interpreting Service on 131 450 and ask an interpreter to contact the City of Ryde for you on 9952 8222.

ARABIC

إننا نعتذر عليك فهم محتويات هذه الوثيقة، نرجو للحضور إلى مركز بلدية رايد Ryde Civic Centre على العنوان: 1 Devlin Street, Ryde 1 من الاثنين إلى للجمعة بين الساعة 8.30 صباحاً والساعة 4.30 بعد الظهر، أو الاتصال بمكتب خدمات للترجمة على الرقم 131 450 لكي تطلب من أحد المترجمين الاتصال بمجلس مدينة رايد، على الرقم 9952 8222، نيابة عنك.

ARMENIAN

Եթե այս գրույթինը չէք հասկնար, խնդրեմ եկէ՛ք՝ Բայր Սիվիք Սենթըր, 1 Տելվին փողոց, Բայր, (Ryde Civic Centre, 1 Devlin Street, Ryde) Երկուշաբթիէն Ուրբաթ կ.ա. ժամը 8.30 – կ.ե. ժամը 4.30, կամ հեռաձայնեցէ՛ք Հեռաձայնի եւ Թարգմանություն Սպասարկության՝ 131 450, եւ խնդրեցէ՛ք որ թարգմանիչ մը Բայր Քաղաքապետարանին հետ կապ հաստատուէ՛ ձեզի համար, հեռաձայնելով՝ 9952 8222 թիվին:

CHINESE

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FARSI

اگر این مدرک را نمی فهمید لطفاً از 8.30 صبح تا 4.30 بعد از ظهر دوشنبه تا جمعه به مرکز شهرداری رايد، Ryde Civic Centre, 1 Devlin Street, Ryde مراجعه کنید یا به سرویس مترجم تلفنی، شماره 131 450 تلفن بزنید و از یک مترجم بخواید که از طرف شما با شهرداری رايد شماره 9952 8222 تلفن بزند.

ITALIAN

Se non capite il presente documento, siete pregati di rivolgervi al Ryde Civic Centre al n. 1 di Devlin Street, Ryde, dalle 8.30 alle 16.30, dal lunedì al venerdì; oppure potete chiamare il Telephone Translating and Interpreting Service al 131 450 e chiedere all'interprete di contattare a vostro nome il Municipio di Ryde presso il 9952 8222.

KOREAN

이 문서가 무슨 의미인지 모르실 경우에는 1 Devlin Street, Ryde 에 있는 Ryde Civic Centre 로 오시거나 (월 – 금, 오전 8:30 – 오후 4:30), 전화 131 450 번으로 전화 통역 서비스에 연락하셔서 통역사에게 여러분 대신 Ryde 시청에 전화 9952 8222 번으로 연락을 부탁드립니다.

| Amend. No. | Date approved | Effective date | Subject of amendment |
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1.0 PRELIMINARY

1.1 Introduction

This Part will facilitate the revitalisation of the Small Centre at Blenheim Road, North Ryde.

This Part should be read in conjunction with other City of Ryde Planning Policies and Development Standards as covered in Section 1.5.

1.2 Purpose of this Part

This Part provides principles for the public domain and development controls for sites within the Small Centre.

1.3 Objectives of this Part

Objectives of this part are :

- 1. To reinforce Blenheim Road as a retail, employment and residential location**
 - a. Develop a mixed-use small centre with a range of housing and employment opportunities.
 - b. Create sustainable employment opportunities that are compatible with shopping and living environments.
 - c. Create residential development that contributes to street life with increased activity at the weekends and in the evenings.
- 2. To enhance the qualities of the Blenheim Road**
 - a. Develop quality, sustainable buildings and public domain spaces and improve the existing public domain.
 - b. Enhance and increase the physical and visual prominence of the Mixed Use centre.
- 3. To create an attractive, safe, convenient and well-used pedestrian environment and public domain**
 - a. Create a high quality public domain that is safe and accessible for all within the small centre, during and outside business hours.
 - b. Improve pedestrian connections within the small centre and surrounding areas.
 - c. Ensure positive interfaces between public space and private development.
- 4. To develop a quality centre**
 - a. Reinforce the legibility of Blenheim Road.
 - b. Protect sun access to significant public domain spaces.
 - c. Ensure that the relationship between buildings is positive and that all development addresses the public domain and street frontages.
 - d. Protect streetscapes and the pedestrian environment from adverse impacts of site servicing, garage doors, driveways and loading docks.
- 5. To develop high quality built form**
 - a. Give detailed guidance to development standards.
 - b. Ensure well-designed buildings constructed of durable and attractive materials.
 - c. Ensure development is flexible and durable and able to accommodate a range of uses over time.

6. To develop a sustainable small centre that balances social, economic and environmental objectives

- a. Encourage efficient and appropriate land-use.
- b. Revitalise the small centres with economically sustainable commercial, retail and residential development.
- c. Intensify land-use to better utilise public transport and other public infrastructure.
- d. Support facilities for public transport use, walking and cycling.
- e. Maintain access and minimise the impacts of traffic congestion in the small centres.
- f. Ensure personal safety and security in the public domain and shared space in private ownership.
- g. Develop sustainable buildings that are robust and adaptable to a variety of uses over time
- h. Develop environmentally sustainable shopping, living and working environments that conserve resources and:
 - Minimise long term energy and water consumption.
 - Protect and improve water and air quality.
 - Minimise waste production and encourage materials recycling and reuse.
 - Integrate environmental management.

1.4 Land affected by this Part

This Part applies to land identified in Fig. 5.4.01.

1.5 Relationship of this Part to other Plans and Policies

This Part supplements and gives guidance to the controls and objectives of Ryde LEP 2014. It is also part of a series of plans promoting the revitalisation of Ryde's business centres and should be read in conjunction with other relevant Council plans and policies, including but not limited to:

- *Ryde Public Domain Technical Manual*
- *Section 94 Development Contributions Plan 2007*
- *DCP 2014 - Other Relevant Sections*

This Part should also be considered in conjunction with the State Environmental Planning Policies (SEPP) including *SEPP 65, Design Quality for Residential Flat Buildings*.

1.6 Interpretation

In this Part, terms have the same meaning as in the Environmental Planning and Assessment Act 1979 (as amended) and the Ryde Local Environmental Plan 2014. If there is an inconsistency between this part and other parts of the City of Ryde DCP 2014 and other codes or policies this Part shall prevail.

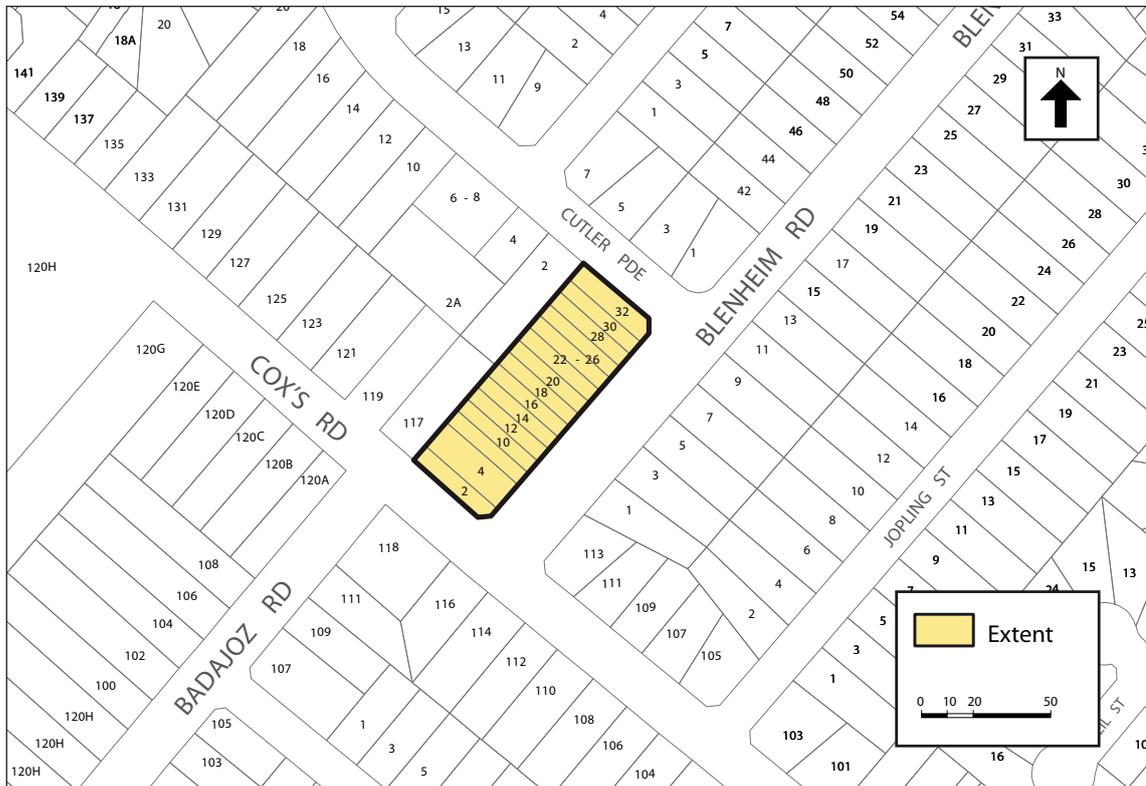


Figure 5.4.01 Map showing Blenheim Road Small Centre Extent.

1.7 Structure of this Part

This Part identifies objectives and controls that will shape the future development of Blenheim Road to create attractive, accessible and unique urban environments in which to live, work, shop, and visit.

Development controls are provided for strategic sites identified as Ryde Small Centres within the City of Ryde LGA. The identified centre is Blenheim Road, North Ryde. This site has been tested with regards to built form, public domain, design and traffic. The detailed development controls for these sites are provided in Section 3.0 of this Part.

Specific built form development controls for both sites include building heights, building setbacks, active street frontages, awnings and built form sections.

2.0 VISION

2.1 Blenheim Road, North Ryde - Vision Statement

This part is a planning initiative undertaken by the city of Ryde to revitalise the small centre of Blenheim Road, North Ryde. The vision is to create an attractive place to live, work, shop and visit, arising from Blenheim Road's natural and built features, history and community expectations.

Blenheim Road is a vibrant local centre located in a low density residential area at the intersection of two busy through roads. It has a relatively large number of shops and services and community facilities for the local community. The centre has good connections with the wider road network and good access to public transport. It is located near a major employment area and is well serviced by parkland and recreation opportunities.

In the future the Blenheim Road, North Ryde Small Centre will retain its local retail role, whilst gaining residential development above. The existing rear lane, currently in poor condition, is to be transformed into an accessible rear laneway for pedestrians and private & service vehicles.

The overall built form is to ensure an appropriate scale within the predominately residential context. High quality built form will define and edge public spaces.

3.0 OBJECTIVES AND CONTROLS

3.1 Site Amalgamation

Objectives

1. To ensure as few driveways as possible in order to promote pedestrian amenity and road safety.
2. To encourage access from the local roads network and the provision of new laneways.
3. To encourage development quality & amenity and meet other parts of the controls setout.

Controls

- a. Minimum lot sizes shall comply with Ryde LEP 2014 Clauses 4.3A and 4.4A.

Note: 1. To achieve the optimum development outcome within a small centre a minimum lot size is required for particular development to occur. Clauses 4.3A Exceptions to height of buildings and 4.4A Exceptions to floor space ratio make provision for additional height and floor space to be available when lots over a particular size are being developed. A preferred amalgamation is shown in Figure 5.4.03 and Figure 5.4.04.

2. To achieve the required lot size may require the amalgamation of lots. If amalgamation is required an application for consolidation should be included as part of the development application.

3. Building envelopes (Figure 5.4.03, Figure 5.4.04, Figure 5.4.05, Figure 5.4.06, Figure 5.4.07, and Figure 5.4.09) are based on the preferred amalgamation pattern. They are indicative only.



Figure 5.4.02 Map showing Blenheim Road Small Centre Preferred Amalgamation Site Pattern

3.2 Built Form

3.2.1 Urban and Environmental Design

The quality of streets and public spaces may be enhanced by the way buildings address these spaces. Good environmental design includes the control of solar access and overshadowing.

Objectives

1. To ensure new buildings contribute positively to the urban built form and environment.
2. To ensure appropriate scale and good environmental amenity, such as sun access.
3. To ensure a built form of a high quality that successfully integrates environmental sustainability with architectural design.

Controls

- a. Development on corners must address all street frontages. Entries, windows and other architectural elements should be placed to reinforce the corner.
- b. Provide building articulation elements including awnings, verandahs, decks, loggias, pergolas, bay windows and recessed doors.
- c. Windows and entries shall be placed to overlook public spaces and streets to provide surveillance opportunities.
- d. Balconies may not be continuous along the whole length of building facades.
- e. Provide solar protection, including awnings, recessed windows, roof overhangs, external shutters and screens to the western and northern elevations of buildings.
- f. Where sites are amalgamated, express the existing or prevalent lot structure in the design of new buildings. For example the width of shop-fronts should reflect the predominant lot structure prior to the amalgamation taking place.

3.2.2 Residential Private Open Space

Private open space such as front gardens, private gardens, above ground open space and the like where located adjacent to the public domain contributes to the character of the public domain and provides amenity to residents.

Objectives

1. To contribute to the character and environmental quality of the landscape of the Small Centres.
2. To enhance the micro-climate created by development, in development and the Small Centres.
3. To ensure that every dwelling in the Ryde Small Centres has access to usable private open space.

Controls

Private open space

Refer to the *SEPP 65 Residential Flat Design Code (Planning NSW) - Open Space*.

- a. Single aspect apartments set below the natural ground level are not permitted.
- b. Comply with *SEPP 65* Rule of Thumb.

3.2.3 Solar Access and Sun Shading

Sunlight is a major determinant of environmental comfort. Good passive solar design offers financial benefits, by reducing the need for artificial heating and cooling.

Objectives

1. To provide solar access to habitable rooms and external areas of dwellings in mid winter.
2. To achieve the development of living and working environments not reliant on artificial heating, cooling, and lighting with passive heating/cooling, solar orientation, appropriate shading treatments.

Controls

Refer to the *SEPP 65 Residential Flat Design Code (Planning NSW) - Daylight Access*.

- a. Comply with *SEPP 65* rule of thumb.
- b. The *SEPP 65* controls for lightwells apply to apartments below ground level for the purpose of satisfying *SEPP 65* requirements.

Note: Single aspect apartments set below the natural ground level are not permitted.

3.2.4 Visual Privacy

Objectives

1. To maximise the visual privacy of on-site and neighbouring residents.
2. To maximise outlook and views from habitable rooms and private open space without compromising visual privacy

Controls

Refer to the *SEPP 65 Residential Flat Design Code (Planning NSW) - Visual Privacy*.

- a. Comply with *SEPP 65* rule of thumb.

3.2.5 Acoustic Privacy

Potential unwanted noise sources increase in more densely developed areas. In mixed-use areas developments need to consider the amenity of a range of occupants. The impact of commercial and retail noise on residential development and pedestrian amenity needs to be considered. Residential, commercial and retail developments can be designed and managed to minimise noise generation and intrusion.

Objectives

1. To achieve an appropriate acoustic environment, by giving design consideration to the following:
 - i. Siting of buildings.
 - ii. Building planning.
 - iii. Internal room layout.
 - iv. Location of private open space.
 - v. Location and treatment of windows.
 - vi. Building materials.
 - vii. Location and design of waste storage and collection for commercial component.

Controls

Refer to the *SEPP 65 Residential Flat Design Code (Planning NSW)- Acoustic Privacy*.

- a. Acoustic separation between commercial and residential uses shall be attained.

3.2.6 Built Form Heights

Development within the small centre is of a scale and character that promotes an attractive and sustainable urban environment.

Objectives

1. To attract investment, new employment opportunities and enhance economic sustainability.
2. To promote an urban scale to the retail and commercial development.
3. To enhance the existing streetscape and ensure appropriate development scale in predominantly residential and heritage precincts.
4. To ensure adequate sunlight is available for all buildings, streets and public domain.

Controls

- a. Buildings must comply with the maximum heights described in *Ryde LEP 2014* Height of Buildings Map.
- b. Building height must comply with the Building Height Control Figure 5.4.03 and Figure 5.4.04.
- c. The height limits in the LEP and the DCP must be read in conjunction and they correlate to each other. The LEP provides building heights in metres and the DCP provides building heights in storeys. The DCP does not restrict the height limit allowed under the LEP.
- d. Floor to ceiling height must be a minimum of 2.7 m for residential uses.
- e. To ensure that ground floor levels are adaptable over time for a wide range of uses, the floor to ceiling height must be a minimum of 3.5 m clear for the ground floor.



Figure 5.4.03 Blenheim Road Small Centre Building Height Control

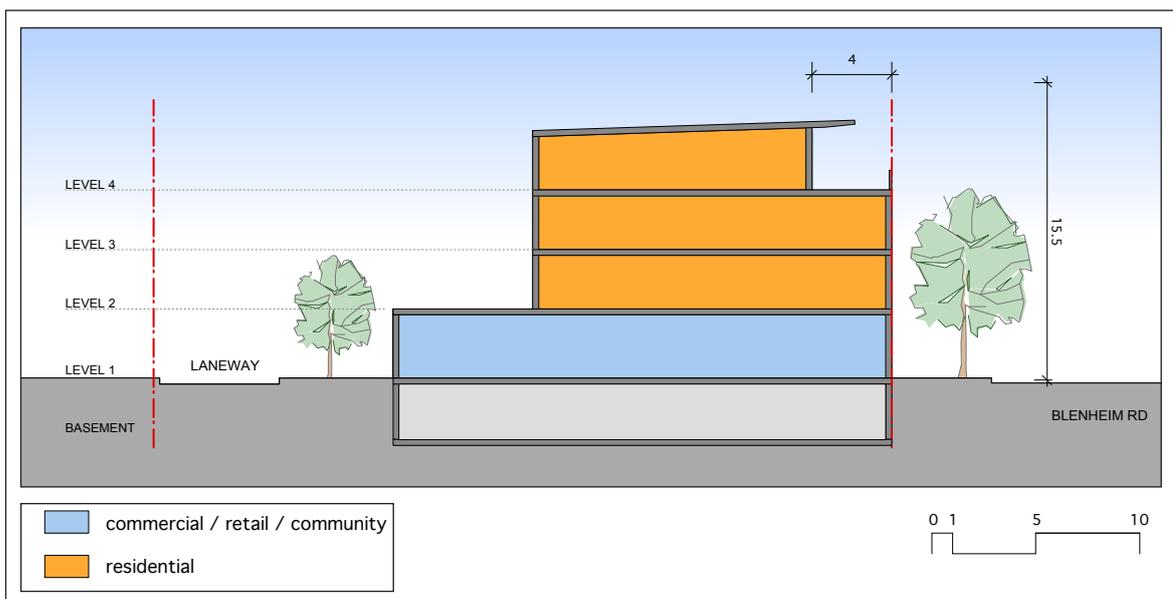


Figure 5.4.04 Blenheim Road Small Centre Building Height Control - Cross Section

3.2.7 Setbacks

Front setbacks give streets and public domain physical definition and control the relationships of buildings to each other. The front setbacks defined in this Part will reflect and reinforce the character of the Blenheim Road Small Centre. Business and retail areas are to be built to the street frontage to reinforce and promote a positive urban character and personal safety and security. Rear and side setbacks control the relationships of buildings to each other and provide visual and acoustic privacy. Upper level setbacks reduce the visual bulk and scale of buildings; promote an interesting skyline and access to sunlight and fresh air.

Objectives

1. To establish an individual identity for the small centre and influence street character.
2. To integrate Safer-by-Design principles into the design of the public domain and built form.
3. To effect positive relationships between buildings.
4. To create an interesting skyline.
5. To promote sunlight access to the public domain and buildings.

Controls

- a. Building setbacks at the ground level and upper levels must comply with the Setbacks Control Drawing.
- b. Building setbacks must comply with the Building Setback Controls Figure 5.4.05 and Figure 5.4.06.
- c. The build to boundary line applies to the ground, first and second floors.
- d. The top floor must be setback 4 m from the boundary.

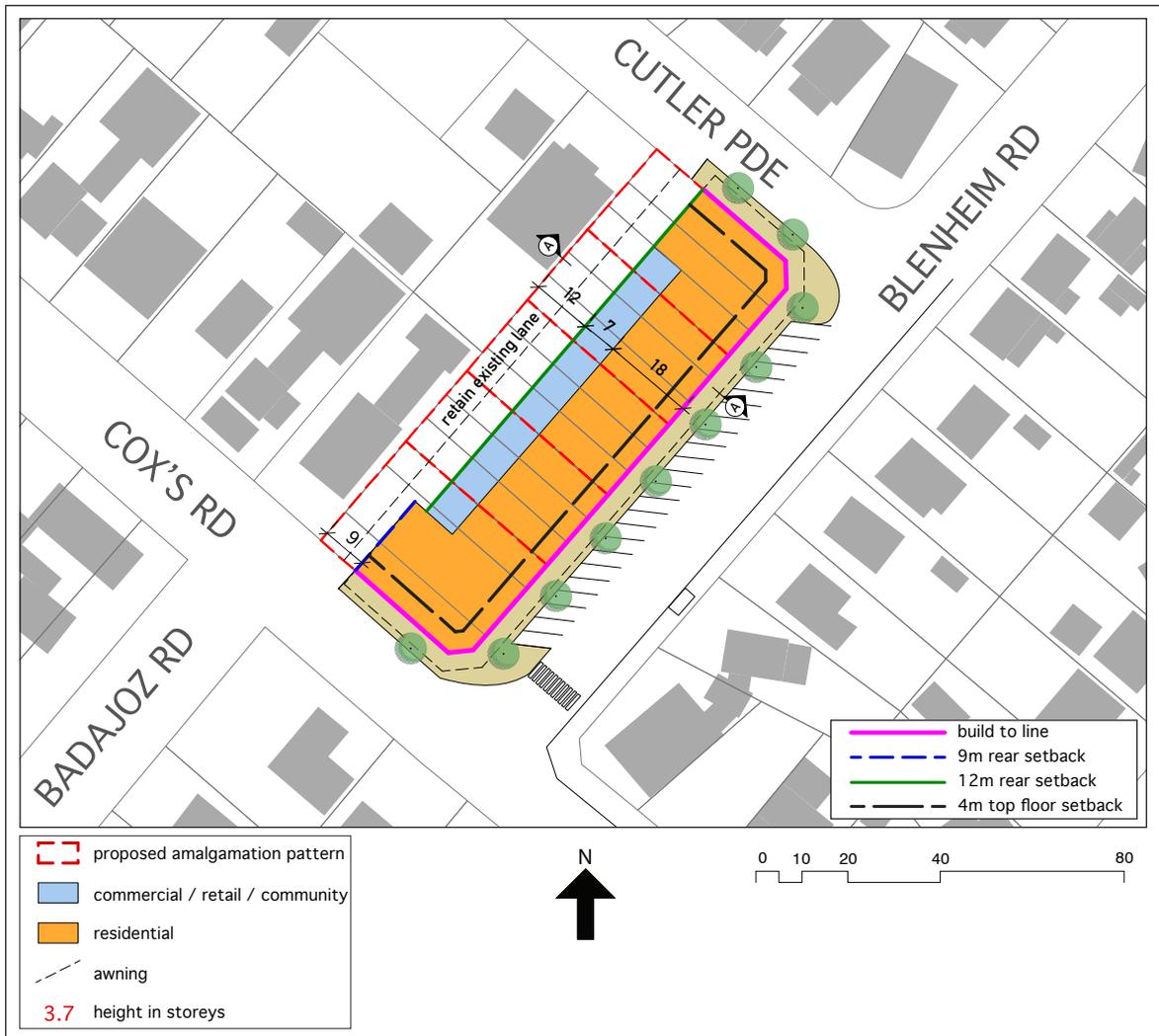


Figure 5.4.05 Blenheim Road Small Centre Setback Controls Drawing

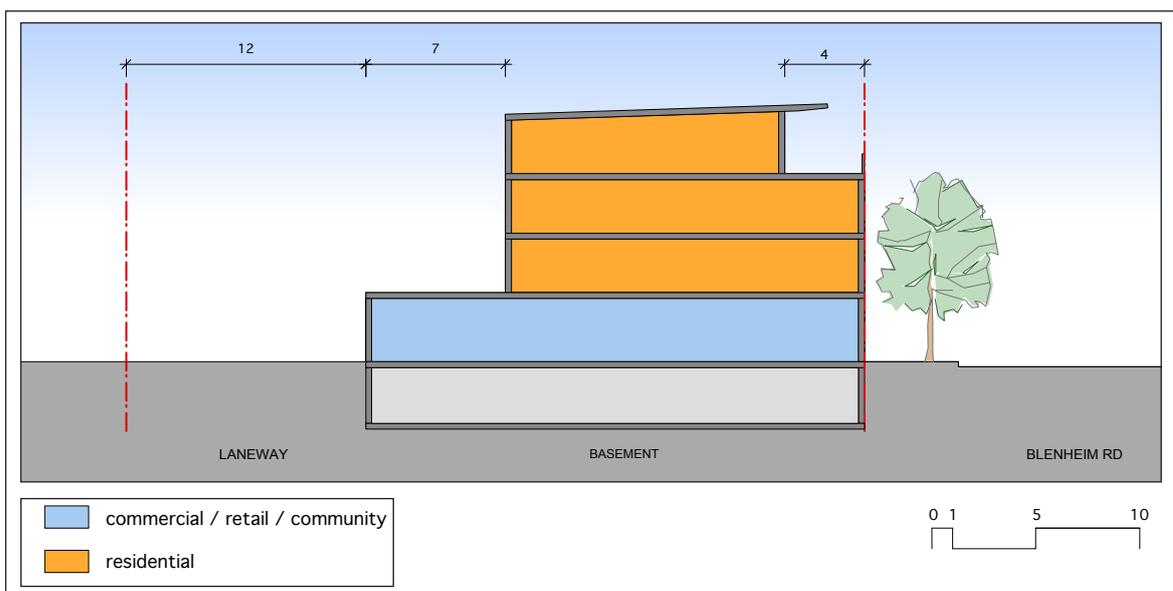


Figure 5.4.06 Blenheim Road Small Centre Setback Controls - Cross Section

3.2.8 Building Depth

Objectives

1. To promote sustainable built form.
2. To improve the amenity of buildings for users.

Controls

- a. Building depth must comply with the Building Depth Control Drawing Figure 5.4.07.
- b. Achieve natural ventilation in residential buildings by having window openings in opposite directions and walls where possible. Comply with *SEPP 65* rule of thumb.
- c. The maximum overall depth of residential buildings is 18 m unless design excellence can be demonstrated and natural ventilation is achieved.



Figure 5.4.07 Blenheim Road Small Centre Building Depth Control / Active Street / Extent of Awning Control

3.2.9 Active Street Frontages

Objectives

1. To enhance personal safety and security within the small centres.

Controls

- a. Provide ground level active uses where indicated on the Active Street Frontages Control Drawing Figure 5.4.07.
- b. Active uses contribute to personal safety in the public domain and comprise:
 - i. Community and civic facilities;
 - ii. Recreation and leisure facilities;
 - iii. Shops;
 - iv. Commercial premises;
 - v. Residential uses, particularly entries and foyers, however, these must not occupy more than 20% of the total length of each street frontage.
- c. Where required, active uses must comprise the street frontages for a depth of at least 10 m from the front setback.
- d. Ground floor shop fronts may incorporate security grills provided these ensure light falls onto the footpath and that the interior of the shop is visible. Blank roller-shutter doors are not permitted.
- e. Serviced apartments, hotels, motels and boarding houses shall not have apartments at the ground level. Locate retail, restaurants and / or other active uses at the ground level.

3.2.10 Awnings + Entry Canopies

Objectives

1. To create a consistent streetscape.
2. To contribute to pedestrian amenity (all-weather protection), safety and security (lighting).

Controls

- a. Provide continuous awnings as indicated in Awnings Control Drawing Figure 5.4.07 and Figure 5.4.08.
- b. Awning height shall be a minimum of 3m from the pavement and setback 600mm from the kerb edge. The heights of adjoining awnings must be considered.
- c. Design awnings to protect pedestrians from sun and rain. Glazed awnings will not be permitted where awnings are required unless it can be demonstrated that:
 - i. A cleaning and maintenance regime will be established;
 - ii. Solar protection (shade) can be achieved; and
 - iii. Lighting will be installed to the underside of the awning that will light the footpath.
- d. Provide lighting, preferably recessed, to the underside of awnings, sufficient to ensure a high level of safety and security for pedestrians at night.
- e. Where the street or ground level is sloped, awnings shall step down the hill.

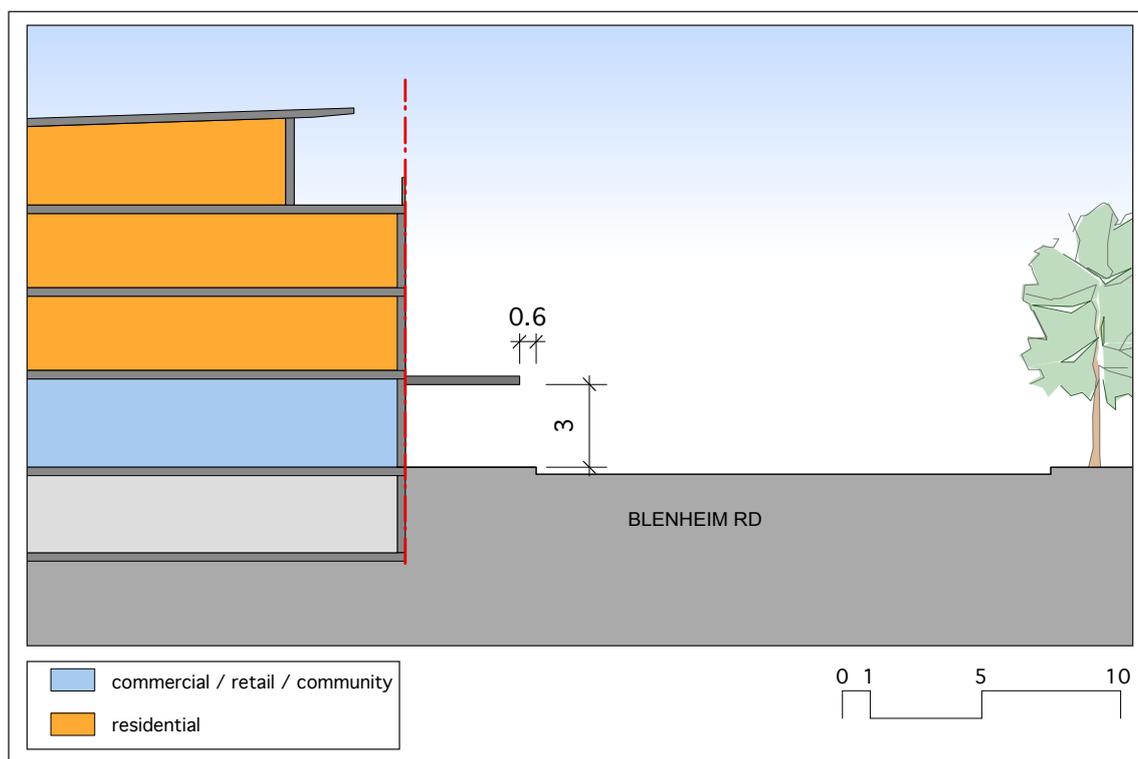


Figure 5.4.08 Blenheim Road Small Centre Awning Control Cross Section

3.2.11 Services Access and Parking

Objectives

1. To provide adequate and accessible parking and on-site service areas.
2. To provide size and number of service areas in proportion to the scale and intensity of the proposed use.
3. To ensure that service facilities do not detract from the amenity of nearby public spaces and residential areas.

Controls

Service Access

- a. Buildings are to provide a shared rear lane for vehicle access points. Refer to Figure 5.4.09 Laneway Section.
- b. All service and vehicle access must be from rear lane.
- c. On-site car and service vehicle access must be provided and designed in accordance with the following:
 - i. a driveway and footpath must be established that is of adequate strength, width and design for the intended car, pedestrian and service vehicle characteristics. (Refer to Figure 5.4.09 for minimal width.)
 - ii. the driveway is to be designed such that service vehicle movement is in a forward direction, both when entering and exiting the site;
 - iii. on-site manoeuvrability must be unimpeded for all site users.
- d. Generally service vehicle access is to be combined with parking access.

- e. Waste and recycling space are to be provided in accordance with *DCP Part 7.2 Waste Minimisation and Management Facilities for Waste*. The Facilities for Waste must be located within the building envelope. access an collection should be via the rear laneway.

Parking

- f. Parking to be provided in accordance with Part 9.3 Parking Controls of this DCP.
- g. Parking shall be located under ground.

Services

- h. All services infrastructure including fire hydrant, gas meters and the like shall be located within the building envelope and are not to be visible from the public domain.

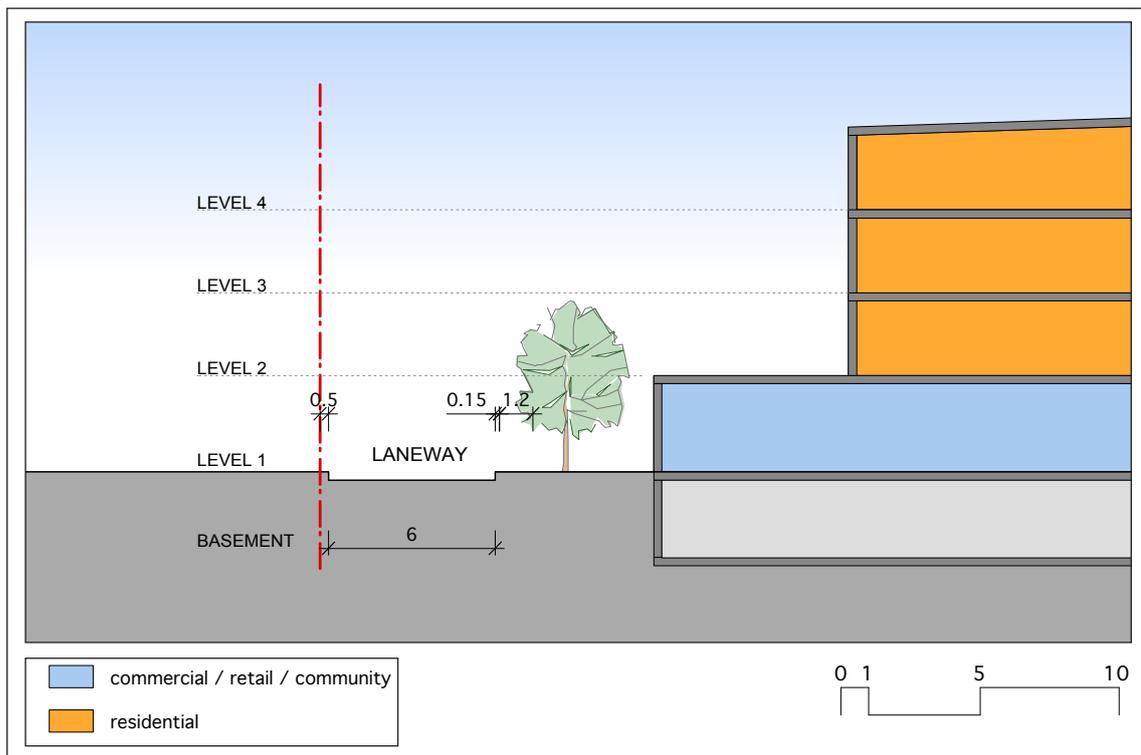


Figure 5.4.09 Blenheim Road Small Centre Laneway Section.

3.3 Public Domain

The public domain is made up of streets, pedestrian connections, small civic parks and squares.

Streets form the framework of the public domain connecting people to shopping, services, recreation and residential. Public spaces are the outdoor rooms of the small centres, providing focal points for community life.

Refer to the *City of Ryde Public Domain Technical Manual* in relation to the following sections.

3.3.1 Access and the Public Domain

Public domain spaces within the Ryde Small Centres need to be designed and sited so that the areas are safe at all times for all pedestrians and cyclists and that they are accessible to all.

Objectives

1. To reduce vehicular conflicts through good design of building entrances and reducing footpath cross-overs.
2. To clearly differentiate uses and separate conflicting uses.
3. To use appropriate lighting levels.
4. To encourage 'safe' pedestrian access and mobility.

Controls

- a. To be in accordance with the *City of Ryde Public Domain Technical Manual* and are to be implemented by the developer.
- b. Adequate parking and safe convenient access to buildings for people with disabilities must be provided.
- c. To provide active frontage and quality building design, where applicable vehicular access ramps must enter and exit from the rear lane.
- d. Vehicular traffic must be separated from pedestrians and vehicular access points clearly identified with paving, signage and the like.
- e. Loading docks must be located to the rear of the retail / commercial premises so that vehicles do not stand on any public road, footway and vehicles entering and leaving the site move in a forward direction.

3.3.2 Landscape Character

Objectives

1. To create a memorable landscape image for the small centre, which builds on the positive characteristics of topography, landscape character and views.
2. To protect, through planning controls, those spaces in private lands that contribute to the character and quality of the small centre.
3. To create tree planting, to reinforce spatial quality & build on the palette of existing species in the street, provide shade for pedestrians, and improve the image of the small centre.

Controls

- a. Select street trees based on the scale of buildings, width of the street, aspect, and on environmental parameters such as soil type shall be provided in accordance with the *City of Ryde Public Domain Technical Manual*

3.3.3 Urban Elements and Finishes

Objectives

1. To coordinate paving and urban elements within the small centres.
2. To improve the image, quality and amenity of streets and public spaces through quality paving, lighting and street furniture.
3. To ensure that the selection of urban elements and level of provision is based on the hierarchy of streets and intensity of use.

Controls

- a. Provide paving, seats, benches and bins as selected by Council in accordance with the *City of Ryde Public Domain Technical Manual*.
- b. Provide seating and shelter (awnings or bus shelter) at all bus stops, and provide seating at community facilities and drop off points. Seating shall be in accordance with *City of Ryde Public Domain Technical Manual*.
- c. Provide new street lighting to council satisfaction.

3.3.4 Signage

The aim is to provide consistent, attractive signage that enhances the built form within the Centre.

Objectives

1. To reduce visual clutter through the control and coordination of signage.
2. To reinforce the streetscape and enhance the character of the area.

Controls

- a. Signage shall comply with DCP Part 9.1 Signage of this DCP.



City of Ryde
Civic Centre
1 Devlin Street
Ryde NSW 2112

www.ryde.nsw.gov.au