

City of Ryde Development Control Plan 2014

Part: 6.3 Second Avenue (9-19) Eastwood

Translation

ENGLISH

If you do not understand this document please come to Ryde Civic Centre, 1 Devlin Street, Ryde Monday to Friday 8.30am to 4.30pm or telephone the Telephone and Interpreting Service on 131 450 and ask an interpreter to contact the City of Ryde for you on 9952 8222.

ARABIC

إننا نعتذر عليك فهم محتويات هذه الوثيقة، نرجو للحضور إلى مركز بلدية رايد Ryde Civic Centre على العنوان: Ryde Civic Centre، 1 Devlin Street، Ryde من الاثنين إلى الجمعة بين الساعة 8.30 صباحاً والساعة 4.30 بعد الظهر، أو الاتصال بمكتب خدمات للترجمة على الرقم 131 450 لكي تطلب من أحد المترجمين الاتصال بمجلس مدينة رايد، على الرقم 9952 8222، نيابة عنك.

ARMENIAN

Եթե այս գրույթինը չէք հասկնար, խնդրեմ եկե՛ք՝ Բայր Սիվիք Սենթըր, 1 Տելվին փողոց, Բայր, (Ryde Civic Centre, 1 Devlin Street, Ryde) Երկուշաբթիէն Ուրբաթ կ.ա. ժամը 8.30 – կ.ե. ժամը 4.30, կամ հեռաձայնեցե՛ք Հեռաձայնի եւ Թարգմանություն Սպասարկության՝ 131 450, եւ խնդրեցե՛ք որ թարգմանիչ մը Բայր Քաղաքապետարանին հետ կապ հաստատուի ձեզի համար, հեռաձայնելով՝ 9952 8222 թիվին:

CHINESE

如果您看不懂本文，請在周一至周五上午 8 時 30 分至下午 4 時 30 分前往 Ryde 市政中心詢問 (Ryde Civic Centre, 地址: 1 Devlin Street, Ryde)。你也可以打電話至電話傳譯服務中心，電話號碼是: 131 450。接通後你可以要求一位傳譯員為你打如下電話和 Ryde 市政廳聯繫，電話是: 9952 8222。

FARSI

اگر این مدرک را نمی فهمید لطفاً از 8.30 صبح تا 4.30 بعد از ظهر دوشنبه تا جمعه به مرکز شهرداری رايد، Ryde Civic Centre, 1 Devlin Street، Ryde مراجعه کنید یا به سرویس مترجم تلفنی، شماره 131 450 تلفن بزنید و از یک مترجم بخواید که از طرف شما با شهرداری رايد، شماره 9952 8222 تلفن بزند.

ITALIAN

Se non capite il presente documento, siete pregati di rivolgervi al Ryde Civic Centre al n. 1 di Devlin Street, Ryde, dalle 8.30 alle 16.30, dal lunedì al venerdì; oppure potete chiamare il Telephone Translating and Interpreting Service al 131 450 e chiedere all'interprete di contattare a vostro nome il Municipio di Ryde presso il 9952 8222.

KOREAN

이 문서가 무슨 의미인지 모르실 경우에는 1 Devlin Street, Ryde 에 있는 Ryde Civic Centre 로 오시거나 (월 – 금, 오전 8:30 – 오후 4:30), 전화 131 450 번으로 전화 통역 서비스에 연락하셔서 통역사에게 여러분 대신 Ryde 시청에 전화 9952 8222 번으로 연락을 부탁드립니다.

Amend. No.	Date approved	Effective date	Subject of amendment

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1.0 INTRODUCTION

1.1 Land to which this Part applies

This part applies to land contained in:

- Lots 77 to 79, DP 4684;
- Lot B and part of Lot C, DP 341289;
- Lot B and part of Lot A, DP 342511;
- Lot B, DP 365296;
- Lot A and B, DP 386523; and
- Lot 1, DP 455457.

The land to which this Part applies is shown on Figure 6.3.1.

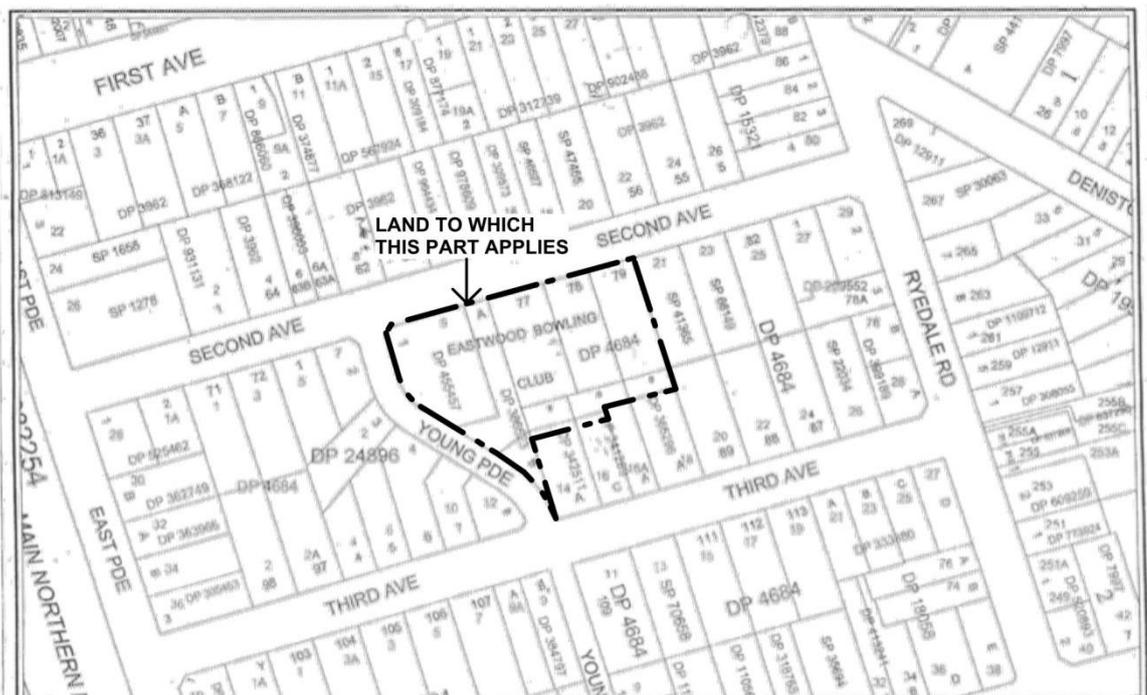


Figure 6.3.1 Land to which this Part Applies

1.2 Objectives of this Part

The objectives of this Part are:

1. To ensure the economic use and development of the land (to which this Part applies) for residential purposes.
2. To create high quality well used publicly accessible open space that is overlooked by buildings and pedestrian ways.
3. To promote development that is compatible with surrounding residential development.
4. To maintain appropriate residential amenity to existing adjoining and surrounding residential developments.
5. To provide safe well used pedestrian access to the site and within the site.
6. To provide safe and convenient vehicular access and servicing of the site.
7. To implement Ryde Council's resolution (b) of 11 October 2011 (ITEM 4) as follows:

That Council enter into a Deed of Agreement with the Ryde-Eastwood Leagues Club Limited to require a master plan to be prepared for the site(s) in the event of the land being developed for housing. Such a plan is to allocate 10% of the total site area to be publicly accessible open space. The Deed of Agreement is to be registered against the land title of all the following parcels of land:

- LOT 1 in DP 455457;
- LOT A in DP 386523;
- LOTS 77, 78 and 79 in DP 4684;
- LOT B in DP 342511;
- LOT B in DP 341289; and
- LOT B in DP 365296.

1.3 Purpose of this Part

The purpose of this DCP Part is to provide guidance on:

- giving effect to the aims and objectives of *Ryde Local Environmental Plan 2014*;
- facilitating development that is permissible under that *Plan*; and

This Part has been prepared to provide guidance for the design and assessment of any application to be submitted for the redevelopment of the land to which it applies.

The controls contained in this Part are not focussed on compliance with numerical requirements, but are predicated on achieving the objectives specified for various design elements.

These controls are based on development outcomes which relate to:

- the character of the streets in this locality;
- achieving desired development outcomes; and
- achieving a desirable streetscape presentation,

and are to be applied flexibly to achieve the desired urban design outcome for the redevelopment of the land.

2.0 DEVELOPMENT CONTROLS

This section provides controls designed to guide the redevelopment of the land to which this Part applies and to ensure that:

- Development is appropriately designed to be compatible with and have a satisfactory interface with surrounding residential development;
- Development does not have any adverse effect on the amenity enjoyed by residents of surrounding properties;
- Development provides satisfactory and desirable streetscapes in both Second Avenue and Young Parade; and
- Privately owned public space is implemented adjacent to the corner of Second Avenue and Young Parade.
- The development controls promote an appropriate degree of flexibility in applying certain development standards to the development,
- The development controls achieve better outcomes for and from development by allowing flexibility in particular circumstances.

2.1 Consolidation

Objectives

1. To ensure the development is carried out as a single fully planned and integrated complex.
2. To meet the aims of the *Metropolitan Plan for Sydney 2036* to locate 80% of all new housing within walking catchments of existing centres with good public transport.

Controls

- a. The allotments comprising the land to which this Part applies should be consolidated to form a single allotment.
- b. Once consolidated, the land will not be re-subdivided unless the subdivision:
 - i. is by way of strata title under the *Strata Schemes (Freehold Development) Act 1973*; and
 - ii. identifies the privately owned public open space within the common property of the proposed strata scheme.

2.2 Density

Objectives

1. To create a balanced relationship between the site area, dwelling size and residential population living on the site.
2. To ensure the economic use and development of the land for residential purposes in terms of area and opportunities available for its redevelopment and to facilitate the establishment of public open space on the land.

Controls

- a. Development on the land must not exceed a floor space ratio of 0.5:1.
- b. Where multi dwelling housing is proposed:
 - i. A master plan is to be prepared for the site that illustrates how this DCP is implemented including the location and quantum of privately owned public space.
 - ii. Provide 645m² privately owned public space on the corner of Young Parade and Second Avenue (Refer 2.5 Privately Owned Public Space).
 - iii. A maximum of 31 dwellings is permitted.
 - iv. The maximum site coverage for dwellings is 40% calculated at the time of the development application.

Note: For the purposes of calculating site coverage the land that is to be provided as privately owned public space may be included as unbuilt upon land.

2.3 Dwelling Mix

Objectives

1. To create a balanced relationship between the site area, dwelling size and residential population living on the site.
2. To ensure the economic use and development of the land for residential purposes
3. To ensure multi dwelling housing developments contain a mix of dwelling sizes to meet the needs of different household groups.

Controls

- a. Where multi dwelling housing is proposed not more than 80% of dwellings should have the same number of bedrooms.

Note: Information regarding the % breakdown of dwelling size by number of bedrooms is to be included with the development application.

2.4 Streetscape

Objectives

1. To ensure that the development is designed and constructed to complement and enhance the existing streetscape of the locality.
2. To provide interest and variation in the appearance of the development and enhance and complement the existing streetscapes.
3. To ensure a satisfactory presentation of buildings to the street, with dwellings facing the street, wherever possible, to enable casual surveillance from living rooms and verandas to the street, internal driveways, public spaces and public parks.

Controls

- a. The development should be compatible in scale and form with the established streetscape patterns along both Second Avenue and Young Parade.
- b. Dwellings adjacent to the Second Avenue and Young Parade boundary should be oriented toward the street and to the privately owned public open space.
- c. Direct access from the street should be provided to the dwellings fronting both Second Avenue and Young Parade.
- d. The existing sandstone wall along the Second Avenue boundary should be retained to a maximum of 1.5 metres in height above the adjoining footpath level to provide a front fence for the dwellings fronting Second Avenue.
- e. The sandstone fence should be punctuated to provide direct pedestrian access to each dwelling fronting Second Avenue.

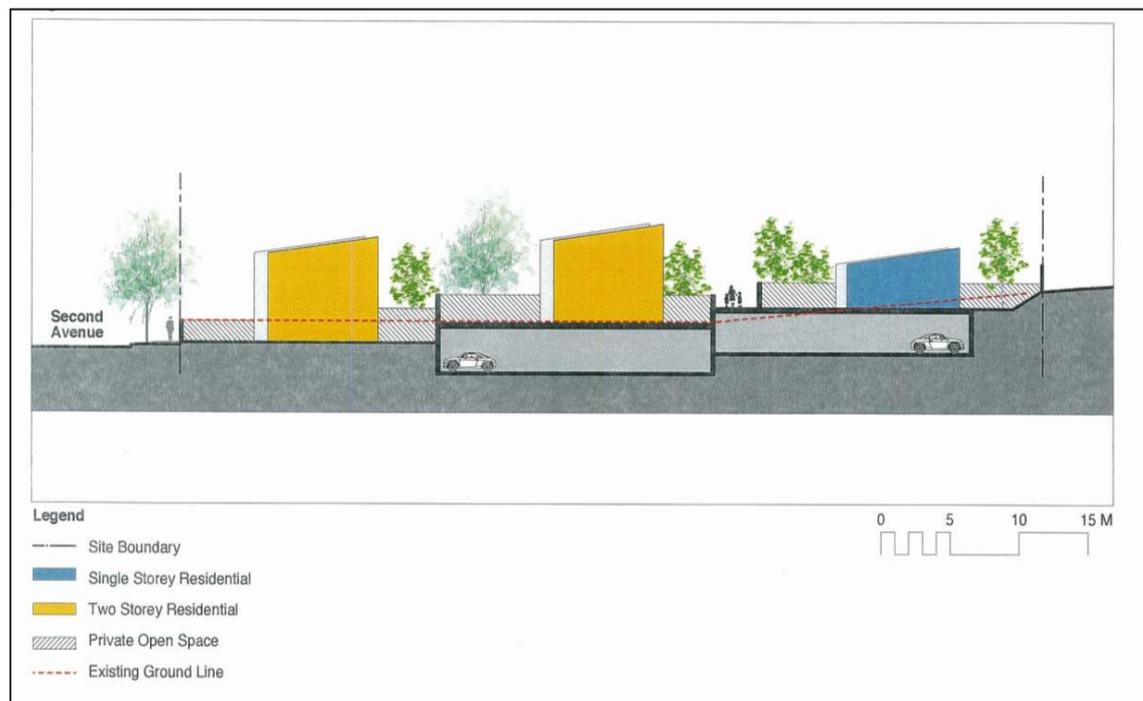


Figure 6.3.2 Ground Plane Section

2.5 Building Form

Objectives

1. To ensure the scale of development is related to the character and streetscape of the surrounding area.
2. To ensure compliance with height controls under *Ryde Local Environmental Plan 2014*.
3. To ensure privacy of adjoining development.
4. To ensure maximum opportunity for natural light and ventilation through the dwellings.

Controls

- a. The design of the development should be modulated to provide a built form transition to adjoining residential properties and articulated to provide visual interest.
- b. All buildings are to have a maximum depth dimension of 12 metres.
- c. Where multi dwelling housing development is proposed, dwellings fronting Second Avenue and Young Parade (including the privately owned public space) should not exceed two (2) storeys and a building height of 8 metres, in accordance with requirements for multi dwelling housing under *Ryde Local Environmental Plan 2014* Clause 4.3(2A)(a).
- d. Dwellings adjacent to the land's common boundary with 14-18 Third Avenue should not exceed one (1) storey in height and a building height of 5 metres.
- e. Where multi dwelling housing is proposed, the remainder of the dwellings on the land should not exceed two (2) storeys in height and a building height of 5.0 metres measured from the ground level, as provided for in *Ryde Local Environmental Plan 2014*. Flexibility in the style of roof forms may be considered for dwellings in order to achieve maximum height requirements.
- f. A ground plane section demonstrating indicative building heights relative to existing ground levels is contained in Figure 6.3.2.
- g. A minimum floor to ceiling height of 2.7m should be provided within dwellings.
- h. Figure 6.3.3 indicates the built form plan for development on the land.

Note: Under Ryde LEP 2014, "building height" is defined as follows:

building height (or **height of building**) means the vertical distance between ground level (existing) and the highest point of the building.

2.6 Setbacks

Objectives

1. To allow sufficient building separation within the development and with adjoining properties to ensure privacy.
2. To allow for substantial landscaping and pervious areas.
3. To ensure the development is in keeping with the existing streetscape.
4. To ensure that the density of development to be permitted can be achieved.

2.6.1 Front Setbacks

Controls

- a. The setbacks of dwellings from streets and privately owned public space must be in accordance with Figure 6.3.3.



Figure 6.3.3 Building Form Plan

2.6.2 Side and Rear Setbacks

Controls

- a. The walls of dwellings adjacent to the land's eastern common boundary with 21 Second Avenue should be setback 4 metres minimum from that boundary. Habitable rooms, balconies and upper levels must be setback a minimum of 4.5 metres.
- b. Walls at the first floor level of buildings adjacent to the eastern boundary which contain windows to habitable rooms, (such as living rooms and kitchens), and balconies should be setback 4.5m minimum from the boundary.
- c. The walls of dwellings adjacent to the land's southern common boundary with 14-18 Third Avenue should be setback a minimum of 6m.
- d. Development should be designed to maintain the appropriate spatial separation, privacy and amenity to adjoining residential properties.
- e. The setbacks required of dwellings is indicated on Figure 6.3.3.

2.6.3 Internal Setbacks

Controls

- a. The development should be designed so that the windows of habitable rooms of one dwelling do not overlook habitable room windows of another dwelling.
- b. A minimum of 9m separation should be provided between the windows of habitable rooms of facing dwellings within the site.

2.7 Privately Owned Public Open Space

Objectives

1. To provide public open space on the land as part of its redevelopment.
2. To enable the development design to be integrated with the public open space.
3. To improve the public domain areas surrounding the site.

Controls

- a. Privately owned public open space with a minimum area of 645m² is to be provided at the intersection of Second Avenue and Young Parade in accordance with Figure 6.3.4.
- b. Privately owned public open space is to have a minimum dimension of 18m in any direction.
- c. The privately owned public open space must be accessible to the public at all times.
- d. The privately owned public open space is to be developed in accordance with a landscape plan that is to be submitted and approved by Council prior to the commencement of any works on the site (including demolition). The landscape design must reflect Safer by Design Principles.
- e. The privately owned public open space must be complete and ready for public access prior to any occupation or any issue of a subdivision certificate (whichever occurs first).
- f. The privately owned public open space is to be provided as a deep soil zone.

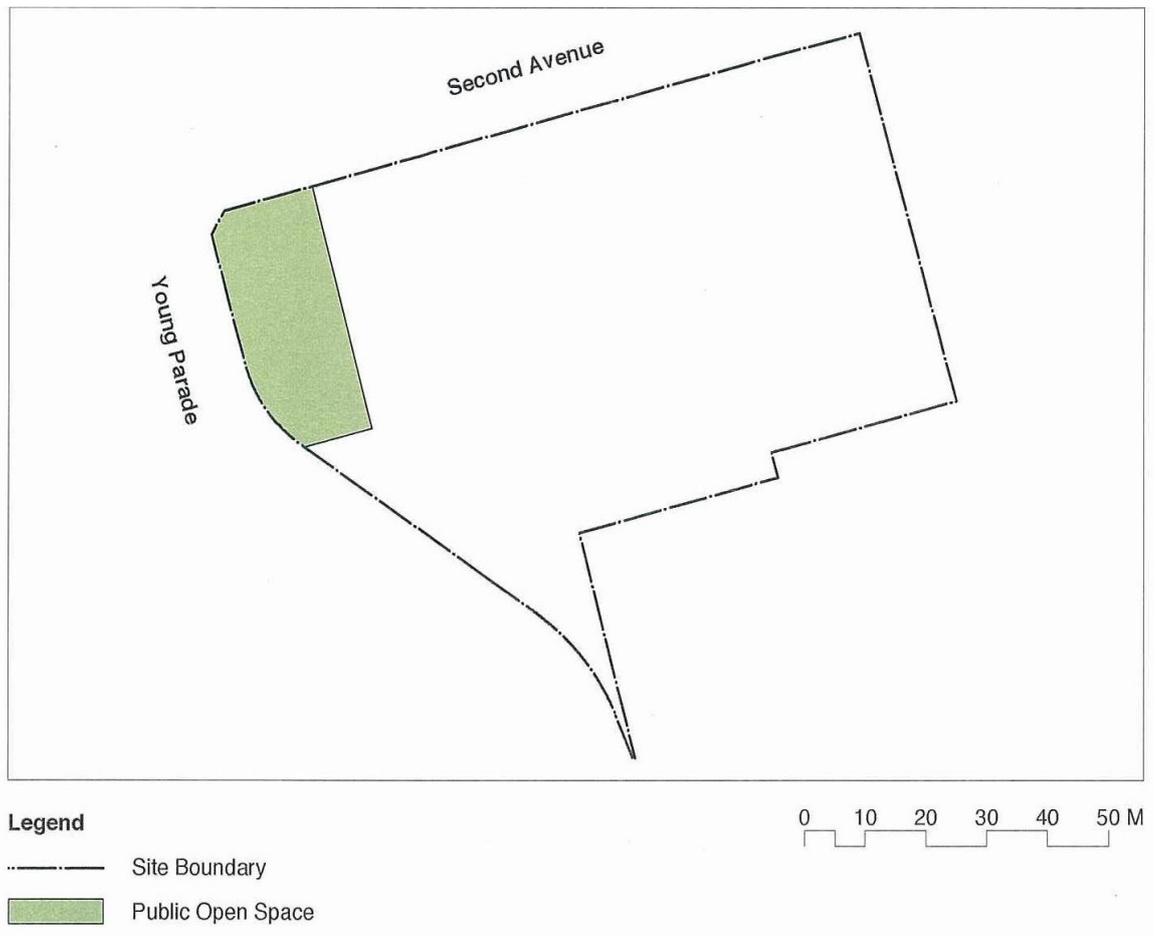


Figure 6.3.4 Location of Privately owned Publicly Accessible Open Space

2.8 Private Outdoor Space

Objectives

1. To provide private outdoor spaces that are functional and relate to the activity areas of the dwelling.
2. To ensure all private outdoor spaces receive satisfactory access to sunlight.

Controls

- a. Primary private outdoor areas should provide the following minimum areas:
 - i. 30m² for 2 bedroom dwelling; and
 - ii. 35m² for 3 or more bedroom dwelling.
- b. Primary private outdoor space should have a minimum dimension of 4m and should generally coincide with the level of the living room in the dwelling.
- c. Primary private outdoor space should be orientated or be sufficiently large enough so that sunlight to at least 50% of the area is achieved for 2 hours between 9am and 3pm on June 21.
- d. Primary private outdoor space should be securely enclosed (fences and gates), clearly visible from the living areas of the dwelling to enable young children to play in a safe environment.

- e. Fencing adjacent to internal pedestrian ways is to be designed to be 1m high if solid and 1.5m high maximum if transparent. Height is to be measured from the pedestrian walkway.
- f. A minimum 1.2m wide landscaped privacy strip should be provided adjacent to the land's common boundary with adjoining properties.

2.9 Landscaping

Objectives

1. To ensure the landscaping of the site complements or enhances the desired future neighbourhood character by:
 - i. providing sufficient open space for planting trees and shrubs;
 - ii. retaining, protecting, or replacing, existing vegetation where possible; and
 - iii. protecting neighbouring trees from damage to their root systems.
2. Landscaping designs should seek to:
 - i. ensure that trees and shrubs will have a softening effect on buildings and the overall environment and trees should be planted in sufficient numbers and scale to achieve this aim;
 - ii. give privacy to occupants and neighbouring properties;
 - iii. be easily maintained;
 - iv. use native plant material, particularly material indigenous to the area; and
 - v. provide for sufficient depth of soil to support the long term viability of the landscaping.

Controls

- a. A Landscape Concept Plan is to be submitted with the development application.
- b. A final landscape plan is to be submitted and approved prior to the issue of the Construction Certificate.
- c. Landscaping should include a watering system that meets current Sydney Water usage requirements, to assist in the establishment and maintenance of the landscaping.
- d. Landscaping, including for publicly accessible open space area, is to be completed prior to the dwellings being occupied.

2.10 Overshadowing and Access to Sunlight

Objectives

1. To ensure buildings are sited and designed to maximise access to daylight to habitable rooms.
2. To ensure daylight to habitable rooms in neighbouring dwellings is not significantly reduced.
3. To maximise winter sunlight to courtyards within the site and the open space areas and roof areas of neighbouring dwellings.

Controls

- a. Habitable room windows should face a courtyard or other outdoor space which is open to the sky. Habitable room windows should be no closer than 1.5 m (horizontal distance) from the wall of a building.
- b. Sunlight to at least 50% of each courtyard within the development and the principal area of ground level private open space of adjacent properties should not be reduced to less than 2 hours between 9am and 3pm on June 21. Where existing overshadowing by buildings and fences is greater than this on adjoining properties, sunlight should not be further reduced by more than 20%.
- c. The proposed development should not overshadow the roof areas of adjoining development.
- d. Shadowing diagrams are to be submitted to Council with the development application indicating solar access within the development and to adjoining properties. Fences and existing vegetation maybe required to be provided on the shadow diagram where Council considers it necessary.
- e. Dwellings should have a maximum depth of 12m to facilitate natural ventilation and daylight access.

2.11 Visual and Acoustic Privacy**Objectives**

1. To ensure that direct overlooking of main internal living areas and private open spaces of other dwellings both within the development and adjoining is minimised by the design of windows, screening devices and/or landscaping.

Controls

- a. Direct overlooking of private outdoor areas and/or living rooms of adjoining residential properties should be prevented by fixed screening, landscaping, spatial separation or a combination of these elements. Details of all such treatments, including locations and dimensions of screening, are to be included on the plans and elevations submitted with the development application.

2.12 Car Parking**Objectives**

1. To provide sufficient car parking on-site to satisfy the needs of the residents and visitors to the site.

Controls

- a. Except as provided in this part, on-site parking is to be provided in accordance with the requirements of Part 9.3 Parking Controls in this DCP.
- b. Parking is to be provided in a basement level under the complex if the density is greater than 300 m² site area per dwelling.
- c. All vehicular access is to be provided from Second Avenue, and designed so as to minimise conflict with pedestrians.

2.13 Accessibility

Objectives

1. To ensure that the development meets the needs of all households including older persons and people with disabilities.

Controls

- a. The development should be designed and constructed so that dwellings are safe and accessible for pedestrians, including children, people with disabilities and older people.
- b. Pedestrian access should be provided throughout the development using a continuous accessible path of travel to all dwellings where the level of the land permits. Such access where practicable should be separate from vehicle access.
- c. Dwellings which have been designed in accordance with AS 4299 (Australian Standard: AS4299-1995 Adaptable Housing) should be able to access the street, car parking and common areas using a continuous path of travel.
- d. An access audit of development should be conducted by a qualified and accredited access auditor.

2.14 Stormwater Management

Objectives

1. To provide an acceptable means of controlling stormwater runoff from properties that will not cause nuisance or damage to other private or council properties.

Controls

- a. A stormwater management system is to be provided in accordance with the requirements of Part 8.2 Stormwater Management provisions under this DCP.

2.15 Waste Minimisation and Management

Objectives

1. To provide a storage area for rubbish and recycle bins which has minimal visual impact on adjoining dwellings, the streetscape and within the development.

Controls

- a. The storage, management and collection of waste is to be in accordance with the requirements of Part 7.2 Waste Minimisation and Management under this DCP.
- b. A central garbage bin enclosure should be provided.
- c. The garbage bin enclosure should be located behind the building line and suitably screened by landscaping. A plan indicating the design and location of the garbage bin enclosure should be submitted with the development application.



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