

DRAWING LIST

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REFERENCES

DRAWINGS TO BE READ IN CONJUNCTION WITH BUT NOT LIMITED TO ALL STRUCTURAL ENGINEERS, STORMWATER ENGINEERS, LANDSCAPE ARCHITECTS, AND OTHER ASSOCIATED PLANS & REPORTS

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P	20.09.21	GENERAL AMENDMENTS
O	17.07.20	GENERAL AMENDMENTS
N	13.07.20	GENERAL AMENDMENTS
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C	28.08.18	GENERAL AMENDMENTS

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Drawing Title
COVER SHEET

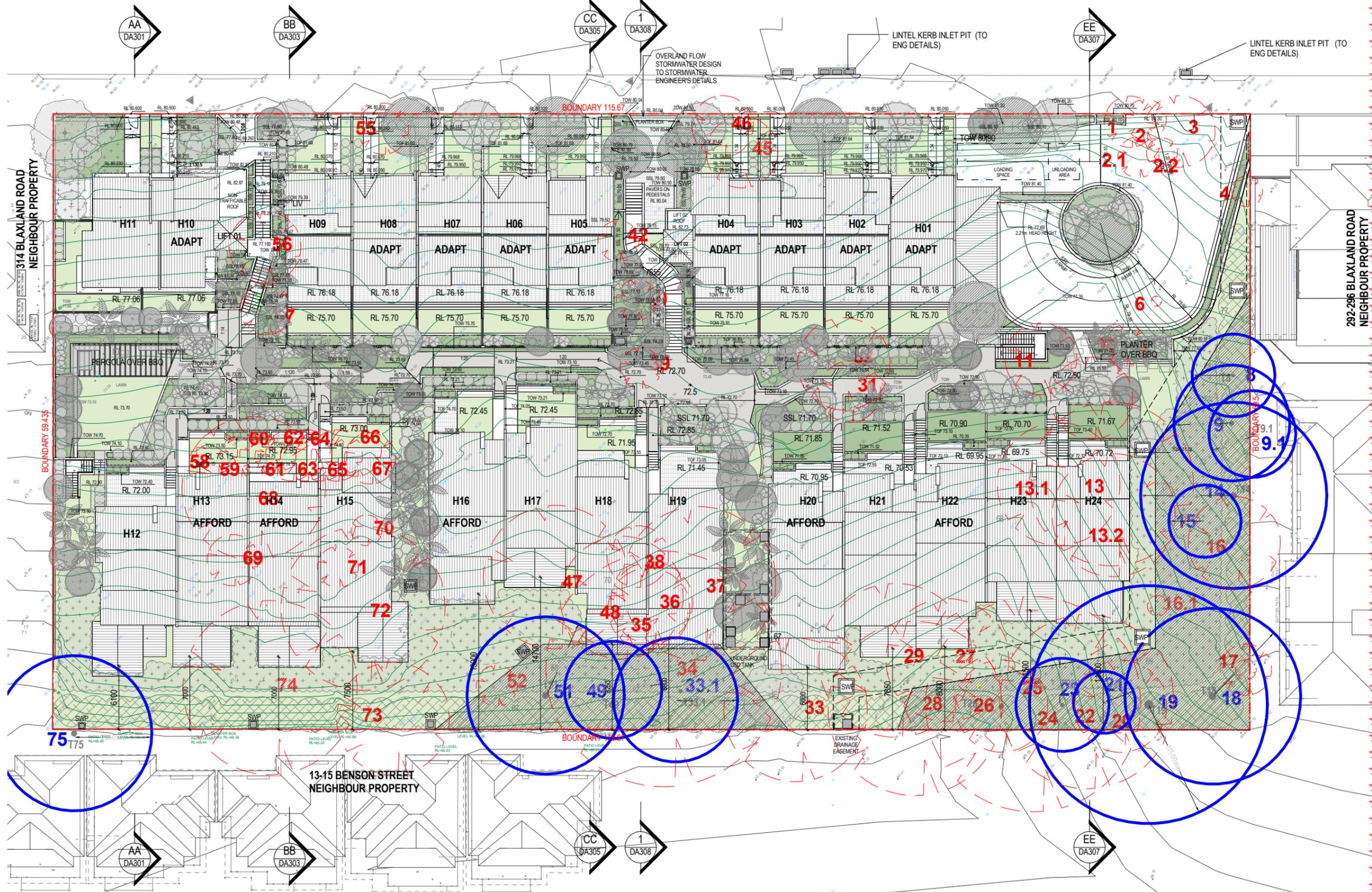
Job no.	Drawing no.	Rev.
J15284	DA 000	P

Drawn by	Checked by	Approved by	Date
ZZ	JY	JY	AUG 2019

PROPOSED MIXED USE DEVELOPMENT

298-312, BLAXLAND ROAD, RYDE

BLAXLAND ROAD



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TREE TO REMAIN LEGEND



LANDSCAPE LEGEND



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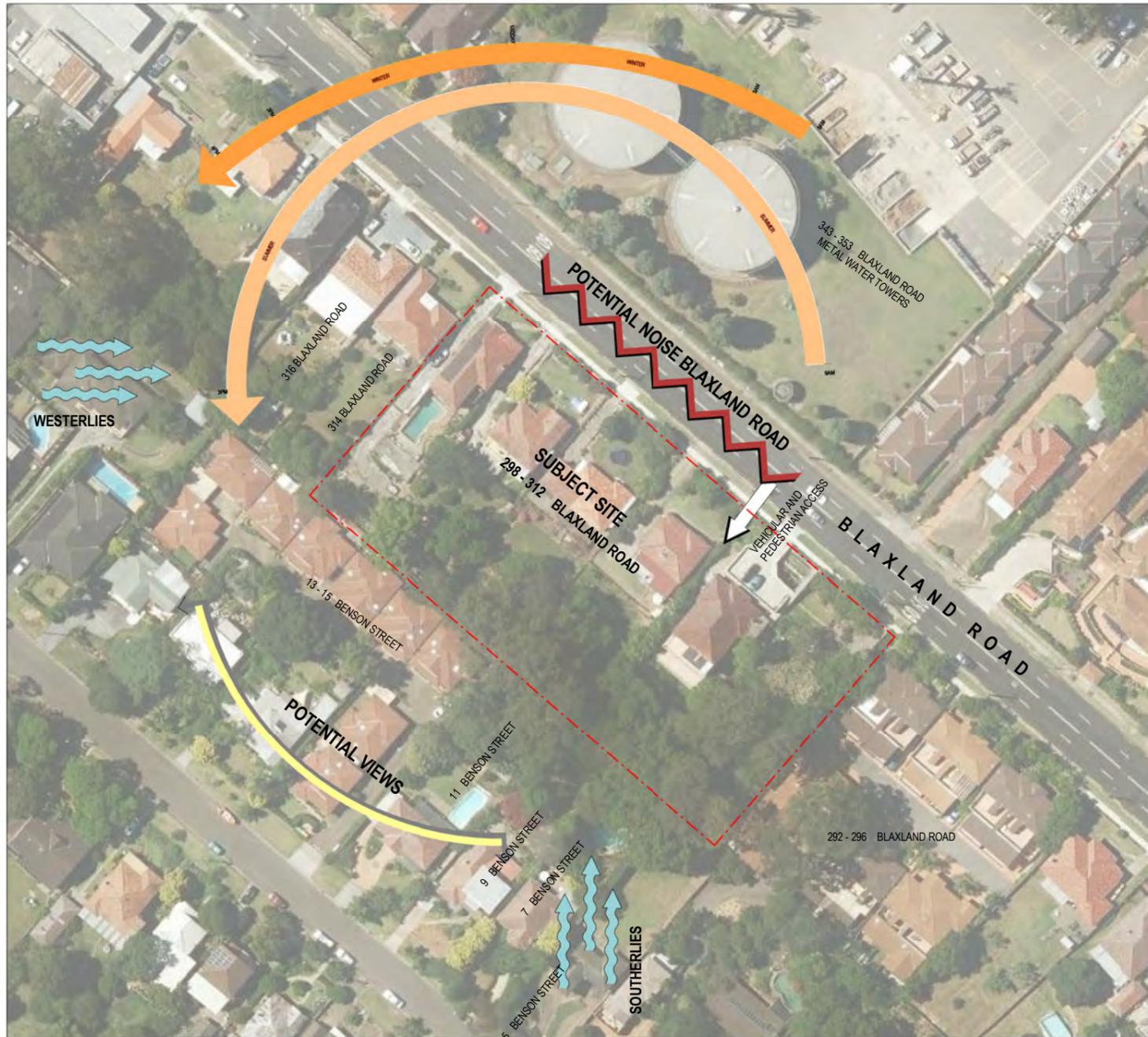
Project
MULTI DWELLING DEVELOPMENT

298-312 BLAXLAND ROAD, RYDE

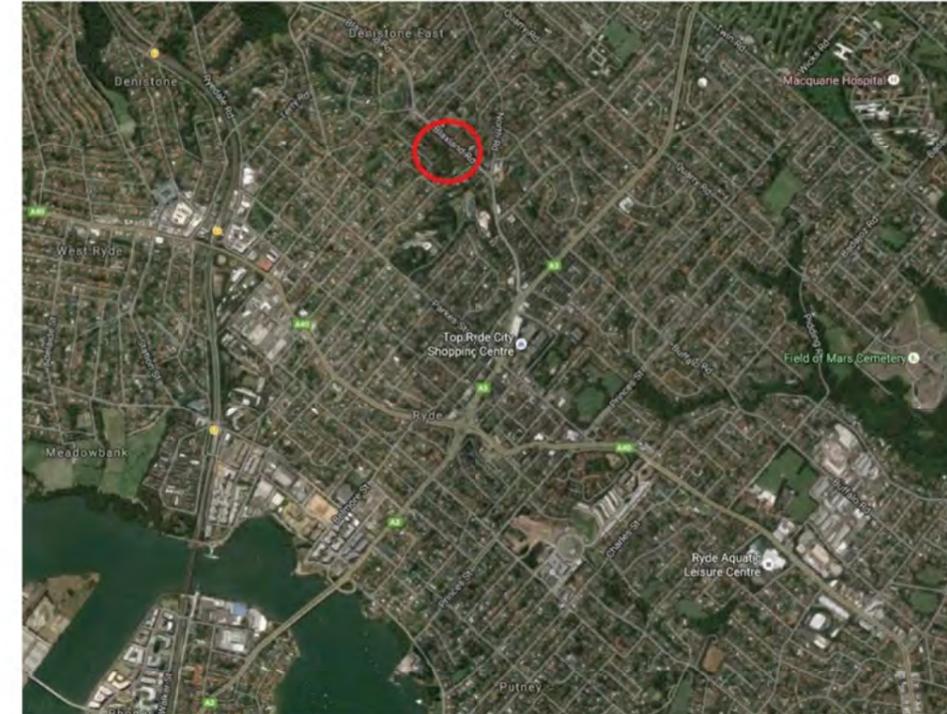
Drawing Title
SITE PLAN

DA SUBMISSION

Job no.	Drawing no.	Rev.
J15284	DA 001	M
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PY	JY	JY
Date		
		AUG 2019



SITE ANALYSIS



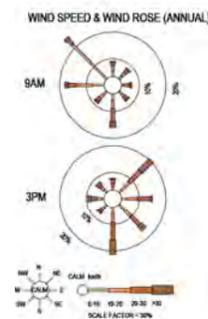
ARIAL MAP



STREET VIEW



ARIAL VIEW



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Project
MULTI DWELLING DEVELOPMENT

298-312 BLAXLAND ROAD, RYDE

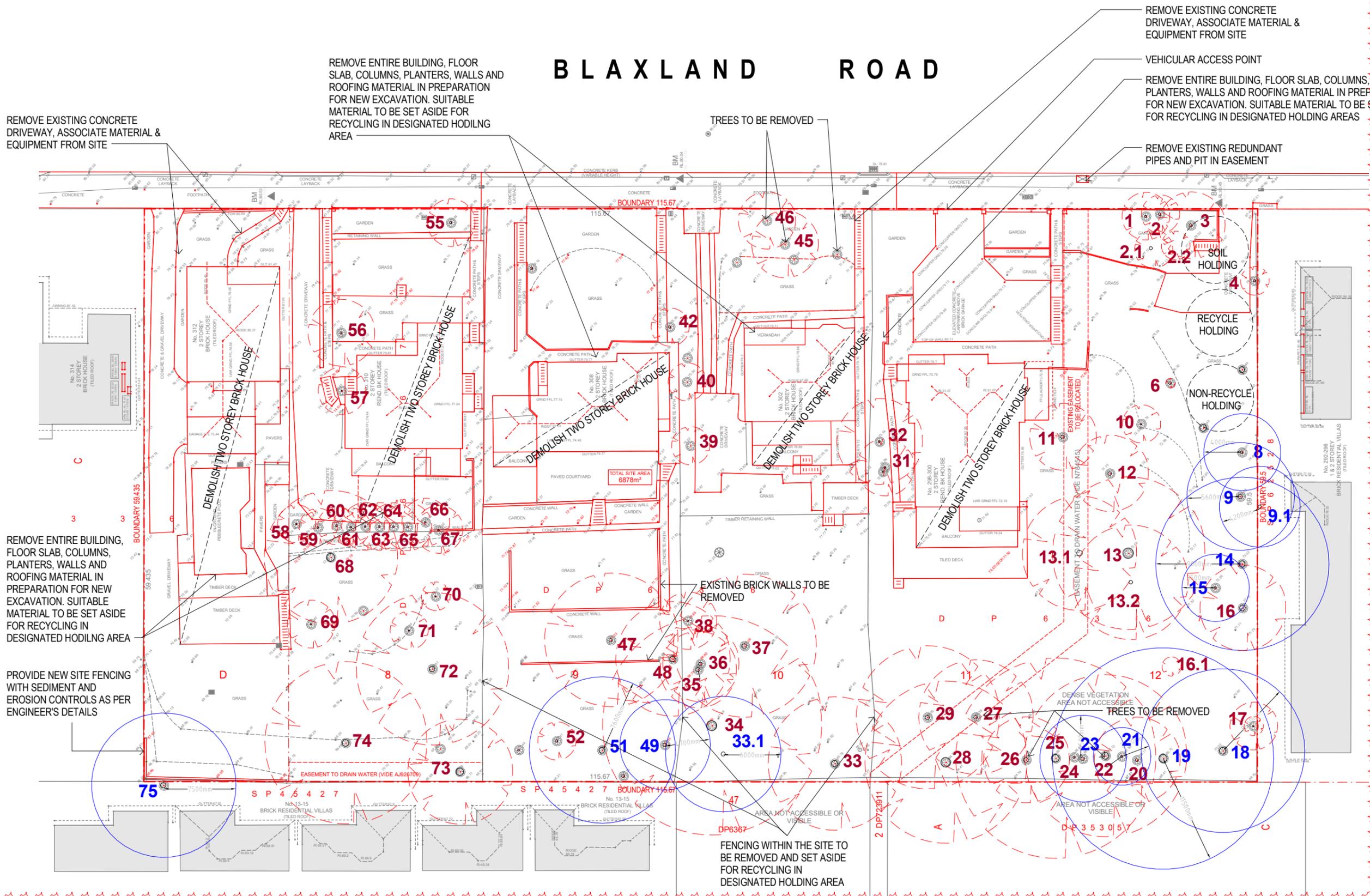
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SITE ANALYSIS PLAN

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Job no.	Drawing no.	Rev.
J15284	DA 002	C

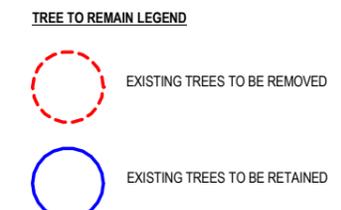
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BLAXLAND ROAD

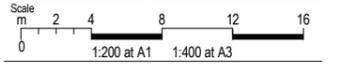


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Project
MULTI DWELLING DEVELOPMENT

298-312 BLAXLAND ROAD, RYDE
 Drawing Title
DEMOLITION PLAN

DA SUBMISSION

Job no.	Drawing no.	Rev.	
J15284	DA 003	F	
Drawn by	Checked by	Approved by	Date
PY	JY	JY	AUG 2019

1 DEMOLITION PLAN
 1 : 200 at A1 1:400 at A3

Multi Dwelling (Low Density Residential Zone) AHSEPP 2009

DCP DESIGN CRITERIA	DESCRIPTION	PROPOSED	COMPLY
Accessibility requirements	(a) Sydney Region - Within 800m walking distance of a railway station or a Sydney Ferries wharf; - Within 400m walking distance of a light rail station; or - Within 400m walking distance of a bus stop used regularly between 6am and 9pm Monday to Friday, and 8am to 6pm on weekends.	There are two bus stops within 100m of the site, one on each side of Blaxland Road.	✓
Floor space ratio	N/A	0.345 : 1	✓
Proportion of affordable housing	Between 20% and 50% of the gross floor area of the development.	474m ² (20% GFA) H13,14,16,20 & 22 475.7m ² PROVIDED	✓
Height	As specified in the relevant council policy.	Building height under 9.5m and 5m	✓
Dwelling Size	1 Bedroom	Minimum 50m ²	✓
	2 Bedroom	Minimum 70m ²	✓
	3 or more Bedrooms	Minimum 95m ²	✓
Affordable housing management	The affordable rental housing component is to be secured for a minimum of 10 years and managed by a registered Community Housing Provider (CHP).	Private scheme	✓
Council controls	All relevant policies that apply to the land and/or development type.	Noted.	✓
Subdivision	Subdivision is permissible with consent.	Noted.	✓
Parking - Private scheme	2 Bedroom	1 Space / 1 dwelling (based on SEPP)	Required 9 Spaces for 9 Dwellings Proposed 9 Spaces for 9 Dwellings
	3 Bedroom	1.5 Space / 1 dwelling (based on SEPP)	Required 21 Spaces for 14 Dwellings Proposed 30 Spaces for 14 Dwellings
	4 or more Bedrooms	1.5 Space / 1 dwelling (based on SEPP)	Required 1.5 Spaces for 1 Dwellings Proposed 1 Spaces for 1 Dwellings
	Visitors	1 Space / 4 dwelling (based on DCP)	Required 6 Spaces for 24 Dwellings Proposed 6 Spaces for 24 Dwellings
Site Area	Minimum of 450m ²	6878m ²	✓
Landscape area	At least 30 per cent of the site area is to be landscaped.	3234.38m ² (47%)	✓
Solar access	Living rooms and open spaces of 70% of the dwellings require a minimum of 3 hours direct sunlight between 9am and 3pm in mid-winter.	Required 16.8 Dwellings (70%) Proposed 22 Dwellings (91.7%)	✓
Design Controls	Seniors Living Urban Design Guidelines or SEPP 65 - Design Quality of Residential Flat Development.	Complied with Seniors Living Urban Design Guidelines	✓
Deep Soil Zone	- Minimum of 3m in width - Minimum 15% of site area (1031.7m ²) - 2/3 of deep soil zone at rear of the site area	2308.6m ² (33.6%)	✓

WASTE CALCULATION (BLAXLAND ROAD HOUSES)

RATE OF BINS	TOTAL BINS	BIN SIZE	PROPOSED
RESIDENTIAL (11 DWELLINGS)			
WASTE	1x240L / DWELLING	11X240L	240L/WEEK 11
RECYCLE	1x240L / DWELLING	11X240L	240L/WEEK 11
GREEN	1x240L / DWELLING	11X240L	240L/WEEK 11
PROPOSED TOTAL			33

WASTE CALCULATION (GENERAL TOWNHOUSES)

RATE OF BINS	TOTAL BINS	BIN SIZE	PROPOSED
RESIDENTIAL (13 DWELLINGS)			
WASTE	1x240L / DWELLING	13X240L	240L/WEEK 13
RECYCLE	1x240L / DWELLING	13X240L	240L/WEEK 13
GREEN	1x240L / DWELLING	13X240L	240L/WEEK 13
PROPOSED TOTAL			39

GENERAL WASTE BIN
 RECYCLE BIN
 GREEN WASTE BIN

RYDE LOCAL ENVIRONMENTAL PLAN (2014)

SITE AREA	6878m ²
ZONING	R2 LOW DENSITY RESIDENTIAL
RELEVANT CONTROLS	CLASS 1
COUNCIL	RYDE COUNCIL
LOT / DP No.	LOTS 11-12/DP 6367
FSR	N/A
HEIGHT OF BUILDING	MAX 9.5m
HERITAGE	NOT AFFECTED
ACID SULPHATE SOILS	NOT AFFECTED
KEY SITE	NOT AFFECTED
FLOOD PLANNING AREA	NOT AFFECTED
LAND RESERVATION ACQUISITION	NOT AFFECTED
NATURAL RESOURCE - BIODIVERSITY	NOT AFFECTED
FORESHORE BUILDING LINE	NOT AFFECTED

CAR PARKING SCHEDULE BASED ON SEPP REQUIREMENT

DWELLINGS (24)	RATE	REQUIRED	PROPOSED
2 BED (9)	1 SPACE / 1 DWELLING	09	09
3 BED (14)	1.5 SPACE / 1 DWELLING	21	30
4 BED (1)	1.5 SPACE / 1 DWELLING	1.5	1
VISITORS	1 SPACE / 4 DWELLINGS	6	6
TOTAL		37.5	46
MOTORBIKE	NA	0	04
BICYCLE RACK	NA	0	10

CAR PARKING SCHEDULE BASED ON DCP REQUIREMENT

DWELLINGS (24)	RATE	REQUIRED	PROPOSED
2 BED (9)	1 SPACE / 1 DWELLING	09	09
3 BED (14)	2 SPACE / 1 DWELLING	28	30
4 BED (1)	2 SPACE / 1 DWELLING	2	1
VISITORS	1 SPACE / 4 DWELLINGS	6	6
TOTAL		44	46
MOTORBIKE	NA	0	04
BICYCLE RACK	NA	0	10

AREA CALCULATIONS - FLOOR SPACE RATIO (SEPP)

ZONE	R2 LOW DENSITY RESIDENTIAL
SITE AREA	6878m ²
PROPOSED DEVELOPMENT GFA (BUILDING)	2266.3m ²
PROPOSED DEVELOPMENT GFA (PARKING)	103.68m ² (8 SPACES)
PROPOSED TOTAL GFA	2369.98m ²
PROPOSED DEVELOPMENT FSR	0.345 : 1

AREA CALCULATIONS - FLOOR SPACE RATIO (DCP)

ZONE	R2 LOW DENSITY RESIDENTIAL
SITE AREA	6878m ²
PROPOSED DEVELOPMENT GFA (BUILDING)	2266.3m ²
PROPOSED DEVELOPMENT GFA (PARKING)	25.92m ² (2 SPACES)
PROPOSED TOTAL GFA	2292.22m ²
PROPOSED DEVELOPMENT FSR	0.333 : 1

SOLAR ACCESS LEGEND

TOTAL NUMBER OF DWELLINGS	TARGET COMPLIANCE REQUIRED	OVER 2HOURS SOLAR ACCESS TO 50% OF PRIVATE OPEN SPACE ON JUNE 21st BETWEEN 9am - 3pm
24 DWELLINGS	10 DWELLINGS (41.7%)	

BASED ON DCP

SOLAR ACCESS LEGEND

TOTAL NUMBER OF DWELLINGS	TARGET COMPLIANCE REQUIRED	OVER 3HOURS SOLAR ACCESS TO PRIVATE OPEN SPACE ON JUNE 21st BETWEEN 9am - 3pm
24 DWELLINGS	22 DWELLINGS (91.7%)	

BASED ON SEPP

HOUSE SCHEDULE

Dwelling Number	Dwelling Type	Internal Area	Courtyard Area
H01	2 Bed	98.58m ²	71.5m ²
H02	3 Bed	99.31m ²	71.5m ²
H03	3 Bed	99.31m ²	71.5m ²
H04	3 Bed	99.31m ²	71.5m ²
H05	3 Bed	99.31m ²	71.5m ²
H06	3 Bed	99.31m ²	71.5m ²
H07	3 Bed	99.31m ²	71.5m ²
H08	2 Bed	98.58m ²	71.5m ²
H09	3 Bed	95.04m ²	71.5m ²
H10	2 Bed	96.45m ²	66.3m ²
H11	4 Bed	98.86m ²	104.7m ²
H12	2 Bed	85.32m ²	32.5m ²
H13	3 Bed	95.49m ²	35.4m ²
H14	3 Bed	95.34m ²	35.4m ²
H15	3 Bed	109.64m ²	36.1m ²
H16	2 Bed	87.42m ²	32.5m ²
H17	2 Bed	80.24m ²	32.3m ²
H18	3 Bed	95.11m ²	36.5m ²
H19	2 Bed	80.12m ²	31m ²
H20	3 Bed	102.43m ²	37.2m ²
H21	3 Bed	95.13m ²	37.4m ²
H22	3 Bed	95.13m ²	37.4m ²
H23	2 Bed	91.13m ²	32.5m ²
H24	2 Bed	82.46m ²	39.4m ²

AFFORDABLE HOUSING

AFFORDABLE HOUSING AREA	20% OF TOTAL GFA
	=2369.98m ² / 5
	=474m ²
HOUSE 13	95.5m ²
HOUSE 14	95.3m ²
HOUSE 16	87.4m ²
HOUSE 20	102.4m ²
HOUSE 22	95.1m ²
TOTAL PROPOSED AFFORDABLE AREA =	475.7m ²

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Project

MULTI DWELLING DEVELOPMENT

298-312 BLAXLAND ROAD, RYDE

Drawing Title

COMPLIANCE TABLE

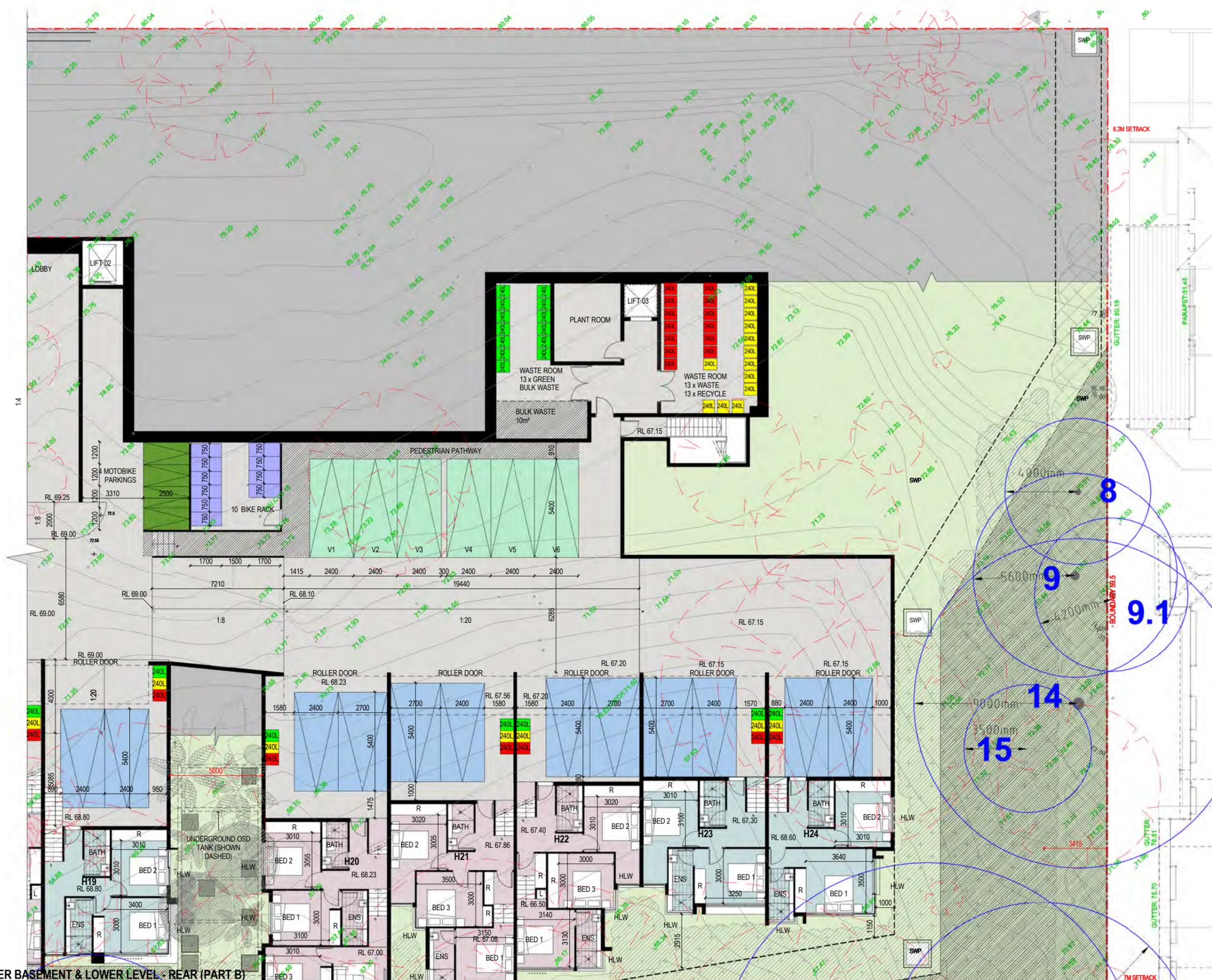
DA SUBMISSION

Job no. Drawing no. Rev.

J15284 DA 004 M

Drawn by PY Checked by JY Approved by JY Date AUG 2019

REFER TO SHEET DA099.1

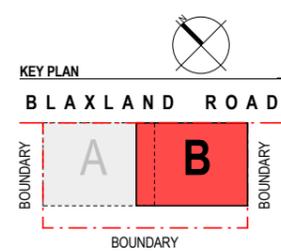


1 LOWER BASEMENT & LOWER LEVEL - REAR (PART B)

1 : 100 at A1 1:200 at A3

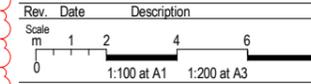
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- KEY PLAN**
BLAXLAND ROAD
- BOUNDARY**
A B BOUNDARY
- BOUNDARY**
- PARKING LEGEND**
- RESIDENTIAL PARKING 2400x5400, U.N.O.
 - VISITOR PARKING 2400x5400
- LEGEND**
- EXISTING SURVEY LEVEL
 - RL 38.00 CORRESPONDING BUILDING HEIGHT ABOVE EXISTING SURVEY LEVEL
 - GRASS & LAWN AREA
 - PLANTERS
 - AREA WITH BUILDING / PAVING OVER
 - TREE PROTECTION ZONE

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I	22.08.19	GENERAL AMENDMENTS
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G	16.08.19	GENERAL AMENDMENTS
F	09.08.19	GENERAL AMENDMENTS
E	23.07.19	GENERAL AMENDMENTS
D	22.07.19	GENERAL AMENDMENTS
C	21.06.19	GENERAL AMENDMENTS
B	28.08.18	GENERAL AMENDMENTS
A	27.07.18	GENERAL AMENDMENTS



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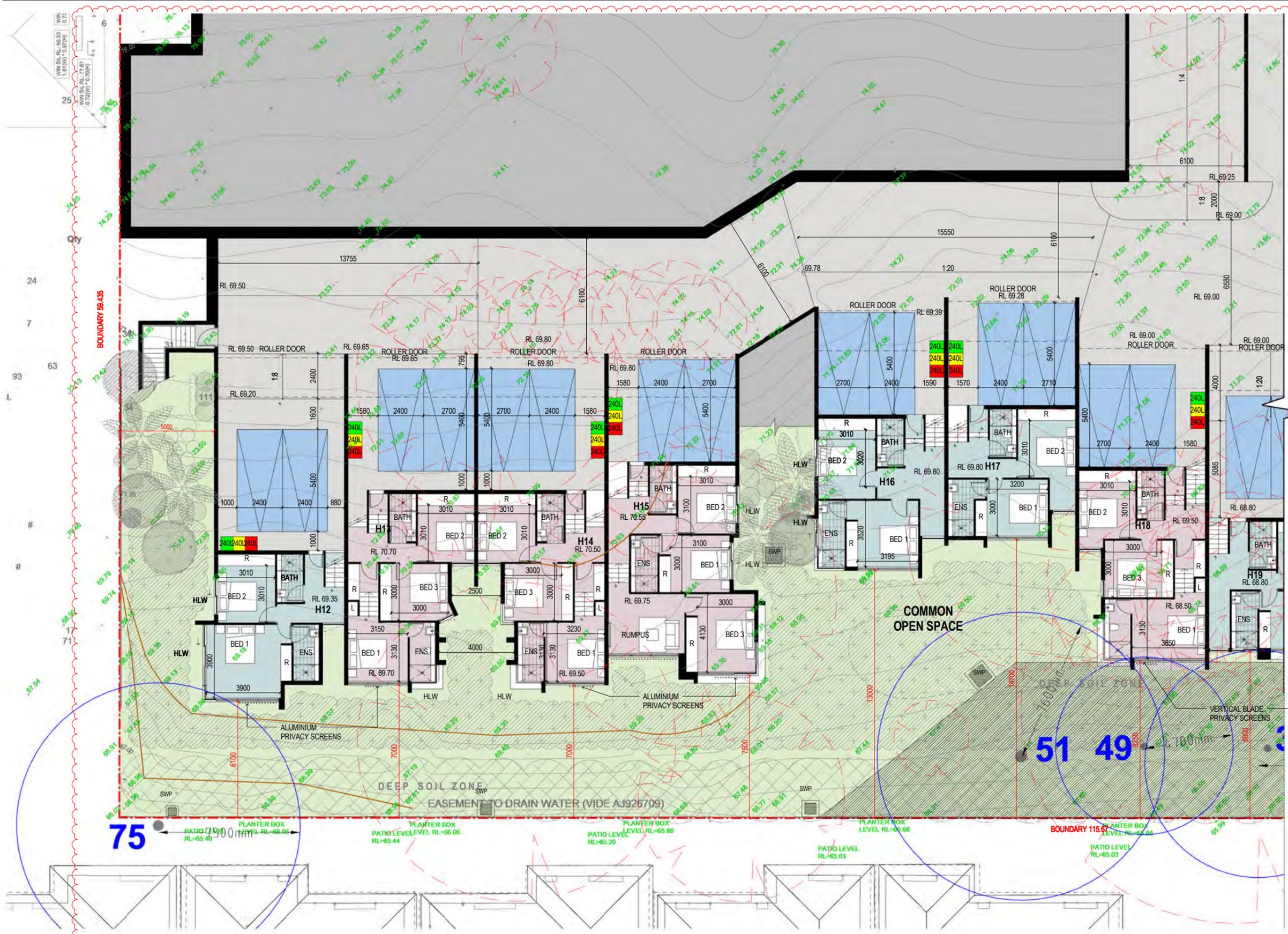
Project
MULTI DWELLING DEVELOPMENT

298-312 BLAXLAND ROAD, RYDE
Drawing Title
LOWER BASEMENT & MEZZANINE LEVEL - MID & REAR (PART B)

DA SUBMISSION

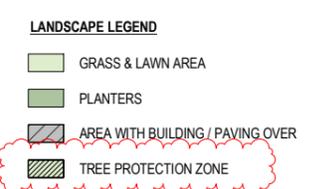
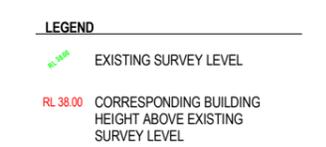
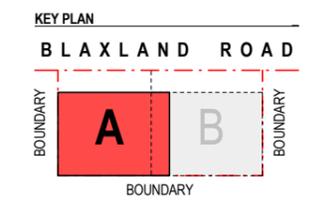
Job no.	Drawing no.	Rev.
J15284	DA 099.2	L

Drawn by	Checked by	Approved by	Date
PY	JY	JY	AUG 2019

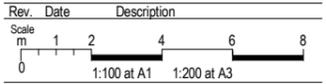


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- F 20.09.21 GENERAL AMENDMENTS
- E 17.07.20 GENERAL AMENDMENTS
- D 07.02.20 GENERAL AMENDMENTS
- C 19.08.19 GENERAL AMENDMENTS
- B 16.08.19 GENERAL AMENDMENTS
- A 09.08.19 GENERAL AMENDMENTS



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Project
MULTI DWELLING DEVELOPMENT

298-312 BLAXLAND ROAD, RYDE

Drawing Title
LOWER BASEMENT & LOWER LEVEL - REAR (PART C)

DA SUBMISSION

Job no. Drawing no. Rev.

J15284 DA 099.3 F

Drawn by: PY Checked by: RJ Approved by: ZC Date: AUG 2019

CAR PARKING SCHEDULE BASED ON SEPP REQUIREMENT

DWELLINGS (24)	RATE	REQUIRED	PROPOSED
2 BED (9)	1 SPACE / 1 DWELLING	09	09
3 BED (14)	1.5 SPACE / 1 DWELLING	21	30
4 BED (1)	1.5 SPACE / 1 DWELLING	1.5	1
VISITORS	1 SPACE / 4 DWELLINGS	6	6
TOTAL		37.5	46
MOTORBIKE	NA	0	04
BICYCLE RACK	NA	0	10

1 LOWER BASEMENT & LOWER LEVEL - REAR (PART C)

1:100 at A1 1:200 at A3

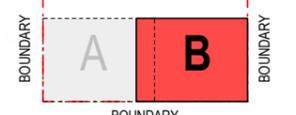
REFER TO SHEET DA099.4

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KEY PLAN
BLAXLAND ROAD



PARKING LEGEND
 RESIDENTIAL PARKING 2400x5400, U.N.O.
 VISITOR PARKING 2400x5400

LEGEND
 EXISTING SURVEY LEVEL
 CORRESPONDING BUILDING HEIGHT ABOVE EXISTING SURVEY LEVEL

LANDSCAPE LEGEND
 GRASS & LAWN AREA
 PLANTERS
 AREA WITH BUILDING / PAVING OVER
 TREE PROTECTION ZONE

F	20.09.21	GENERAL AMENDMENTS
E	17.07.20	GENERAL AMENDMENTS
D	07.02.20	GENERAL AMENDMENTS
C	19.08.19	GENERAL AMENDMENTS
B	16.08.19	GENERAL AMENDMENTS
A	09.08.19	GENERAL AMENDMENTS

Rev.	Date	Description
0		

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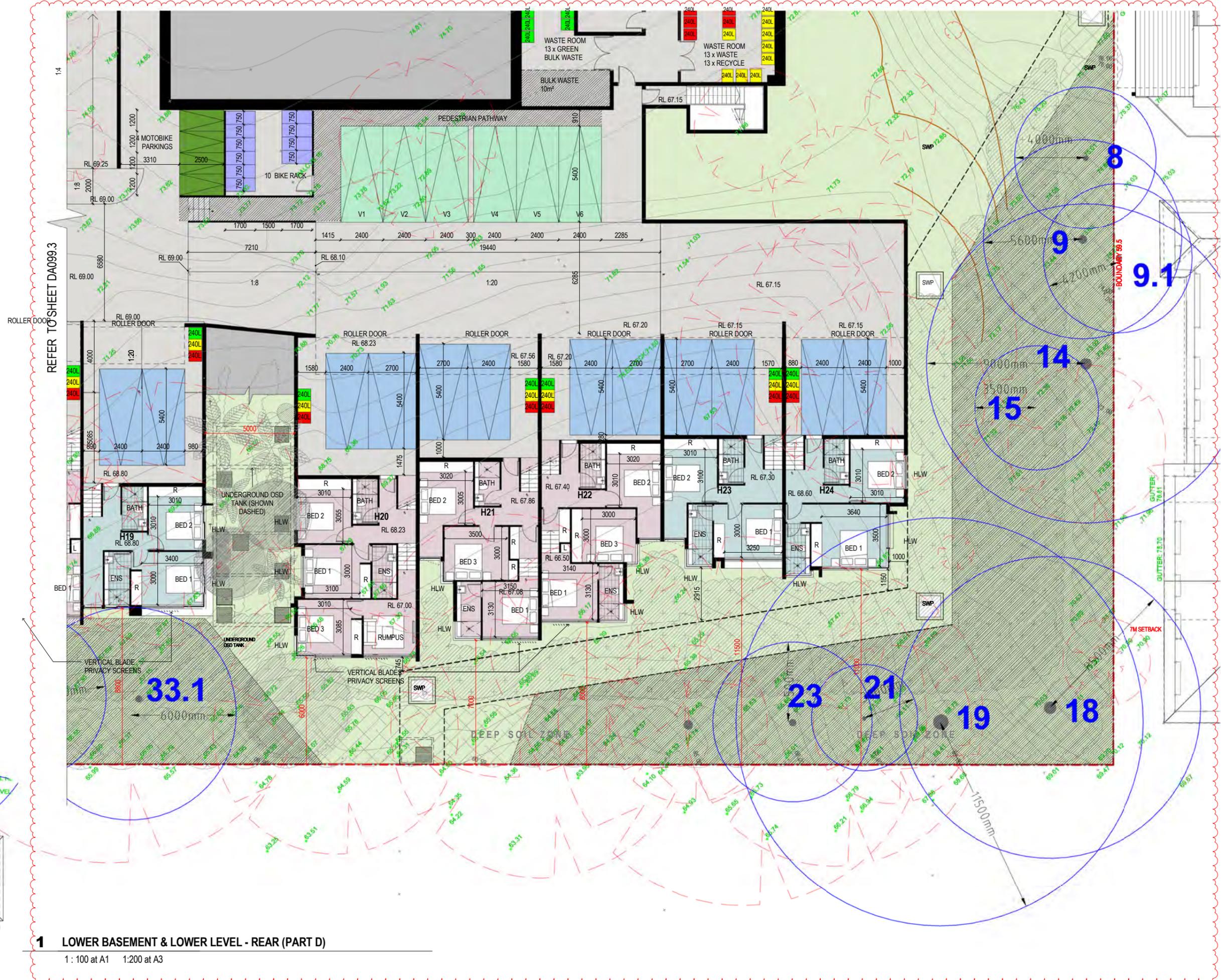
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Project
MULTI DWELLING DEVELOPMENT

298-312 BLAXLAND ROAD, RYDE
 Drawing Title
LOWER BASEMENT & LOWER LEVEL - REAR (PART D)

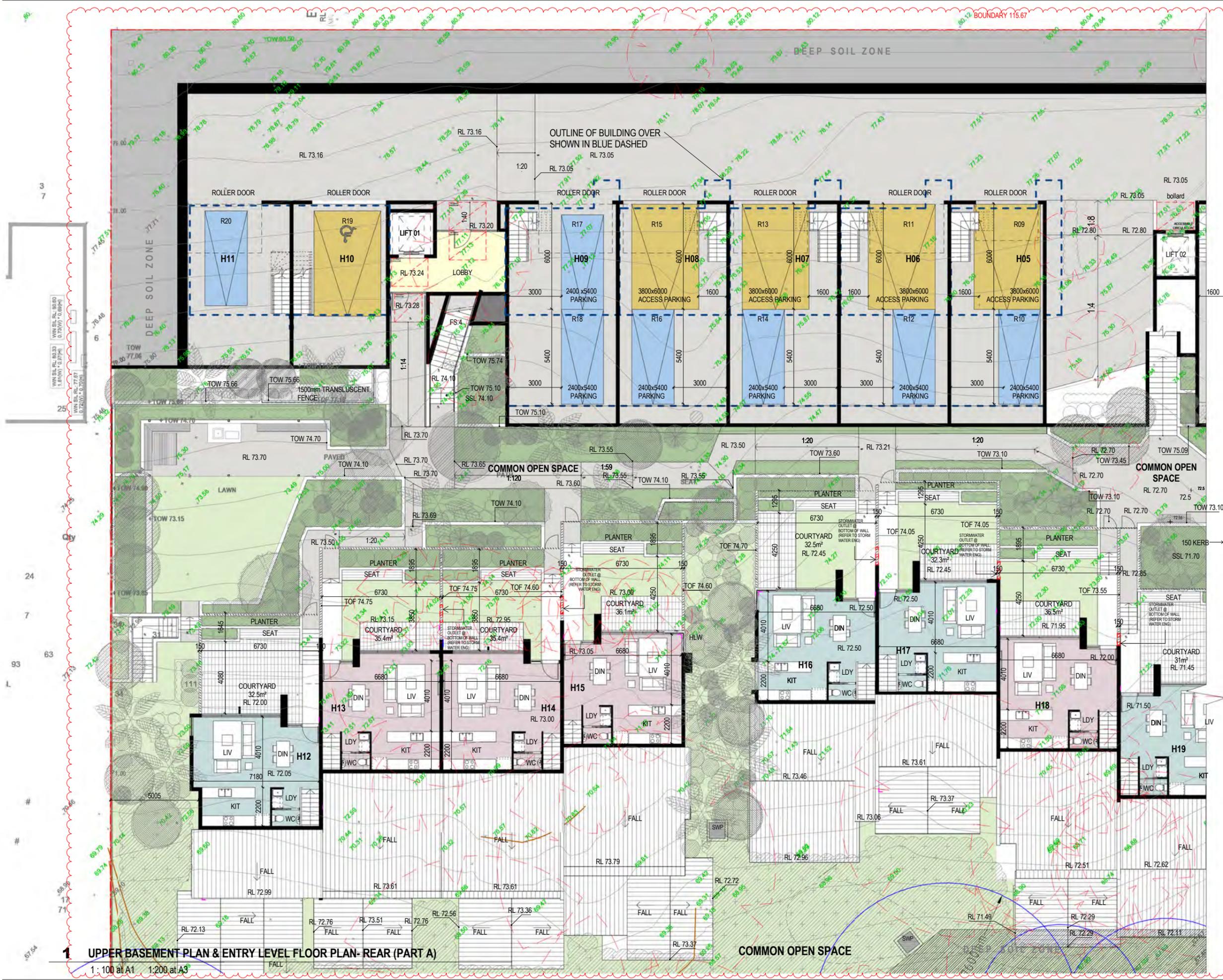
DA SUBMISSION

Job no.	Drawing no.	Rev.	
J15284	DA 099.4	F	
Drawn by	Checked by	Approved by	Date
Author	Checker	Approver	AUG 2019



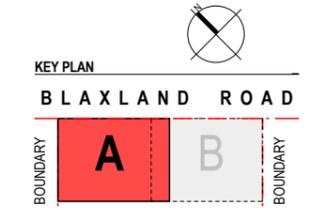
1 LOWER BASEMENT & LOWER LEVEL - REAR (PART D)
 1: 100 at A1 1:200 at A3

REFER TO SHEET DA099.3



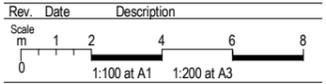
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- PARKING LEGEND**
- RESIDENTIAL PARKING 2400x5400, U.N.O.
 - VISITOR PARKING 2400x5400
- LEGEND**
- EXISTING SURVEY LEVEL
 - RL 38.00 CORRESPONDING BUILDING HEIGHT ABOVE EXISTING SURVEY LEVEL
- LANDSCAPE LEGEND**
- GRASS & LAWN AREA
 - PLANTERS
 - AREA WITH BUILDING / PAVING OVER
 - TREE PROTECTION ZONE

Rev.	Date	Description
K	20.09.21	GENERAL AMENDMENTS
J	17.07.20	GENERAL AMENDMENTS
I	07.02.20	GENERAL AMENDMENTS
H	19.08.19	GENERAL AMENDMENTS
G	16.08.19	GENERAL AMENDMENTS
F	09.08.19	GENERAL AMENDMENTS
E	23.07.19	GENERAL AMENDMENTS
D	22.07.19	GENERAL AMENDMENTS
C	21.06.19	GENERAL AMENDMENTS
B	28.08.18	GENERAL AMENDMENTS
A	27.07.18	GENERAL AMENDMENTS



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Project
MULTI DWELLING DEVELOPMENT

298-312 BLAXLAND ROAD, RYDE
 Drawing Title
UPPER BASEMENT PLAN & ENTRY LEVEL FLOOR PLAN REAR (PART A)

DA SUBMISSION

Job no.	Drawing no.	Rev.
J15284	DA 100.1	K

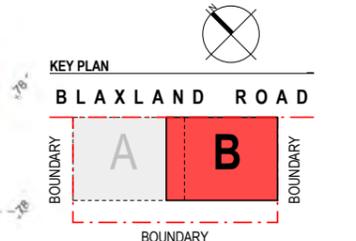
Drawn by	Checked by	Approved by	Date
PY	JY	JY	AUG 2019

1 UPPER BASEMENT PLAN & ENTRY LEVEL FLOOR PLAN- REAR (PART A)
 1:100 at A1 1:200 at A3



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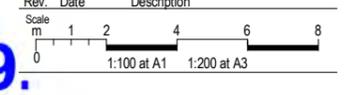
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PARKING LEGEND
 RESIDENTIAL PARKING 2400x5400, U.N.O.
 VISITOR PARKING 2400x5400

LEGEND
 EXISTING SURVEY LEVEL
 CORRESPONDING BUILDING HEIGHT ABOVE EXISTING SURVEY LEVEL
 GRASS & LAWN AREA
 PLANTERS
 AREA WITH BUILDING / PAVING OVER
 TREE PROTECTION ZONE

Rev.	Date	Description
L	20.09.21	GENERAL AMENDMENTS
K	17.07.20	GENERAL AMENDMENTS
J	07.02.20	GENERAL AMENDMENTS
I	19.08.19	GENERAL AMENDMENTS
H	16.08.19	GENERAL AMENDMENTS
G	09.08.19	GENERAL AMENDMENTS
F	23.07.19	GENERAL AMENDMENTS
E	22.07.19	GENERAL AMENDMENTS
D	21.06.19	GENERAL AMENDMENTS
C	26.09.18	GENERAL AMENDMENTS
B	28.08.18	GENERAL AMENDMENTS
A	27.07.18	GENERAL AMENDMENTS



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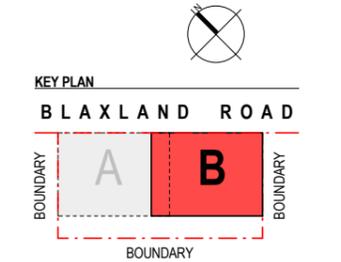
MULTI DWELLING DEVELOPMENT
 298-312 BLAXLAND ROAD, RYDE
 Drawing Title
UPPER BASEMENT PLAN & ENTRY LEVEL FLOOR PLAN REAR (PART B)

DA SUBMISSION
 Job no. Drawing no. Rev.
J15284 DA 100.2 L
 Drawn by: PY Checked by: JY Approved by: JY Date: AUG 2019

1 UPPER BASEMENT PLAN & ENTRY LEVEL FLOOR PLAN - REAR (PART B)

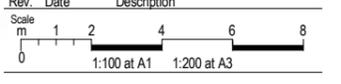
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- LEGEND**
- EXISTING SURVEY LEVEL
 - RL 38.00 CORRESPONDING BUILDING HEIGHT ABOVE EXISTING SURVEY LEVEL
- LANDSCAPE LEGEND**
- GRASS & LAWN AREA
 - PLANTERS
 - AREA WITH BUILDING / PAVING OVER
 - TREE PROTECTION ZONE

L	20.09.21	GENERAL AMENDMENTS
K	17.07.20	GENERAL AMENDMENTS
J	07.02.20	GENERAL AMENDMENTS
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C	21.06.19	GENERAL AMENDMENTS
B	28.08.18	GENERAL AMENDMENTS
A	27.07.18	GENERAL AMENDMENTS



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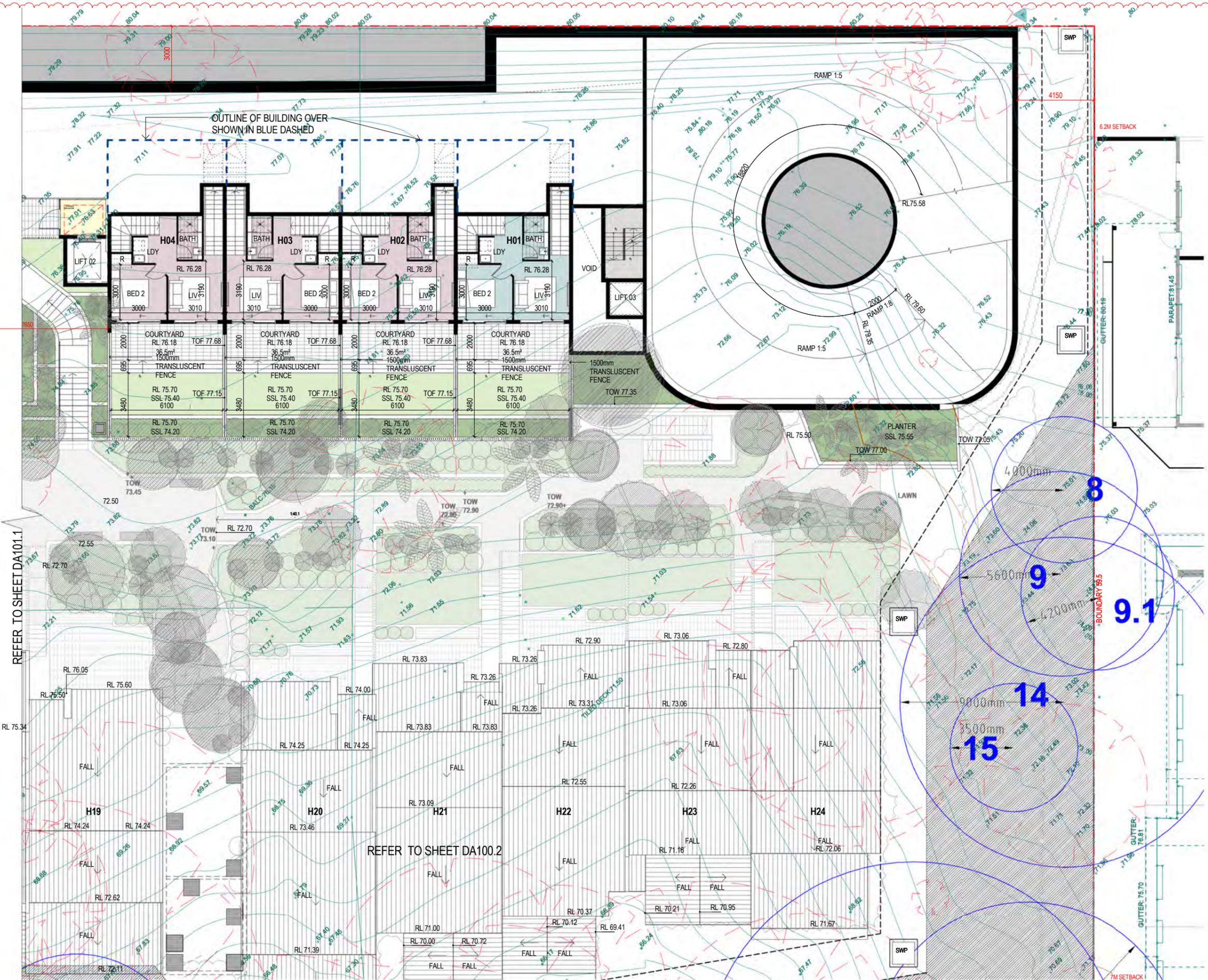
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Project
MULTI DWELLING DEVELOPMENT

298-312 BLAXLAND ROAD, RYDE
 Drawing Title
LOWER GROUND FLOOR PLAN FRONT & ROOF PLAN REAR (PART B)

DA SUBMISSION

Job no.	Drawing no.	Rev.	
J15284	DA 101.2	L	
Drawn by	Checked by	Approved by	Date
PY	JY	JY	AUG 2019



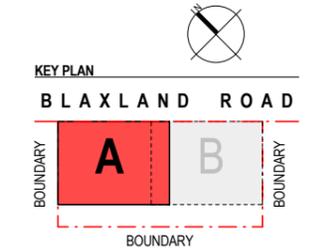
1 LOWER GROUND FLOOR PLAN FRONT & ROOF PLAN - MID (PART B)

1:100 at A1 1:200 at A3



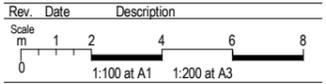
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- LEGEND**
- EXISTING SURVEY LEVEL
 - CORRESPONDING BUILDING HEIGHT ABOVE EXISTING SURVEY LEVEL
- LANDSCAPE LEGEND**
- GRASS & LAWN AREA
 - PLANTERS
 - AREA WITH BUILDING / PAVING OVER
 - TREE PROTECTION ZONE

Rev.	Date	Description
K	20.09.21	GENERAL AMENDMENTS
J	17.07.20	GENERAL AMENDMENTS
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D	22.07.19	GENERAL AMENDMENTS
C	21.06.19	GENERAL AMENDMENTS
B	28.08.18	GENERAL AMENDMENTS
A	27.07.18	GENERAL AMENDMENTS



REFER TO SHEET DA100.1 & DA 101.1

1 GROUND FLOOR PLAN - FRONT (PART A)
 1:100 at A1 1:200 at A3

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Project
MULTI DWELLING DEVELOPMENT

298-312 BLAXLAND ROAD, RYDE
 Drawing Title
GROUND FLOOR PLAN FRONT (PART A)

DA SUBMISSION

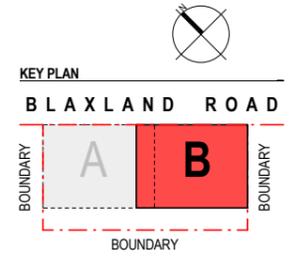
Job no.	Drawing no.	Rev.
J15284	DA 102.1	K

Drawn by	Checked by	Approved by	Date
PY	JY	JY	AUG 2019



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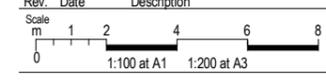
LEGEND

- EXISTING SURVEY LEVEL
- CORRESPONDING BUILDING HEIGHT ABOVE EXISTING SURVEY LEVEL

LANDSCAPE LEGEND

- GRASS & LAWN AREA
- PLANTERS
- AREA WITH BUILDING / PAVING OVER
- TREE PROTECTION ZONE

Rev.	Date	Description
L	20.09.21	GENERAL AMENDMENTS
K	17.07.20	GENERAL AMENDMENTS
J	07.02.20	GENERAL AMENDMENTS
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H	19.08.19	GENERAL AMENDMENTS
G	16.08.19	GENERAL AMENDMENTS
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A	27.07.18	GENERAL AMENDMENTS



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Project
MULTI DWELLING DEVELOPMENT

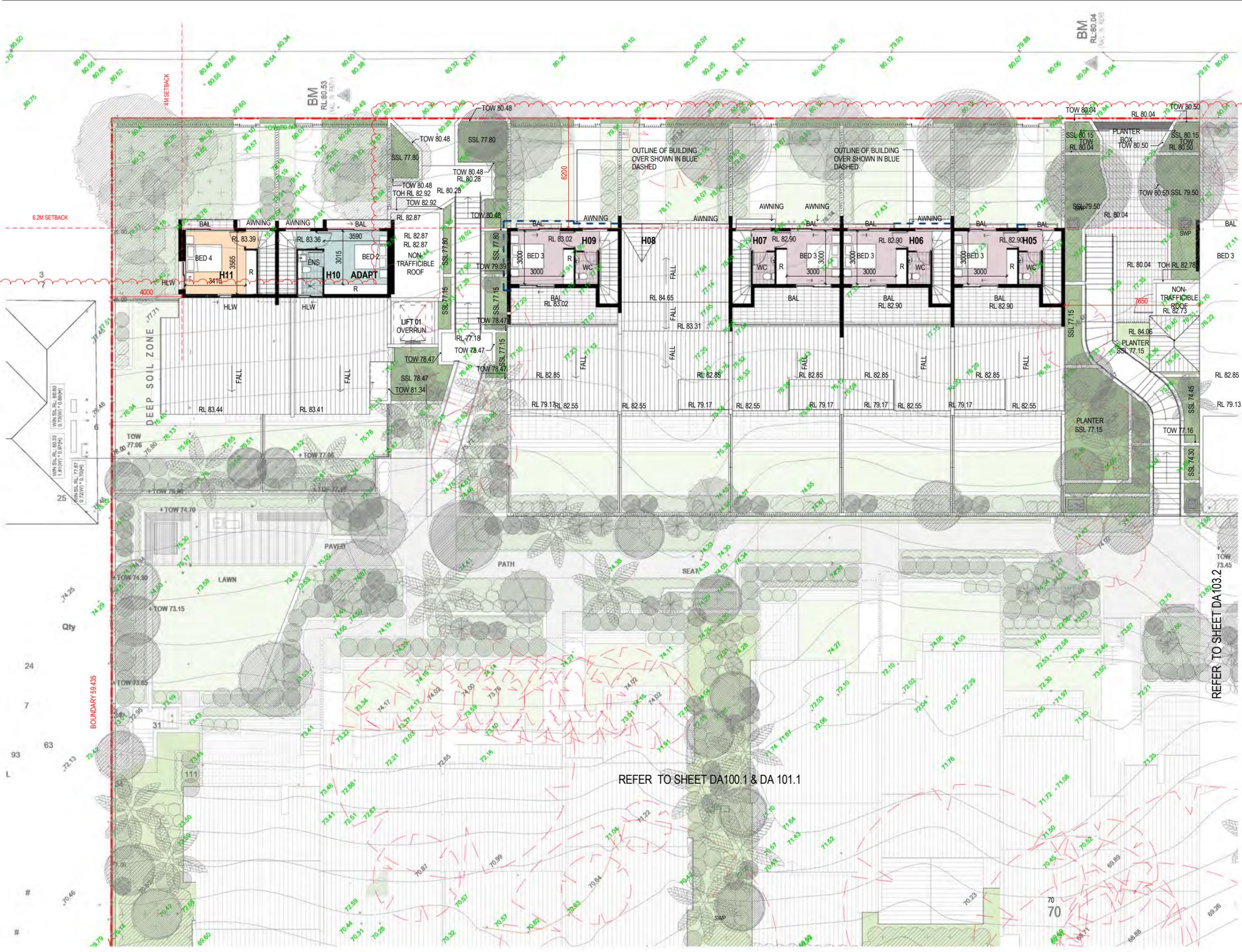
298-312 BLAXLAND ROAD, RYDE
 Drawing Title
GROUND FLOOR PLAN FRONT (PART B)

DA SUBMISSION

Job no.	Drawing no.	Rev.
J15284	DA 102.2	L

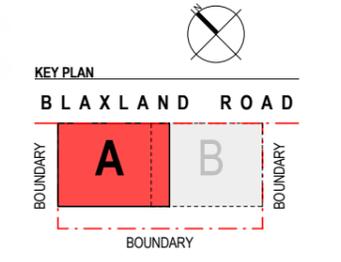
Drawn by	Checked by	Approved by	Date
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1 GROUND FLOOR PLAN - FRONT (PART B)
 1: 100 at A1 1:200 at A3



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- LEGEND**
- RL 80.00 EXISTING SURVEY LEVEL
 - RL 38.00 CORRESPONDING BUILDING HEIGHT ABOVE EXISTING SURVEY LEVEL
- LANDSCAPE LEGEND**
- GRASS & LAWN AREA
 - PLANTERS
 - AREA WITH BUILDING / PAVING OVER
 - TREE PROTECTION ZONE

J	20.09.21	GENERAL AMENDMENTS
I	17.07.20	GENERAL AMENDMENTS
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G	19.08.19	GENERAL AMENDMENTS
F	09.08.19	GENERAL AMENDMENTS
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C	21.06.19	GENERAL AMENDMENTS
B	28.08.18	GENERAL AMENDMENTS
A	27.07.18	GENERAL AMENDMENTS

Rev.	Date	Description
0		

Scale
 0 1 2 4 6 8
 1:100 at A1 1:200 at A3

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Project
MULTI DWELLING DEVELOPMENT

298-312 BLAXLAND ROAD, RYDE
 Drawing Title
FIRST FLOOR PLAN FRONT (PART A)

DA SUBMISSION

Job no.	Drawing no.	Rev.	
J15284	DA 103.1	J	
Drawn by	Checked by	Approved by	Date
PY	JY	JY	AUG 2019

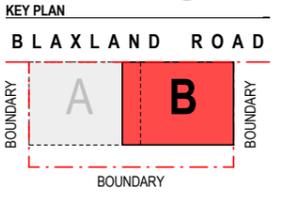
1 FIRST FLOOR PLAN - FRONT (PART A)
 1:100 at A1 1:200 at A3

REFER TO SHEET DA103.2

REFER TO SHEET DA100.1 & DA 101.1

REFERENCES
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LEGEND

- RL 80.04 EXISTING SURVEY LEVEL
- RL 38.00 CORRESPONDING BUILDING HEIGHT ABOVE EXISTING SURVEY LEVEL

LANDSCAPE LEGEND

- GRASS & LAWN AREA
- PLANTERS
- AREA WITH BUILDING / PAVING OVER
- TREE PROTECTION ZONE

K	20.09.21	GENERAL AMENDMENTS
J	17.07.20	GENERAL AMENDMENTS
I	07.02.20	GENERAL AMENDMENTS
H	22.08.19	GENERAL AMENDMENTS
G	19.08.19	GENERAL AMENDMENTS
F	09.08.19	GENERAL AMENDMENTS
E	23.07.19	GENERAL AMENDMENTS
D	22.07.19	GENERAL AMENDMENTS
C	21.06.19	GENERAL AMENDMENTS
B	28.08.18	GENERAL AMENDMENTS
A	27.07.18	GENERAL AMENDMENTS

Rev.	Date	Description
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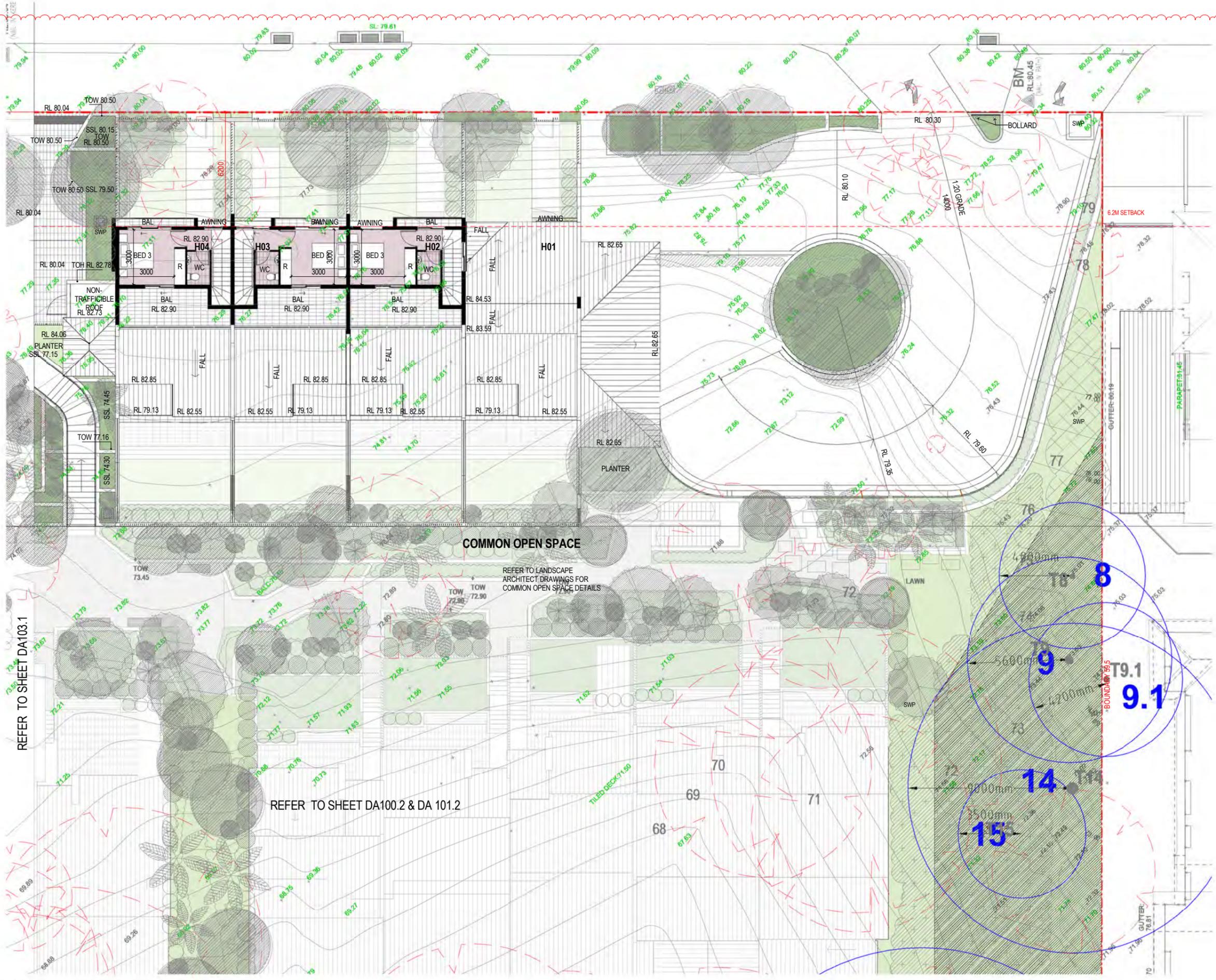
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Project
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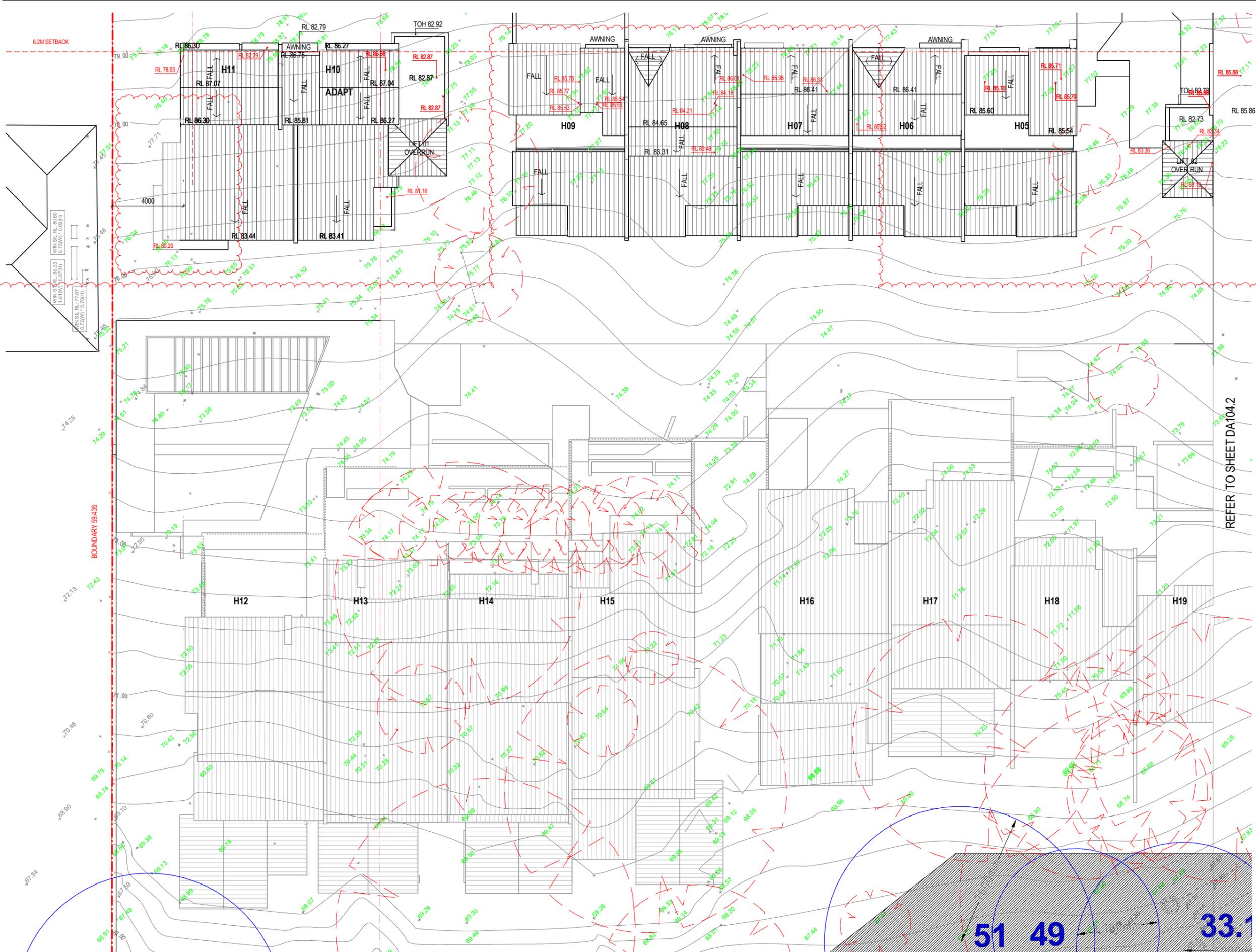
298-312 BLAXLAND ROAD, RYDE
 Drawing Title
FIRST FLOOR PLAN FRONT (PART B)

DA SUBMISSION

Job no.	Drawing no.	Rev.
J15284	DA 103.2	K
Drawn by	Checked by	Approved by
PY	JY	JY
Date	AUG 2019	

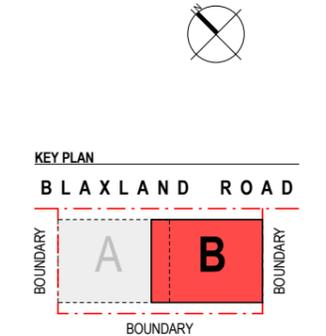


1 FIRST FLOOR PLAN - FRONT (PART B)
 1:100 at A1 1:200 at A3



REFERENCES
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LEGEND

EXISTING SURVEY LEVEL

RL 38.00 CORRESPONDING BUILDING HEIGHT ABOVE EXISTING SURVEY LEVEL

J	20.09.21	GENERAL AMENDMENTS
I	17.07.20	GENERAL AMENDMENTS
H	07.02.20	GENERAL AMENDMENTS
G	19.08.19	GENERAL AMENDMENTS
F	09.08.19	GENERAL AMENDMENTS
E	23.07.19	GENERAL AMENDMENTS
D	22.07.19	GENERAL AMENDMENTS
C	21.06.19	GENERAL AMENDMENTS
B	28.08.18	GENERAL AMENDMENTS
A	27.07.18	GENERAL AMENDMENTS

Rev.	Date	Description
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Project
MULTI DWELLING DEVELOPMENT

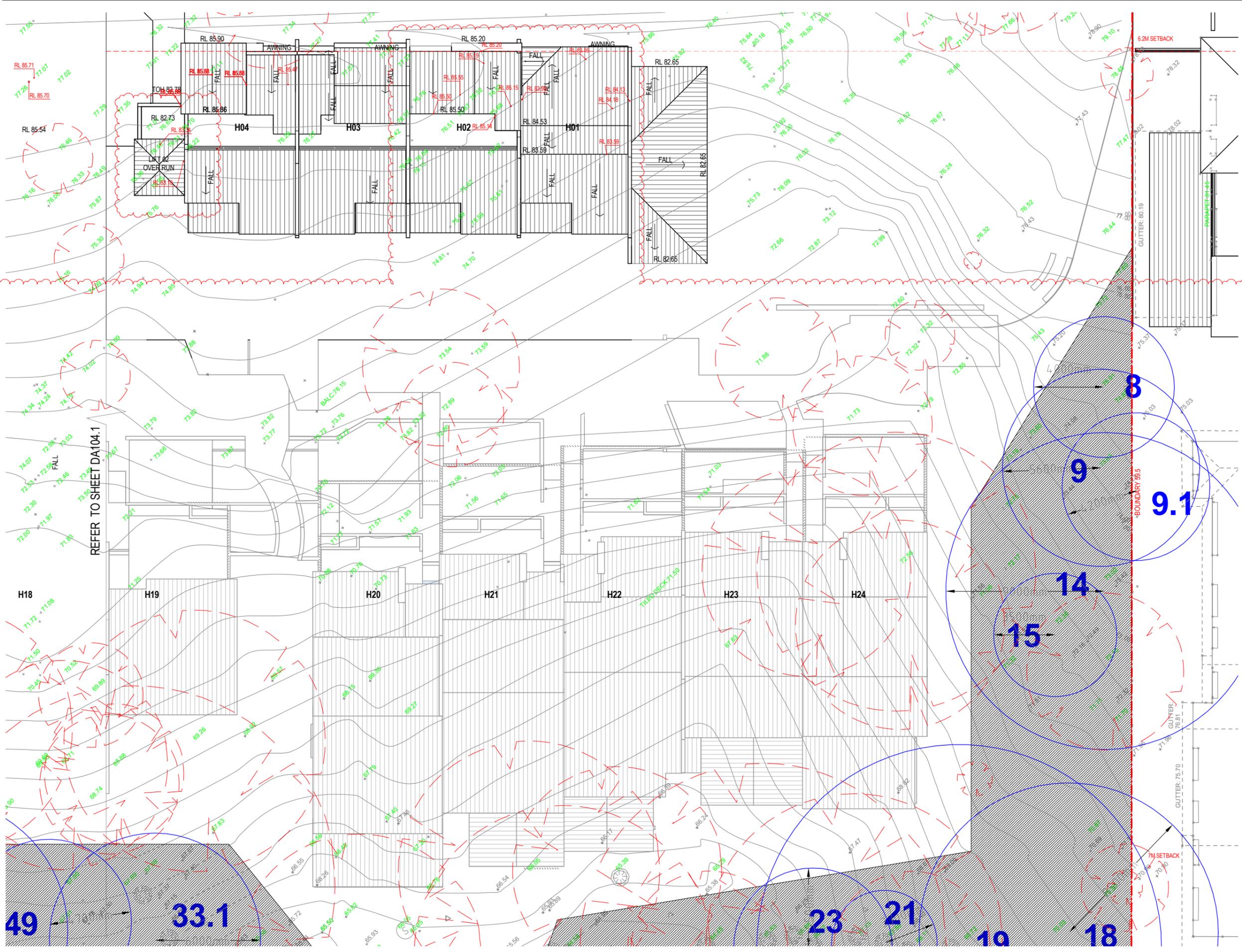
298-312 BLAXLAND ROAD, RYDE
 Drawing Title
ROOF PLAN FRONT (PART A)

DA SUBMISSION

Job no.	Drawing no.	Rev.	
J15284	DA 104.1	J	
Drawn by	Checked by	Approved by	Date
PY	JY	JY	AUG 2019

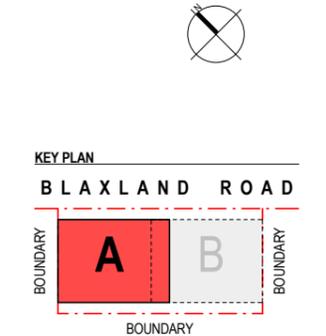
1 ROOF PLAN - FRONT (PART A)
 1:100 at A1 1:200 at A3

REFER TO SHEET DA104.2



REFERENCES
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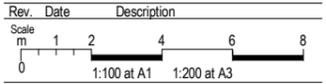
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LEGEND

- EXISTING SURVEY LEVEL
- CORRESPONDING BUILDING HEIGHT ABOVE EXISTING SURVEY LEVEL

Rev.	Date	Description
J	20.09.21	GENERAL AMENDMENTS
I	17.07.20	GENERAL AMENDMENTS
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D	22.07.19	GENERAL AMENDMENTS
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A	27.07.18	GENERAL AMENDMENTS



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MULTI DWELLING DEVELOPMENT

298-312 BLAXLAND ROAD, RYDE
 Drawing Title
ROOF PLAN FRONT (PART B)

DA SUBMISSION

Job no.	Drawing no.	Rev.
J15284	DA 104.2	J

Drawn by	Checked by	Approved by	Date
PY	JY	JY	AUG 2019

1 ROOF PLAN - FRONT (PART B)
 1 : 100 at A1 1 : 200 at A3



E1 NORTH-FRONT ELEVATION (OVERALL)

1 : 200 at A1 1:400 at A3

PROPOSED OVERFLOW PATH TO RUN UNDER TILES ON PEDESTALS REFER TO STORMWATER ENG DETAILS

EXISTING GROUND LINE



E2 NORTH ELEVATION (PART A)

1 : 100 at A1 1:200 at A3

ABSTRACT FORM OF DEVELOPMENT BUILDINGS (DIRECTION OF FRAMING VARIES)

EXISTING GROUND LINE

PROPOSED OVERFLOW PATH TO RUN UNDER TILES ON PEDESTALS REFER TO STORMWATER ENG DETAILS

REFERENCES
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MATERIAL LEGEND

- AWD1 ALUMINIUM FRAME WINDOWS & DOORS - DARK GREY OR SIMILAR
- B1 RED BRICK OR SIMILAR
- B2 AUSTRAL BRICK - URBAN ONE PEPPER OR SIMILAR
- B3 LIGHT GREY BRICK OR SIMILAR
- CG CLEAR GLASS
- LW1 LIGHTWEIGHT CLADDING 01 - LIGHT GREY OR SIMILAR
- MR METAL ROOF - LIGHT GREY OR SIMILAR
- OG TRANSLUCENT GLAZING
- PF1 RENDER & PAINT FINISH DULUX WHITES - WHITE ON WHITE OR SIMILAR
- PF2 RENDER & PAINT FINISH DULUX SG6 GREYS- BLACK OR SIMILAR
- PF3 RENDER & PAINT FINISH DULUX RED EARTH OR SIMILAR
- PF4 RENDER & PAINT FINISH DULUX SILVER TWILIGHT- LIGHT GREY OR SIMILAR
- PF5 RENDER & PAINT FINISH DULUX NORSEWOOD- BEIGE OR SIMILAR
- TG TRANSLUCENT GLAZED SCREEN

GROUND LINE LEGEND

--- DENOTES EXISTING GROUND LINE

Rev.	Date	Description
U	20.09.21	GENERAL AMENDMENTS
H	17.07.20	GENERAL AMENDMENTS
G	19.08.19	GENERAL AMENDMENTS
F	09.08.19	GENERAL AMENDMENTS
E	22.07.19	GENERAL AMENDMENTS
D	21.06.19	GENERAL AMENDMENTS
C	28.08.18	GENERAL AMENDMENTS
B	20.10.17	ISSUE FOR DA
A	21.10.16	ISSUE FOR DA

SCALE AS INDICATED



E3 NORTH ELEVATION (PART B)

1 : 100 at A1 1:200 at A3

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Project
MULTI DWELLING DEVELOPMENT

298-312 BLAXLAND ROAD, RYDE

Drawing Title
NORTH ELEVATIONS

DA SUBMISSION

Job no.	Drawing no.	Rev.
J15284	DA 200	I
Drawn by PY	Checked by JY	Approved by JY
		Date AUG 2019

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MATERIAL LEGEND

AWD1	ALUMINIUM FRAME WINDOWS & DOORS - DARK GREY OR SIMILAR
B1	RED BRICK OR SIMILAR
B2	AUSTRAL BRICK - URBAN ONE PEPPER OR SIMILAR
B3	LIGHT GREY BRICK OR SIMILAR
CG	CLEAR GLASS
LW1	LIGHTWEIGHT CLADDING 01 - LIGHT GREY OR SIMILAR
MR	METAL ROOF - LIGHT GREY OR SIMILAR
OG	TRANSLUCENT GLAZING
PF1	RENDER & PAINT FINISH DULUX WHITES - WHITE ON WHITE OR SIMILAR
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PF3	RENDER & PAINT FINISH DULUX RED EARTH OR SIMILAR
PF4	RENDER & PAINT FINISH DULUX SILVER TWILIGHT- LIGHT GREY OR SIMILAR
PF5	RENDER & PAINT FINISH DULUX NORSEWOOD- BEIGE OR SIMILAR
TG	TRANSLUCENT GLAZED SCREEN



E1 H01 - H04 SOUTH ELEVATION

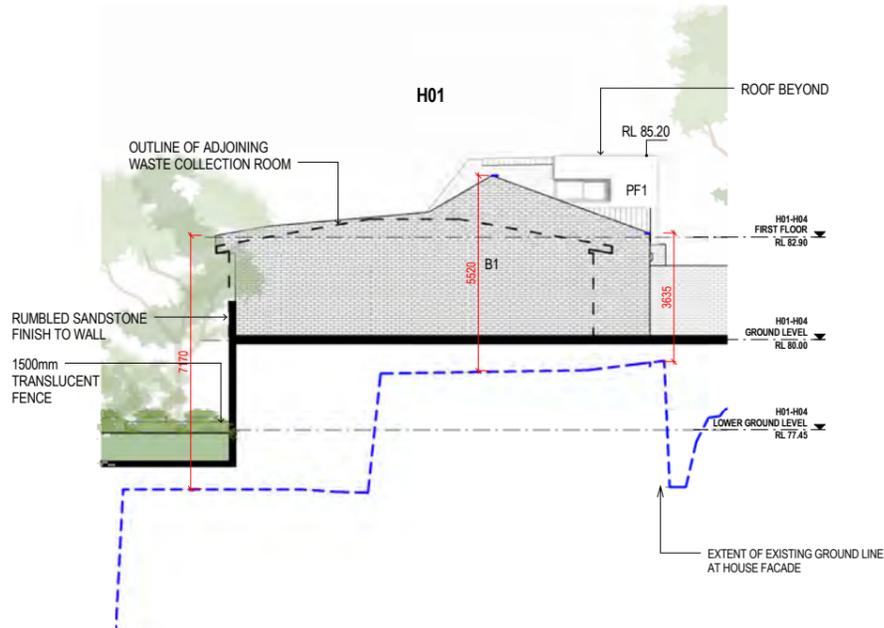
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GROUND LINE LEGEND

--- DENOTES EXISTING GROUND LINE

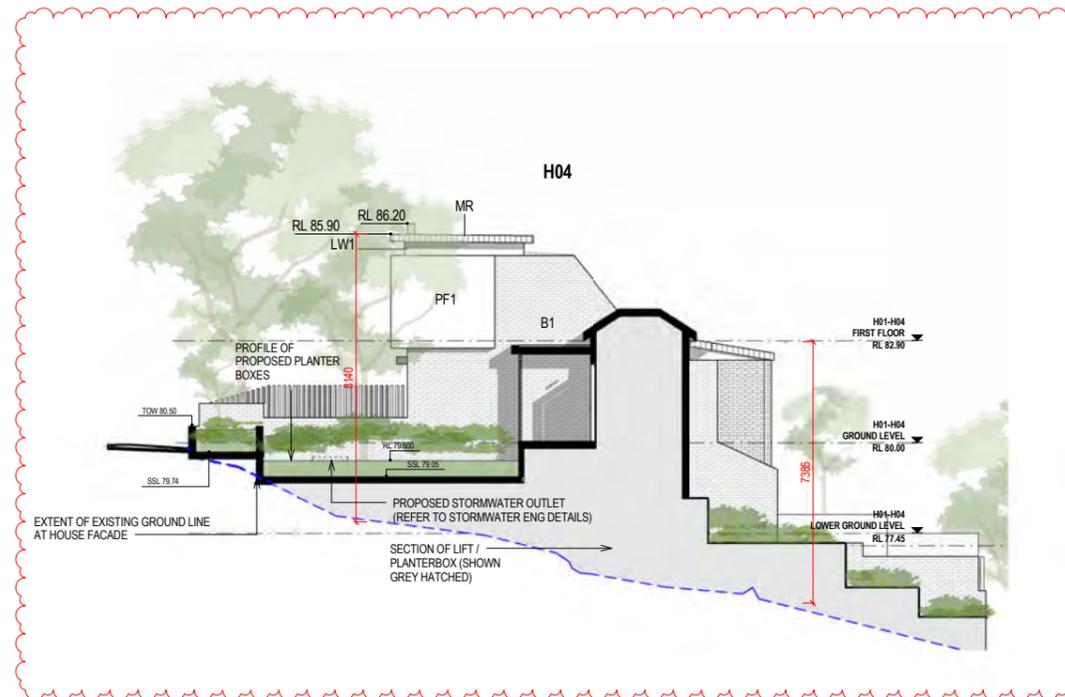
Rev.	Date	Description
G	20.09.21	GENERAL AMENDMENTS
F	17.07.20	GENERAL AMENDMENTS
E	09.08.19	GENERAL AMENDMENTS
D	22.07.19	GENERAL AMENDMENTS
C	21.06.19	GENERAL AMENDMENTS
B	28.08.18	GENERAL AMENDMENTS
A	27.07.18	GENERAL AMENDMENTS

Scale
 0 1 2 4 6 8
 1:100 at A1 1:200 at A3



E2 H01 - H04 EAST ELEVATION

1 : 100 at A1 1:200 at A3



E3 H01 - H04 WEST ELEVATION

1 : 100 at A1 1:200 at A3

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Project
MULTI DWELLING DEVELOPMENT

298-312 BLAXLAND ROAD, RYDE

Drawing Title
H01-H04 ELEVATIONS

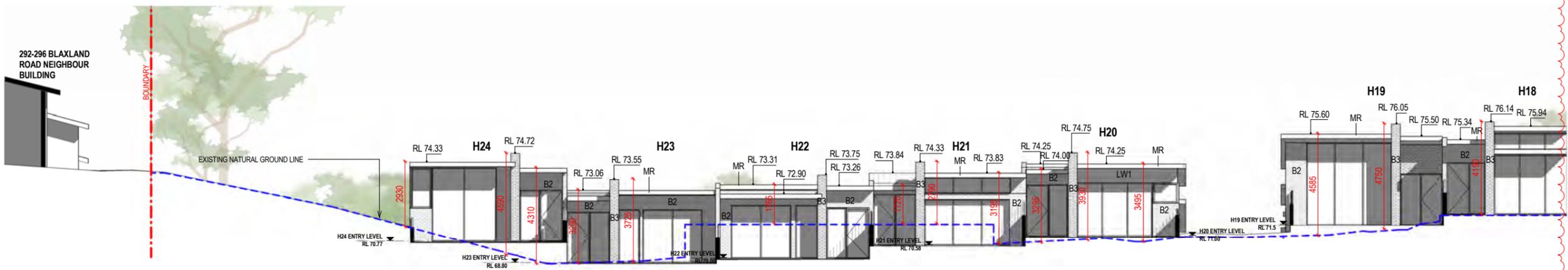
DA SUBMISSION

Job no.	Drawing no.	Rev.
J15284	DA 200.1	G
Drawn by	Checked by	Approved by
PY	JY	JY
Date	AUG 2019	



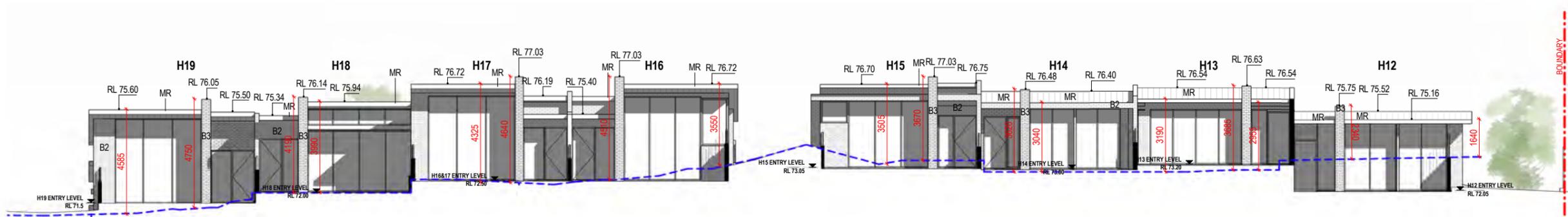
1 REAR HOUSES FRONT ELEVATIONS

1 : 200 at A1 1:400 at A3



2 REAR HOUSES FRONT ELEVATIONS (PART A)

1 : 100 at A1 1:200 at A3



3 REAR HOUSES FRONT ELEVATIONS (PART B)

1 : 100 at A1 1:200 at A3

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MATERIAL LEGEND

AWD1	ALUMINIUM FRAME WINDOWS & DOORS - DARK GREY OR SIMILAR
B1	RED BRICK OR SIMILAR
B2	AUSTRAL BRICK - URBAN ONE PEPPER OR SIMILAR
B3	LIGHT GREY BRICK OR SIMILAR
CG	CLEAR GLASS
LW1	LIGHTWEIGHT CLADDING 01 - LIGHT GREY OR SIMILAR
MR	METAL ROOF - LIGHT GREY OR SIMILAR
OG	TRANSLUCENT GLAZING
PF1	RENDER & PAINT FINISH DULUX WHITES - WHITE ON WHITE OR SIMILAR
PF2	RENDER & PAINT FINISH DULUX SG6 GREYS- BLACK OR SIMILAR
PF3	RENDER & PAINT FINISH DULUX RED EARTH OR SIMILAR
PF4	RENDER & PAINT FINISH DULUX SILVER TWILIGHT- LIGHT GREY OR SIMILAR
PF5	RENDER & PAINT FINISH DULUX NORSEWOOD- BEIGE OR SIMILAR
TG	TRANSLUCENT GLAZED SCREEN

GROUND LINE LEGEND

--- DENOTES EXISTING GROUND LINE

K	20.09.21	GENERAL AMENDMENTS
J	17.07.20	GENERAL AMENDMENTS
I	07.02.20	GENERAL AMENDMENTS
H	09.08.19	GENERAL AMENDMENTS
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C	27.07.18	GENERAL AMENDMENTS
B	20.10.17	ISSUE FOR DA
A	21.10.16	ISSUE FOR DA

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Project
MULTI DWELLING DEVELOPMENT

298-312 BLAXLAND ROAD, RYDE
Drawing Title
H12-H24 NORTH ELEVATIONS

DA SUBMISSION

Job no.	Drawing no.	Rev.	
J15284	DA 201	K	
Drawn by	Checked by	Approved by	Date
PY	JY	JY	AUG 2019

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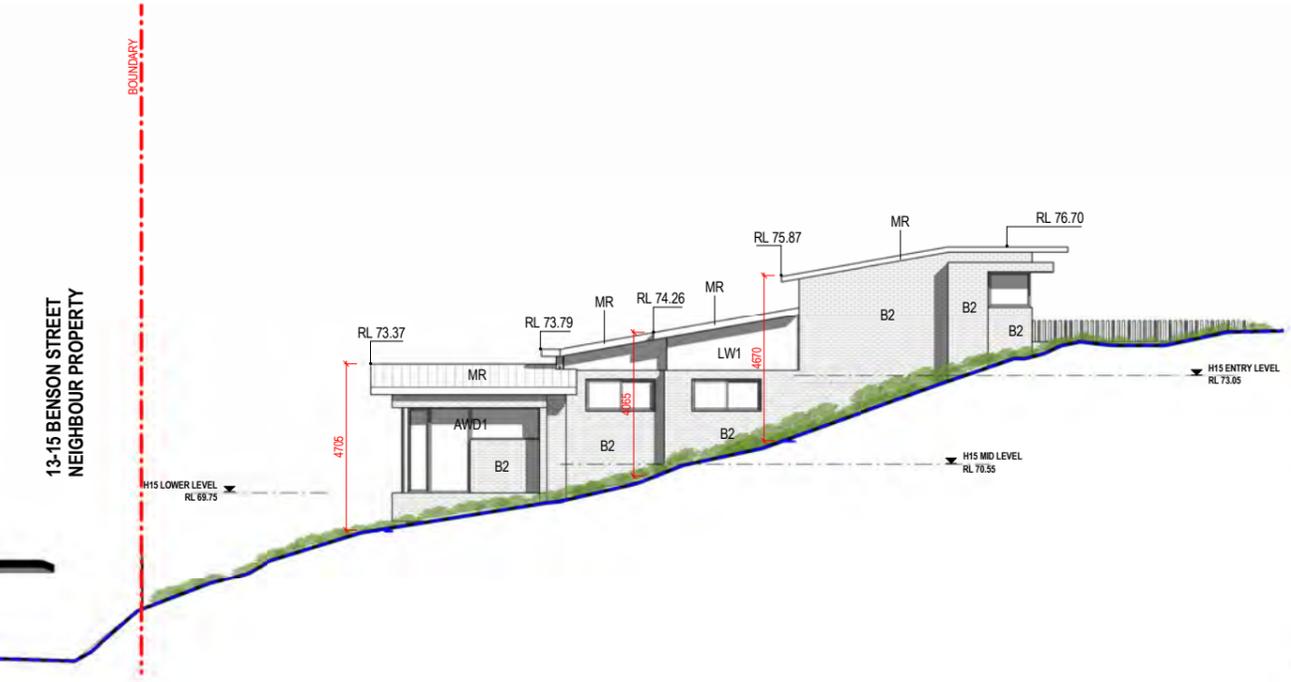
- MATERIAL LEGEND**
- AWD1 ALUMINIUM FRAME WINDOWS & DOORS - DARK GREY OR SIMILAR
 - B1 RED BRICK OR SIMILAR
 - B2 AUSTRAL BRICK - URBAN ONE PEPPER OR SIMILAR
 - B3 LIGHT GREY BRICK OR SIMILAR
 - CG CLEAR GLASS
 - LW1 LIGHTWEIGHT CLADDING 01 - LIGHT GREY OR SIMILAR
 - MR METAL ROOF - LIGHT GREY OR SIMILAR
 - OG TRANSLUCENT GLAZING
 - PF1 RENDER & PAINT FINISH DULUX WHITES - WHITE ON WHITE OR SIMILAR
 - PF2 RENDER & PAINT FINISH DULUX SG6 GREYS - BLACK OR SIMILAR
 - PF3 RENDER & PAINT FINISH DULUX RED EARTH OR SIMILAR
 - PF4 RENDER & PAINT FINISH DULUX SILVER TWILIGHT - LIGHT GREY OR SIMILAR
 - PF5 RENDER & PAINT FINISH DULUX NORSEWOOD - BEIGE OR SIMILAR
 - TG TRANSLUCENT GLAZED SCREEN

GROUND LINE LEGEND

--- DENOTES EXISTING GROUND LINE

Rev.	Date	Description
J	20.09.21	GENERAL AMENDMENTS
H	17.07.20	GENERAL AMENDMENTS
G	07.02.20	GENERAL AMENDMENTS
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B	28.08.18	GENERAL AMENDMENTS
A	27.07.18	GENERAL AMENDMENTS

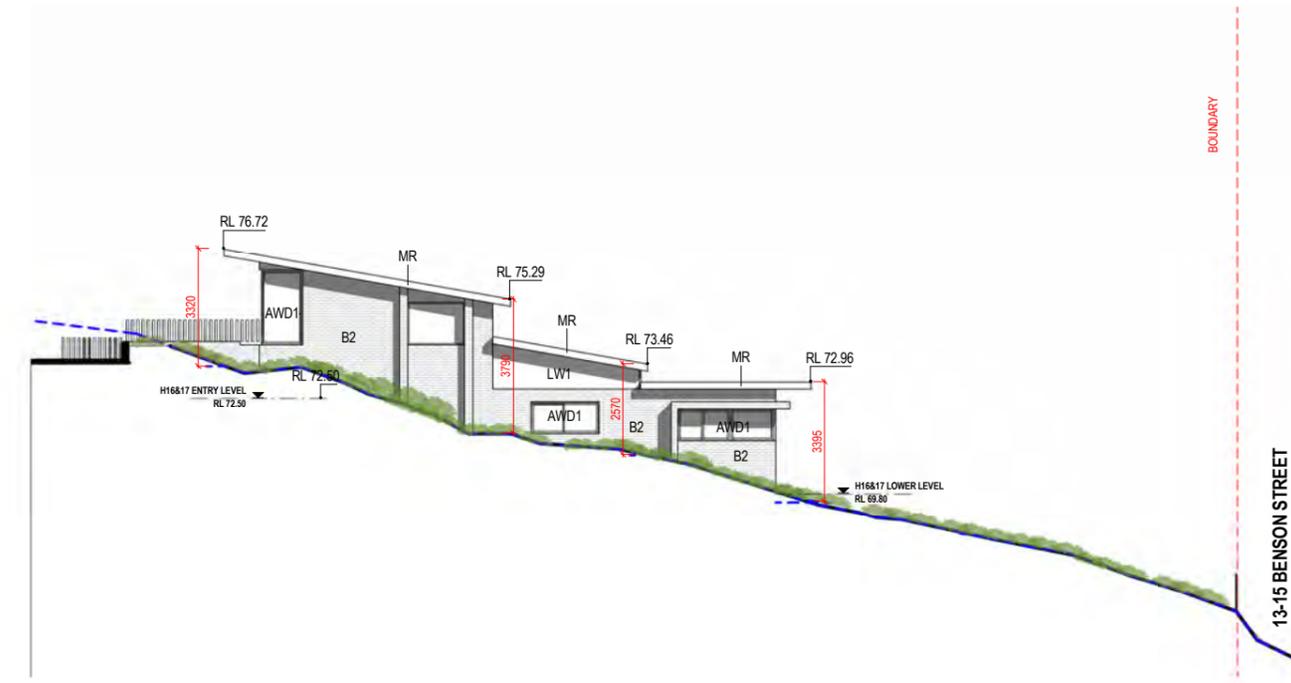
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 1:100 at A1 1:200 at A3



1 H15 EAST ELEVATION
 1:100 at A1 1:200 at A3



2 H19 EAST ELEVATION
 1:100 at A1 1:200 at A3



3 HOUSE 16 WEST ELEVATION
 1:100 at A1 1:200 at A3



4 HOUSE 20 WEST ELEVATION
 1:100 at A1 1:200 at A3

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Project
MULTI DWELLING DEVELOPMENT

298-312 BLAXLAND ROAD, RYDE
 Drawing Title
H12 - H24 ELEVATIONS

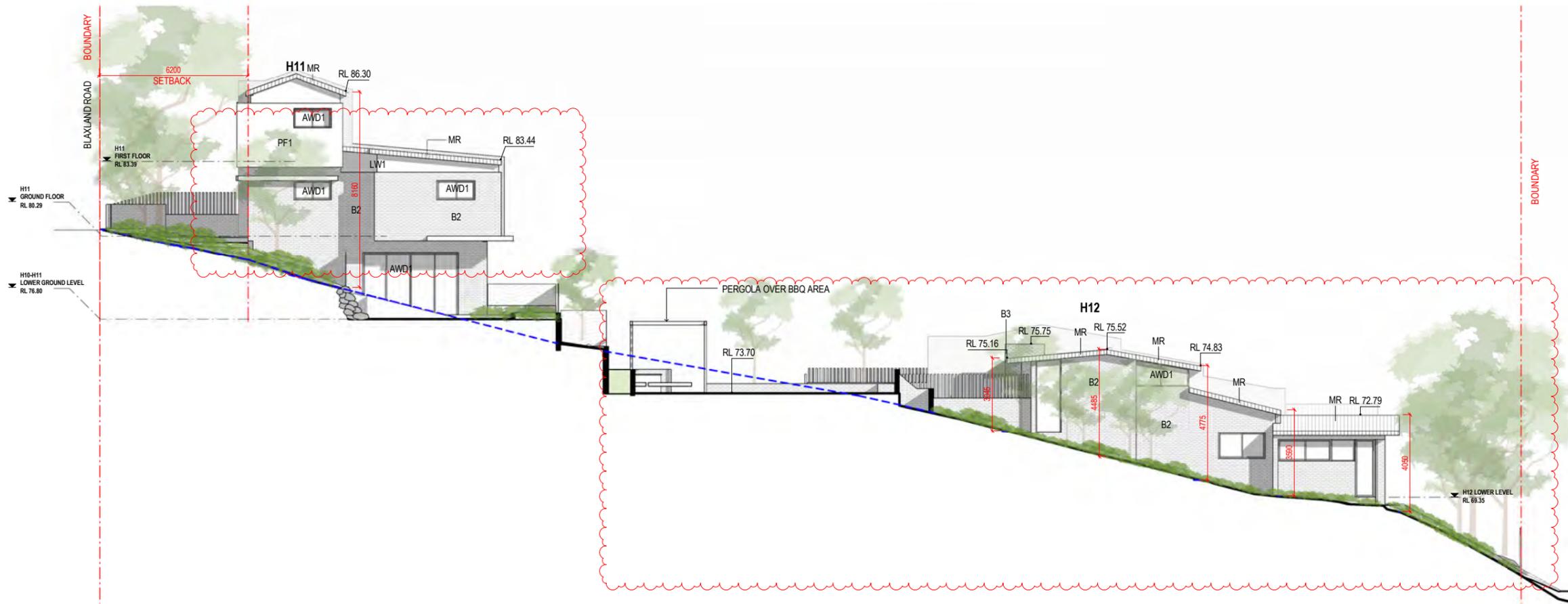
DA SUBMISSION

Job no.	Drawing no.	Rev.
J15284	DA 201.1	I
Drawn by PY	Checked by JY	Approved by JY
Date AUG 2019		



E1 WEST ELEVATION (OVERALL)

1 : 200 at A1 1:400 at A3



E2 WEST ELEVATION (PART A)

1 : 100 at A1 1:200 at A3

REFERENCES
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B1	RED BRICK OR SIMILAR
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B3	LIGHT GREY BRICK OR SIMILAR
CG	CLEAR GLASS
LW1	LIGHTWEIGHT CLADDING 01 - LIGHT GREY OR SIMILAR
MR	METAL ROOF - LIGHT GREY OR SIMILAR
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PF3	RENDER & PAINT FINISH DULUX RED EARTH OR SIMILAR
PF4	RENDER & PAINT FINISH DULUX SILVER TWILIGHT- LIGHT GREY OR SIMILAR
PF5	RENDER & PAINT FINISH DULUX NORSEWOOD- BEIGE OR SIMILAR
TG	TRANSLUCENT GLAZED SCREEN

GROUND LINE LEGEND

--- DENOTES EXISTING GROUND LINE

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D	28.08.18	GENERAL AMENDMENTS
C	27.07.18	GENERAL AMENDMENTS
B	20.10.17	ISSUE FOR DA
A	21.10.16	ISSUE FOR DA

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Project
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298-312 BLAXLAND ROAD, RYDE
 Drawing Title
WEST ELEVATIONS

DA SUBMISSION

Job no.	Drawing no.	Rev.	
J15284	DA 202	K	
Drawn by	Checked by	Approved by	Date
PY	JY	JY	AUG 2019

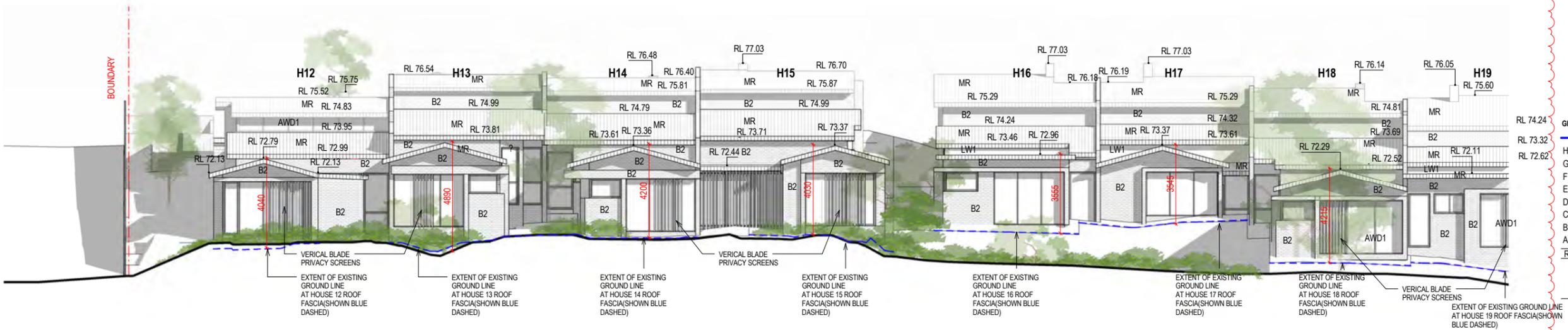
NO. 314
2 STOREY
DWELLING

NO. 292-96
1 + 2 STOREY
DWELLING



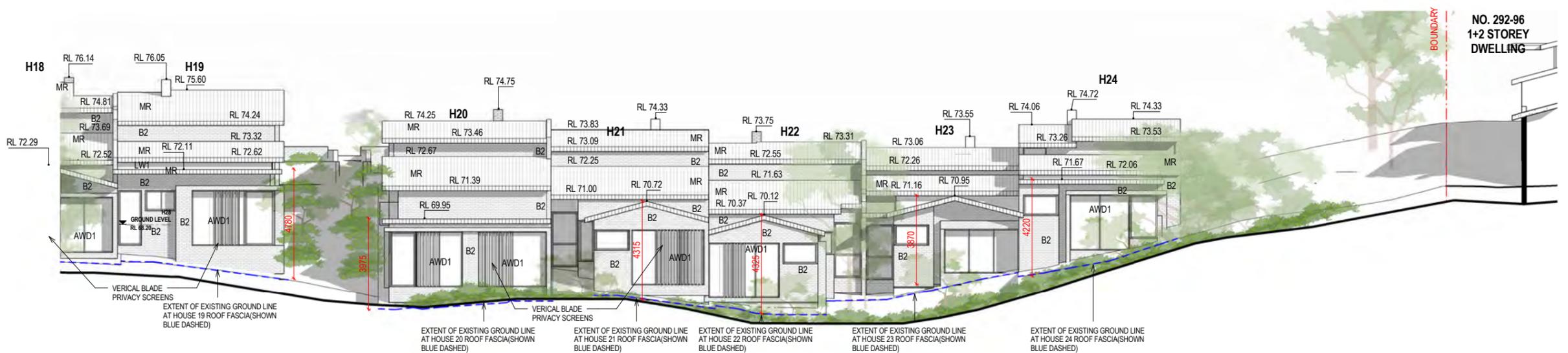
E1 SOUTH ELEVATION (OVERALL)

1:200 at A1 1:400 at A3



E2 SOUTH ELEVATION (PART A)

1:100 at A1 1:200 at A3



E3 SOUTH ELEVATION (PART B)

1:100 at A1 1:200 at A3

REFERENCES
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DO NOT SCALE MEASUREMENTS OFF DRAWINGS.

MATERIAL LEGEND

AWD1	ALUMINIUM FRAME WINDOWS & DOORS - DARK GREY OR SIMILAR
B1	RED BRICK OR SIMILAR
B2	AUSTRAL BRICK - URBAN ONE PEPPER OR SIMILAR
B3	LIGHT GREY BRICK OR SIMILAR
CG	CLEAR GLASS
LW1	LIGHTWEIGHT CLADDING 01 - LIGHT GREY OR SIMILAR
MR	METAL ROOF - LIGHT GREY OR SIMILAR
OG	TRANSLUCENT GLAZING
PF1	RENDER & PAINT FINISH DULUX WHITES - WHITE ON WHITE OR SIMILAR
PF2	RENDER & PAINT FINISH DULUX S66 GREYS - BLACK OR SIMILAR
PF3	RENDER & PAINT FINISH DULUX RED EARTH OR SIMILAR
PF4	RENDER & PAINT FINISH DULUX SILVER TWILIGHT - LIGHT GREY OR SIMILAR
PF5	RENDER & PAINT FINISH DULUX NORSEWOOD - BEIGE OR SIMILAR
TG	TRANSLUCENT GLAZED SCREEN

GROUND LINE LEGEND

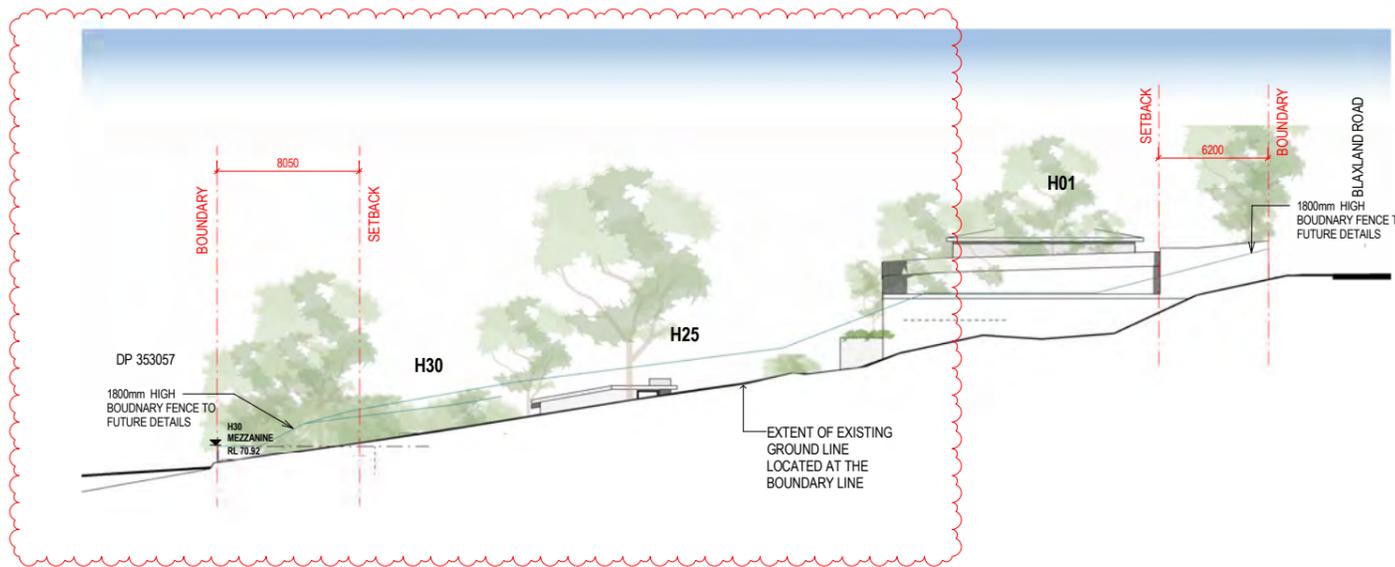
—	DENOTES EXISTING GROUND LINE
H	20.09.21 GENERAL AMENDMENTS
G	17.07.20 GENERAL AMENDMENTS
F	19.08.19 GENERAL AMENDMENTS
E	08.08.19 GENERAL AMENDMENTS
D	22.07.19 GENERAL AMENDMENTS
C	21.06.19 GENERAL AMENDMENTS
B	28.08.18 GENERAL AMENDMENTS
A	27.07.18 GENERAL AMENDMENTS

Rev.	Date	Description

SCALE AS INDICATED

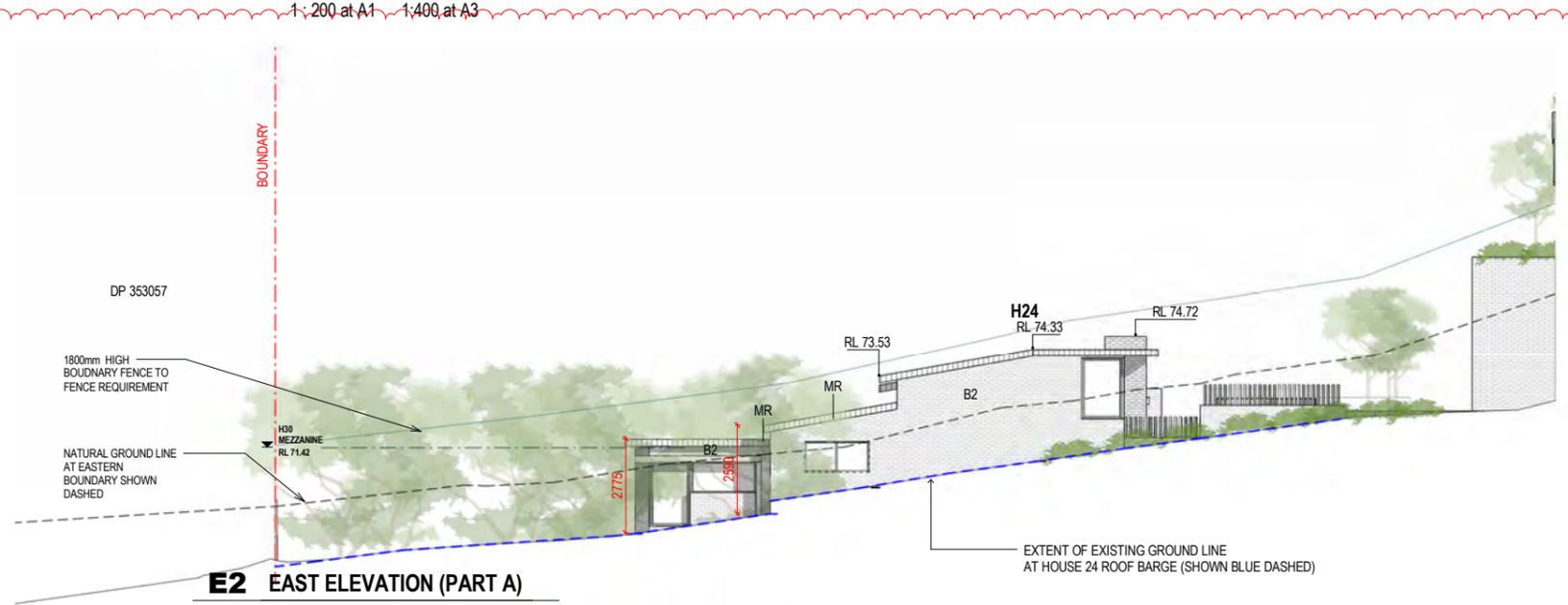
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Project
MULTI DWELLING DEVELOPMENT
298-312 BLAXLAND ROAD, RYDE
Drawing Title
SOUTH ELEVATIONS
DA SUBMISSION
Job no. Drawing no. Rev.
J15284 DA 203 H
Drawn by Checked by Approved by Date
PY JY JY AUG 2019



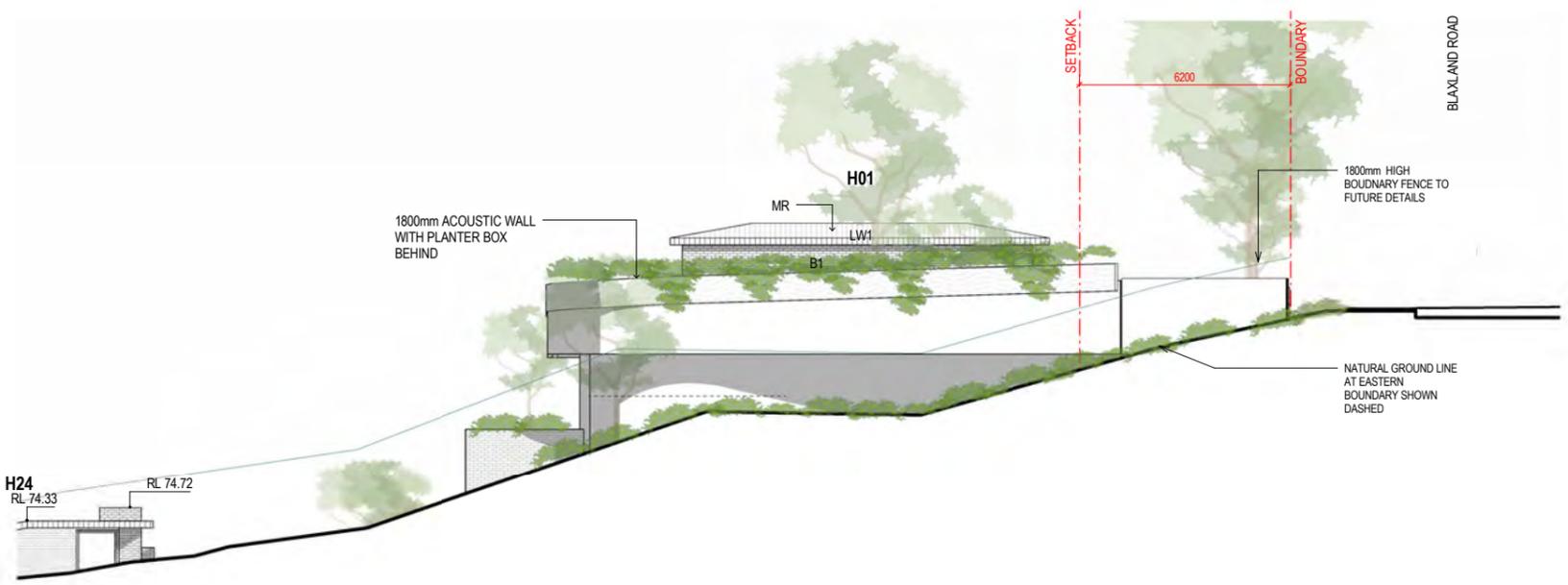
E1 EAST ELEVATION (OVERALL)

1:200 at A1 1:400 at A3



E2 EAST ELEVATION (PART A)

1:100 at A1 1:200 at A3



E3 EAST ELEVATION (PART B)

1:100 at A1 1:200 at A3

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MATERIAL LEGEND

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CG	CLEAR GLASS
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MR	METAL ROOF - LIGHT GREY OR SIMILAR
OG	TRANSLUCENT GLAZING
PF1	RENDER & PAINT FINISH DULUX WHITES - WHITE ON WHITE OR SIMILAR
PF2	RENDER & PAINT FINISH DULUX SG6 GREYS - BLACK OR SIMILAR
PF3	RENDER & PAINT FINISH DULUX RED EARTH OR SIMILAR
PF4	RENDER & PAINT FINISH DULUX SILVER TWILIGHT - LIGHT GREY OR SIMILAR
PF5	RENDER & PAINT FINISH DULUX NORSEWOOD - BEIGE OR SIMILAR
TG	TRANSLUCENT GLAZED SCREEN

GROUND LINE LEGEND
--- DENOTES EXISTING GROUND LINE

Rev.	Date	Description
L	20.09.21	GENERAL AMENDMENTS
K	17.07.20	GENERAL AMENDMENTS
J	07.02.20	GENERAL AMENDMENTS
I	22.08.19	GENERAL AMENDMENTS
H	19.08.19	GENERAL AMENDMENTS
G	09.08.19	GENERAL AMENDMENTS
F	22.07.19	GENERAL AMENDMENTS
E	21.06.19	GENERAL AMENDMENTS
D	28.08.18	GENERAL AMENDMENTS
C	27.07.18	GENERAL AMENDMENTS
B	20.10.17	ISSUE FOR DA
A	21.10.16	ISSUE FOR DA

SCALE AS INDICATED

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Project
MULTI DWELLING DEVELOPMENT

298-312 BLAXLAND ROAD, RYDE

Drawing Title
EAST ELEVATIONS

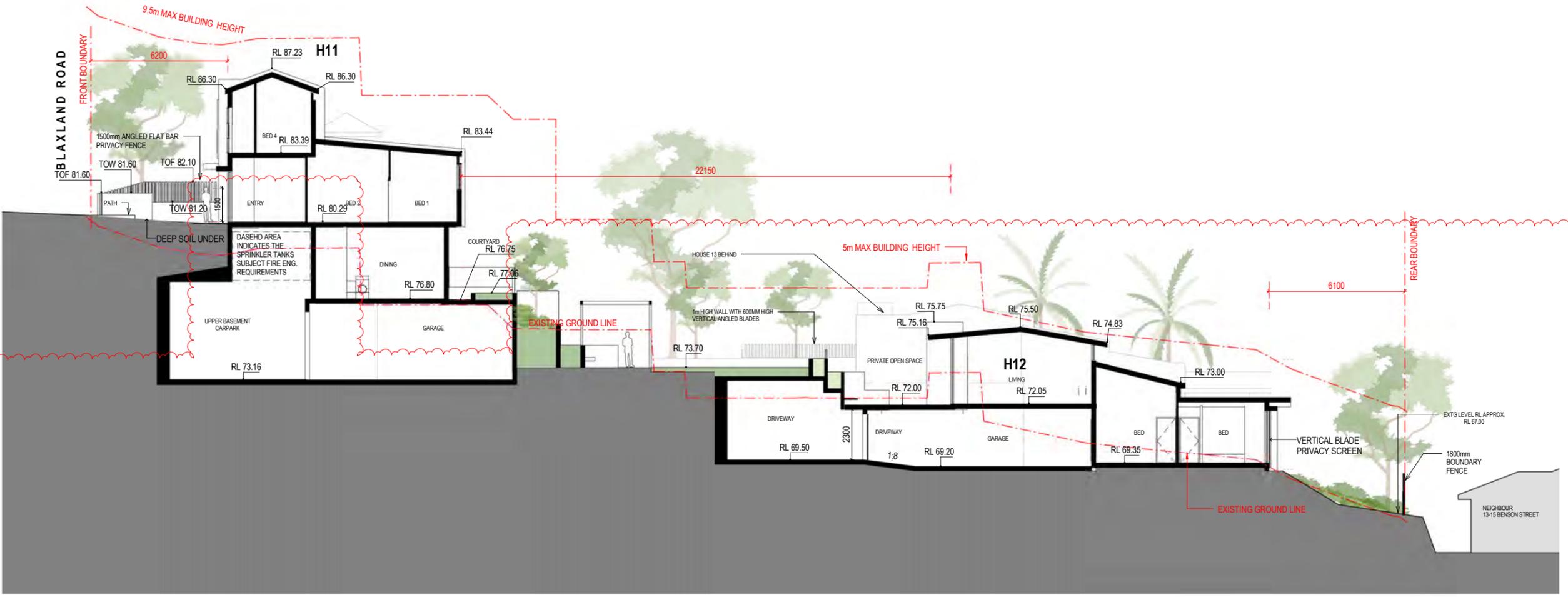
DA SUBMISSION

Job no.	Drawing no.	Rev.
J15284	DA 204	L
Drawn by	Checked by	Approved by
PY	JY	JY
Date	AUG 2019	

REFERENCES
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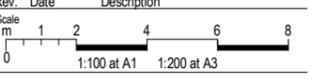
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AA SECTION AA
 1 : 100 at A1 1:200 at A3

Rev.	Date	Description
N	20.09.21	GENERAL AMENDMENTS
M	17.07.20	GENERAL AMENDMENTS
L	07.02.20	GENERAL AMENDMENTS
K	23.08.19	GENERAL AMENDMENTS
J	19.08.19	GENERAL AMENDMENTS
I	16.08.19	GENERAL AMENDMENTS
H	09.08.19	GENERAL AMENDMENTS
G	23.07.19	GENERAL AMENDMENTS
F	22.07.19	GENERAL AMENDMENTS
E	21.06.19	GENERAL AMENDMENTS
D	28.08.18	GENERAL AMENDMENTS
C	27.07.18	GENERAL AMENDMENTS
B	20.10.17	ISSUE FOR DA
A	21.10.16	ISSUE FOR DA



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Project
MULTI DWELLING DEVELOPMENT

298-312 BLAXLAND ROAD, RYDE

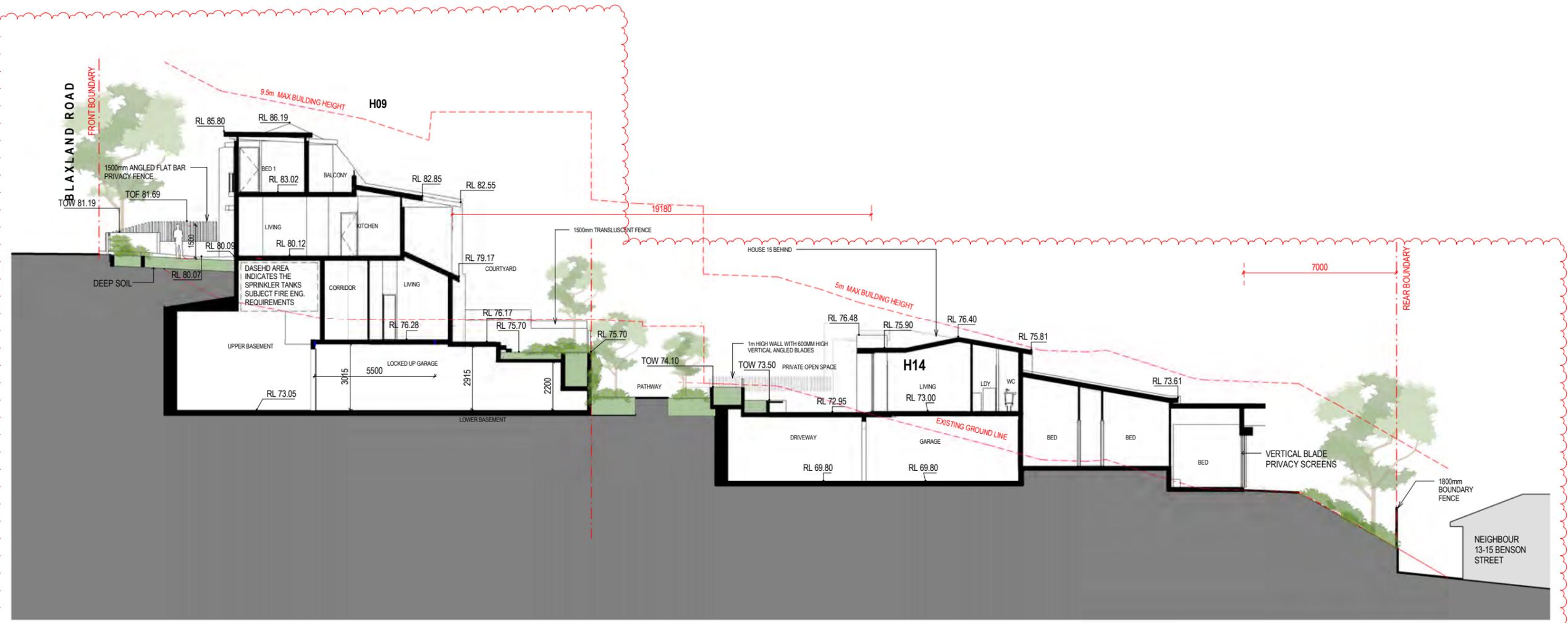
Drawing Title
SECTION AA

DA SUBMISSION

Job no.	Drawing no.	Rev.
J15284	DA 301	N
Drawn by PY	Checked by JY	Approved by JY
		Date AUG 2019

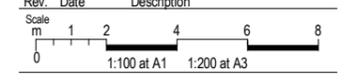
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BB SECTION BB
 1 : 100 at A1 1:200 at A3

Rev.	Date	Description
N	20.09.21	GENERAL AMENDMENTS
M	17.07.20	GENERAL AMENDMENTS
L	07.02.20	GENERAL AMENDMENTS
K	23.08.19	GENERAL AMENDMENTS
J	19.08.19	GENERAL AMENDMENTS
I	16.08.19	GENERAL AMENDMENTS
H	09.08.19	GENERAL AMENDMENTS
G	23.07.19	GENERAL AMENDMENTS
F	22.07.19	GENERAL AMENDMENTS
E	21.06.19	GENERAL AMENDMENTS
D	28.08.18	GENERAL AMENDMENTS
C	27.07.18	GENERAL AMENDMENTS
B	20.10.17	ISSUE FOR DA
A	21.10.16	ISSUE FOR DA



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Project
MULTI DWELLING DEVELOPMENT

298-312 BLAXLAND ROAD, RYDE
 Drawing Title
SECTION BB

DA SUBMISSION

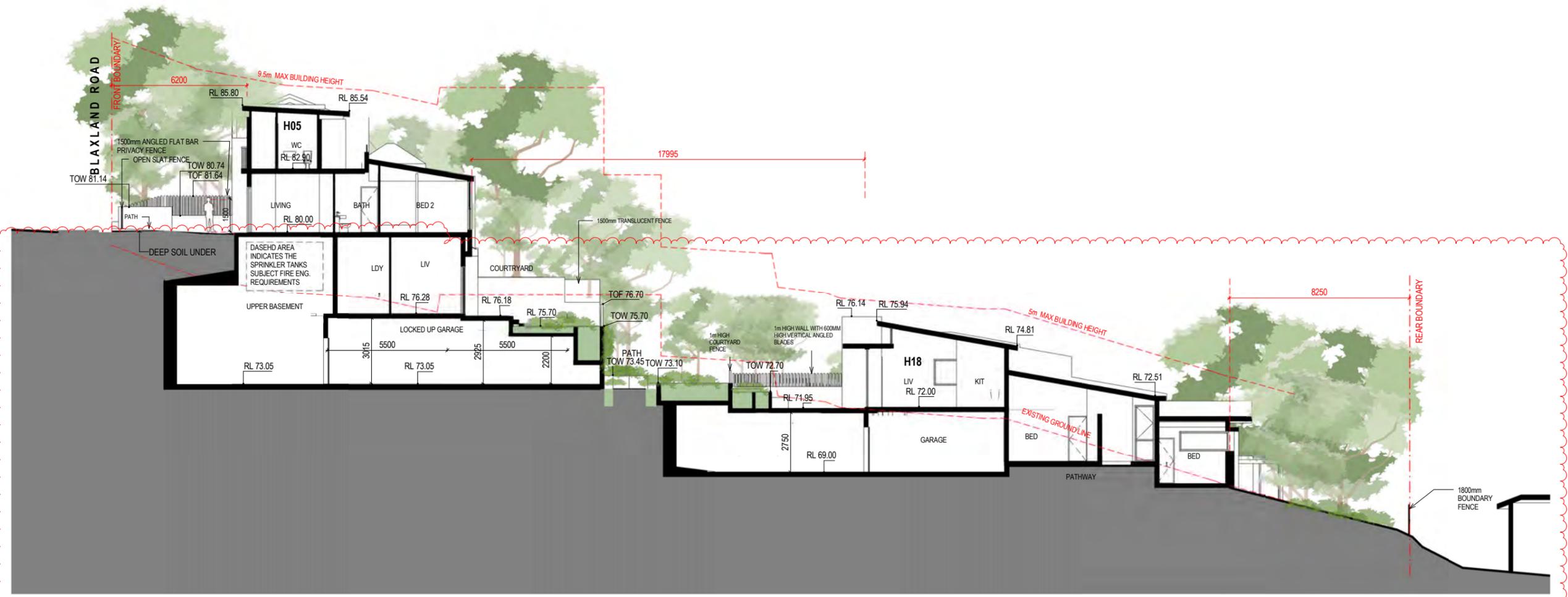
Job no.	Drawing no.	Rev.
J15284	DA 303	N

Drawn by	Checked by	Approved by	Date
PY	JY	JY	AUG 2019

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CC SECTION CC
 1 : 100 at A1 1:200 at A3

N	20.09.21	GENERAL AMENDMENTS
M	17.07.20	GENERAL AMENDMENTS
L	07.02.20	GENERAL AMENDMENTS
K	23.08.19	GENERAL AMENDMENTS
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F	22.07.19	GENERAL AMENDMENTS
E	21.06.19	GENERAL AMENDMENTS
D	28.08.18	GENERAL AMENDMENTS
C	27.07.18	GENERAL AMENDMENTS
B	20.10.17	ISSUE FOR DA
A	21.10.16	ISSUE FOR DA

Rev.	Date	Description
0		



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Project
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298-312 BLAXLAND ROAD, RYDE

Drawing Title
SECTION CC

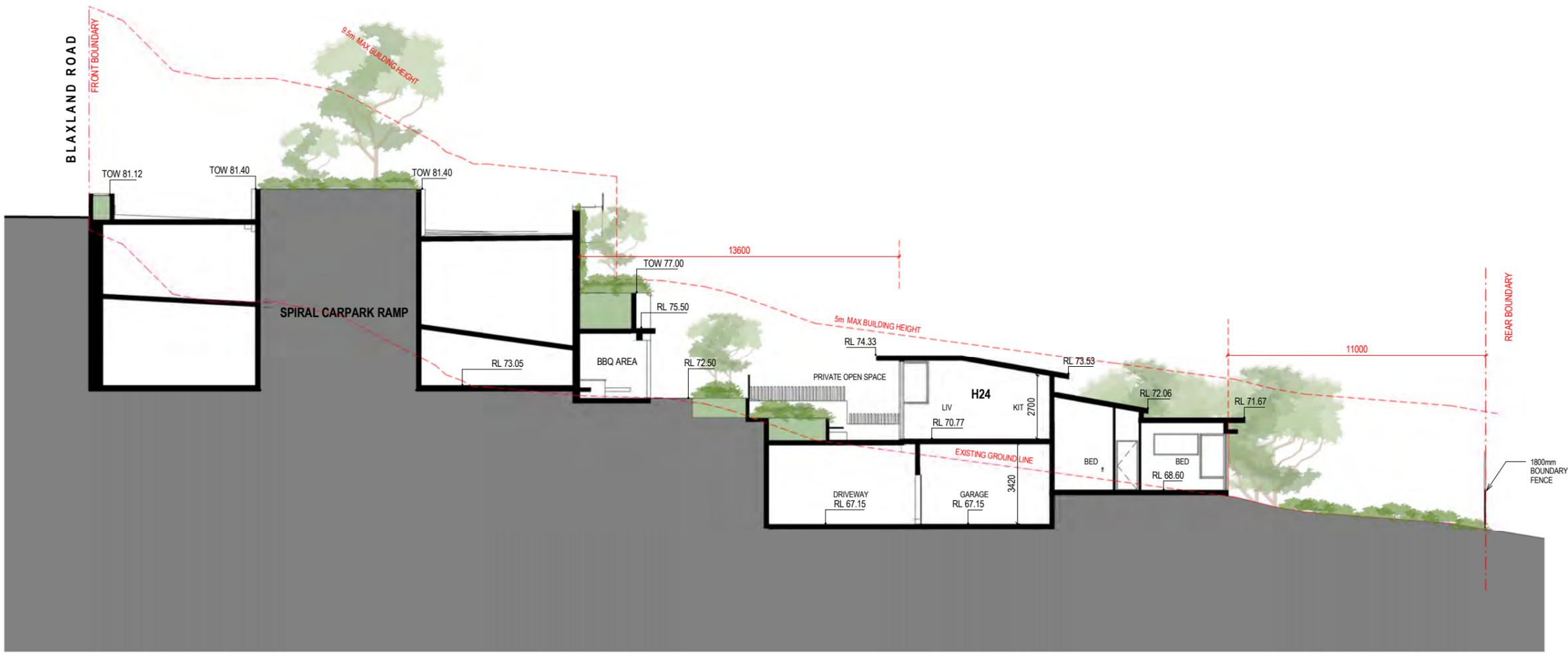
DA SUBMISSION

Job no.	Drawing no.	Rev.
J15284	DA 305	N

Drawn by	Checked by	Approved by	Date
PY	JY	JY	AUG 2019

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EE SECTION EE
 1:100 at A1 1:200 at A3

Rev.	Date	Description
A	20.09.21	GENERAL AMENDMENTS

Scale
 m 0 1 2 4 6 8
 1:100 at A1 1:200 at A3

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Project
MULTI DWELLING DEVELOPMENT

298-312 BLAXLAND ROAD, RYDE
 Drawing Title
SECTION EE

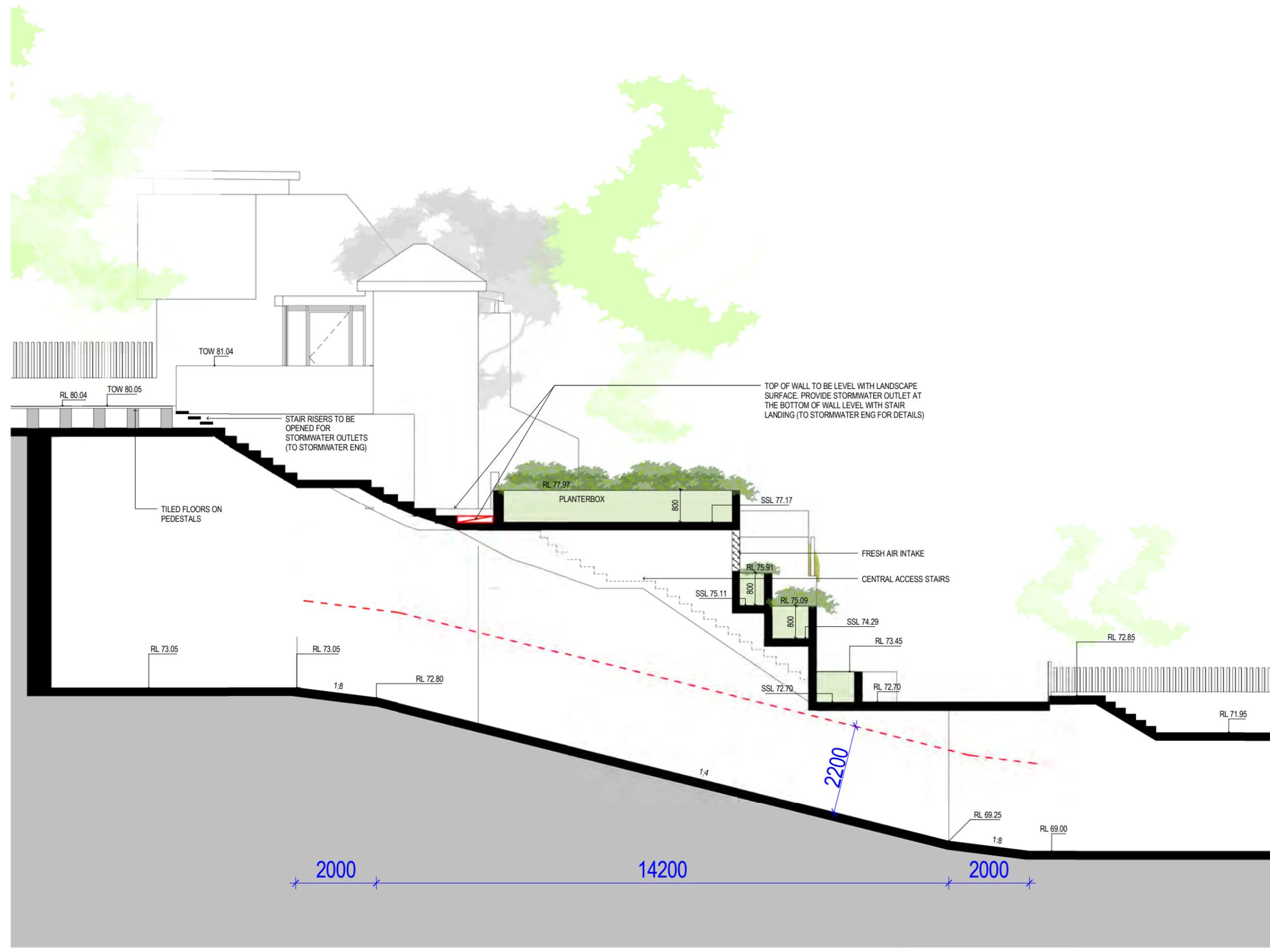
DA SUBMISSION

Job no.	Drawing no.	Rev.
J15284	DA 307	A

Drawn by	Checked by	Approved by	Date
PY	RJ	ZC	AUG 2019

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Rev.	Date	Description
A	20.09.21	GENERAL AMENDMENTS

Scale
 0 0.5 1 2 3 4
 1:50 at A1 1:100 at A3

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Project
MULTI DWELLING DEVELOPMENT

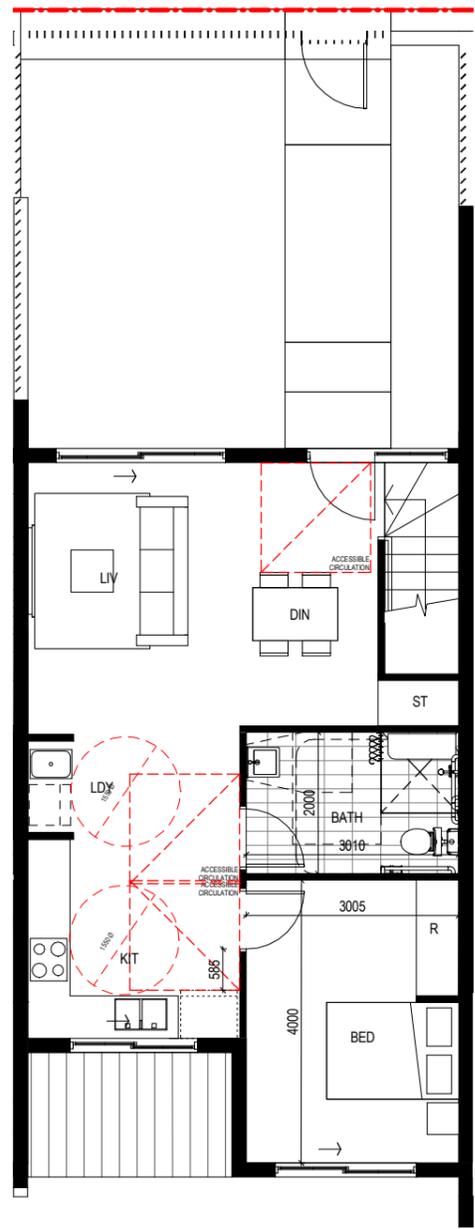
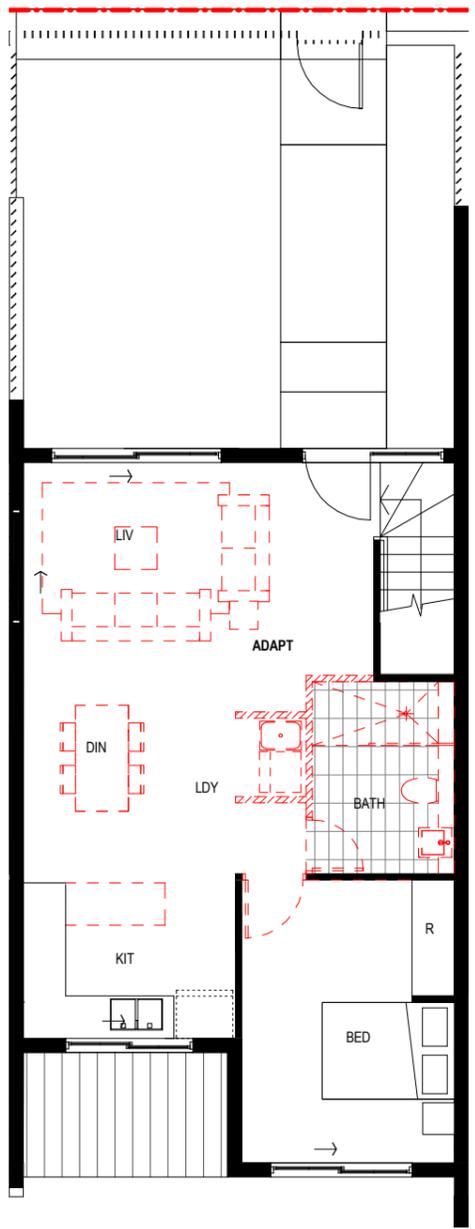
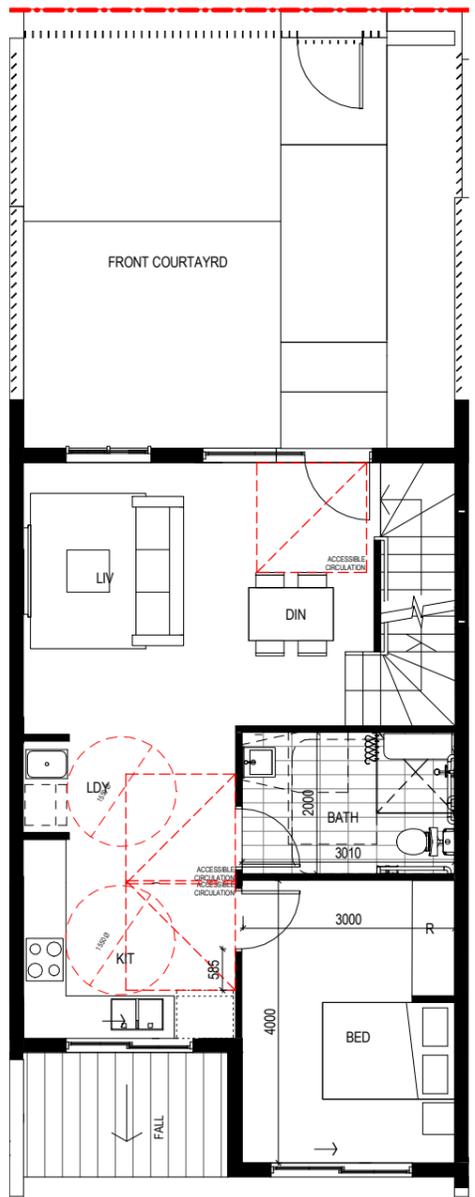
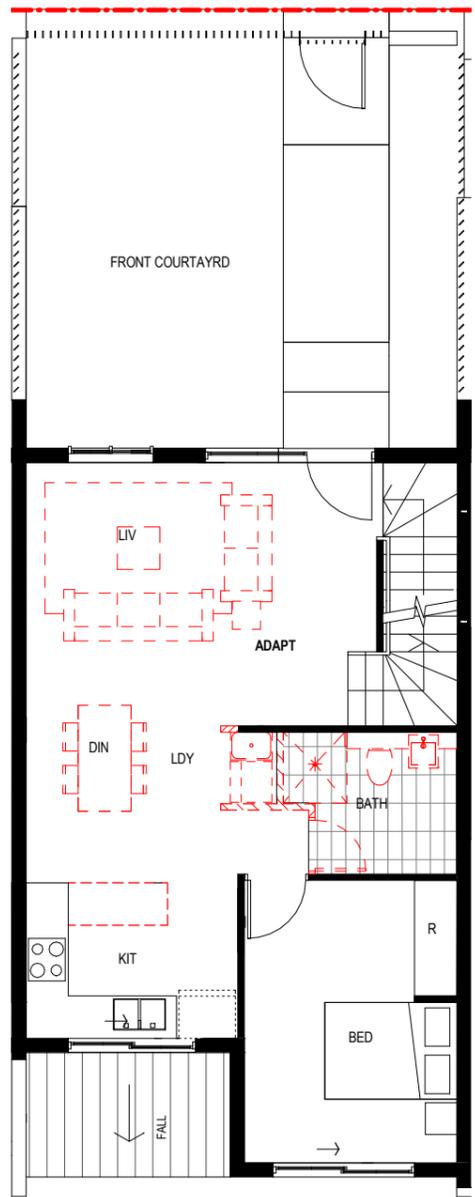
298-312 BLAXLAND ROAD, RYDE
 Drawing Title
SECTION - CENTRAL CARPARK RAMP

DA SUBMISSION			
Job no.	Drawing no.	Rev.	
J15284	DA 308	A	
Drawn by	Checked by	Approved by	Date
PY	RJ	ZC	AUG 2019

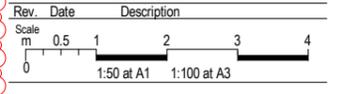
1 SECTION - CENTRAL CARPARK RAMP
 1:50 at A1 1:100 at A3

REFERENCES
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A	21.10.16	ISSUE FOR DA



1 TYPICAL PRE-ADAPTABLE DWELLING ENTRY LEVEL (H2-H7) 1:50 at A1 1:100 at A3

2 TYPICAL POST-ADAPTABLE DWELLING ENTRY LEVEL (H2-H7) 1:50 at A1 1:100 at A3

3 PRE-ADAPTABLE DWELLING ENTRY LEVEL (H1&H8 OPP.) 1:50 at A1 1:100 at A3

4 POST-ADAPTABLE DWELLING ENTRY LEVEL (H1&H8 OPP.) 1:50 at A1 1:100 at A3

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Project
MULTI DWELLING DEVELOPMENT

298-312 BLAXLAND ROAD, RYDE
 Drawing Title
PRE + POST ADAPTABLE UNIT LAYOUT

DA SUBMISSION

Job no.	Drawing no.	Rev.	
J15284	DA 500	J	
Drawn by	Checked by	Approved by	Date
PY	JY	JY	AUG 2019

CONTRACTOR TO ENSURE THE FOLLOWING PROVISIONS ALLOWED FOR ADAPTABLE UNIT
 REFER TO AS4299 FOR FURTHER DETAILS

- 1.0 Door Thresholds to be low-level
- 2.0 Accessible entry door to have 850 mm min. clearance
- 3.0 Door lever handles and hardware to AS 1428.1
- 4.0 Potential min. illumination level 300 Lux to all spaces
- 5.0 Internal doors to have 820 mm min. clearance
- 6.0 Internal corridors min. width of 1000 mm
- 7.0 Provision for compliance with AS 1428.1 for door approaches
- 8.0 Telephone adjacent to GPO

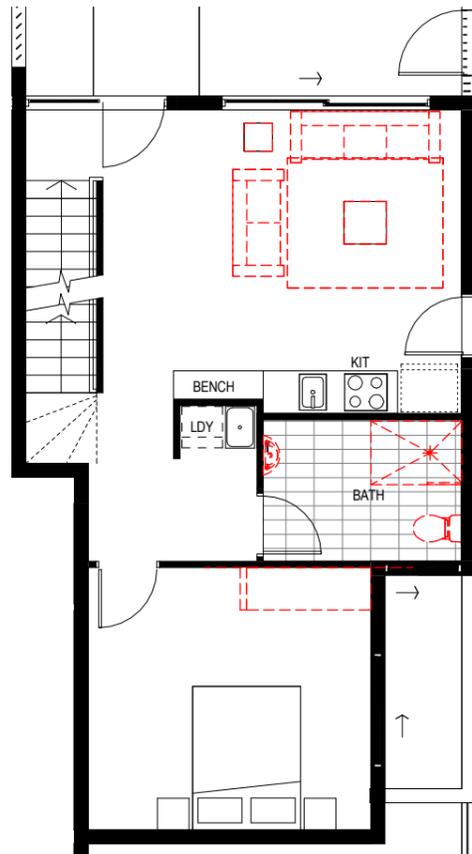
- Kitchens
- 9.0 Provision for benches planned to include at least one worksurface of 800 mm length, adjustable in height from 750 mm to 850 mm or replaceable.
 - 10.0 Refrigerator adjacent to work surf ace
 - 11.0 Kitchen sink adjustable to heights from 750 mm to 850 mm or replaceable
 - 12.0 Kitchen sink bowl max. 150 mm deep when adapted
 - 13.0 Tap set capstan or lever handles or lever mixer
 - 14.0 Tap set located within 300 mm of front of sink
 - 15.0 Cooktops to include either front or side controls with raised cross bars
 - 16.0 Cooktops to include isolating switch
 - 17.0 Worksurf ace min. 800 mm length adjacent to cooktop at same height
 - 18.0 Oven located adjacent to an adjustable height or replaceable work surf ace
 - 19.0 GPOs to comply with AS 1428.1. At least one double GPO within 300 mm of front of worksurface in kitchen
 - 20.0 GPO for refrigerator to be easily reachable when the refrigerator is in its operating position
 - 21.0 Slip-resistant floor surface

- Bathrooms and/or Ensuites.
- 22.0 Shower recess- no hob. Minimum size 1160 x 1100 to comply with AS 1428.1
 - 23.0 Shower area waterproofed to AS 3740 with floor to fall to waste
 - 24.0 Recessed soap holder
 - 25.0 Shower taps positioned for easy reach to access side of shower sliding track
 - 26.0 Provision for adjustable, detachable hand held shower rose mounted on a slider grabrail or fixed hook (plumbing and wall - strengthening provision)
 - 27.0 Provision for grabrail in shower (Refer to Figure 4.7) to comply with AS 1428.1
 - 28.0 Tap sets to be capstan or lever handles with single outlet
 - 29.0 Provision for washbasin with clearances to comply with AS 1428.1
 - 30.0 Double GPO beside mirror
 - 31.0 Location of WC pan at correct distance from fixed walls

REFERENCES
DRAWINGS TO BE READ IN CONJUNCTION WITH BUT NOT LIMITED TO ALL STRUCTURAL ENGINEERS, STORMWATER ENGINEERS, LANDSCAPE ARCHITECTS, AND OTHER ASSOCIATED PLANS & REPORTS

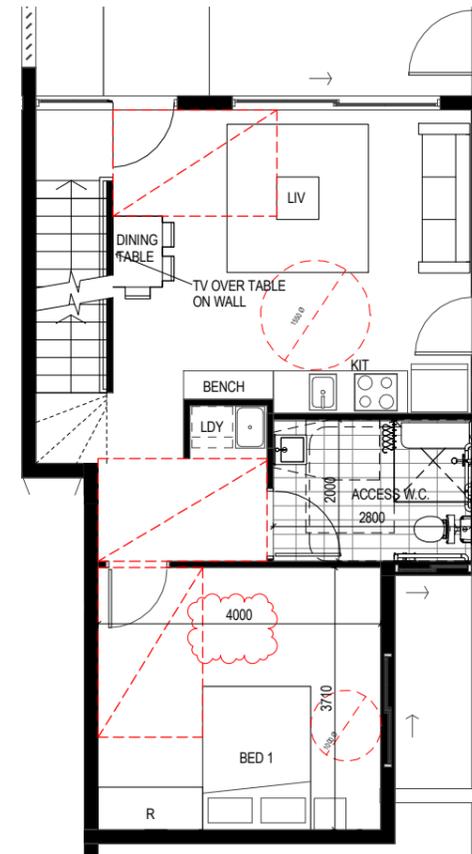
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1 TYPICAL PRE-ADAPTABLE DWELLING (H10) ENTRY LEVEL

1:50 at A1 1:100 at A3



2 TYPICAL POST-ADAPTABLE DWELLING (H10) ENTRY LEVEL

1:50 at A1 1:100 at A3

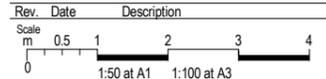
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- 1.0 Door Thresholds to be low-level
- 2.0 Accessible entry door to have 850 mm min. clearance
- 3.0 Door lever handles and hardware to AS 1428.1
- 4.0 Potential min. illumination level 300 Lux to all spaces
- 5.0 Internal doors to have 820 mm min. clearance
- 6.0 Internal corridors min. width of 1000 mm
- 7.0 Provision for compliance with AS 1428.1 for door approaches
- 8.0 Telephone adjacent to GPO

- Kitchens
- 9.0 Provision for benches planned to include at least one worksurface of 800 mm length, adjustable in height from 750 mm to 850 mm or replaceable.
 - 10.0 Refrigerator adjacent to work surf ace
 - 11.0 Kitchen sink adjustable to heights from 750 mm to 850 mm or replaceable
 - 12.0 Kitchen sink bowl max. 150 mm deep when adapted
 - 13.0 Tap set capstan or lever handles or lever mixer
 - 14.0 Tap set located within 300 mm of front of sink
 - 15.0 Cooktops to include either front or side controls with raised cross bars
 - 16.0 Cooktops to include isolating switch
 - 17.0 Worksurf ace min. 800 mm length adjacent to cooktop at same height
 - 18.0 Oven located adjacent to an adjustable height or replaceable work surf ace
 - 19.0 GPOs to comply with AS 1428.1. At least one double GPO within 300 mm of front of worksurface in kitchen
 - 20.0 GPO for refrigerator to be easily reachable when the refrigerator is in its operating position
 - 21.0 Slip-resistant floor surface

- Bathrooms and/or Ensuites.
- 22.0 Shower recess- no hob. Minimum size 1160 x 1100 to comply with AS 1428.1.
 - 23.0 Shower area waterproofed to AS 3740 with floor to fall to waste
 - 24.0 Recessed soap holder
 - 25.0 Shower taps positioned for easy reach to access side of shower sliding track
 - 26.0 Provision for adjustable, detachable hand held shower rose mounted on a slider grabrail or fixed hook (plumbing and wall - strengthening provision)
 - 27.0 Provision for grabrail in shower (Refer to Figure 4.7) to comply with AS 1428.1
 - 28.0 Tap sets to be capstan or lever handles with single outlet
 - 29.0 Provision for washbasin with clearances to comply with AS 1428.1
 - 30.0 Double GPO beside mirror
 - 31.0 Location of WC pan at correct distance from fixed walls

Rev.	Date	Description
E	20.09.21	GENERAL AMENDMENTS
D	17.07.20	GENERAL AMENDMENTS
C	07.02.20	GENERAL AMENDMENTS
B	23.07.19	GENERAL AMENDMENTS
A	21.06.19	GENERAL AMENDMENTS



Project Architect



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Project

MULTI DWELLING DEVELOPMENT

298-312 BLAXLAND ROAD, RYDE

Drawing Title

PRE + POST ADAPTABLE UNIT LAYOUT SHEET 2

DA SUBMISSION

Job no.	Drawing no.	Rev.
J15284	DA 501	E

Drawn by	Checked by	Approved by	Date
PY	JY	JY	AUG 2019

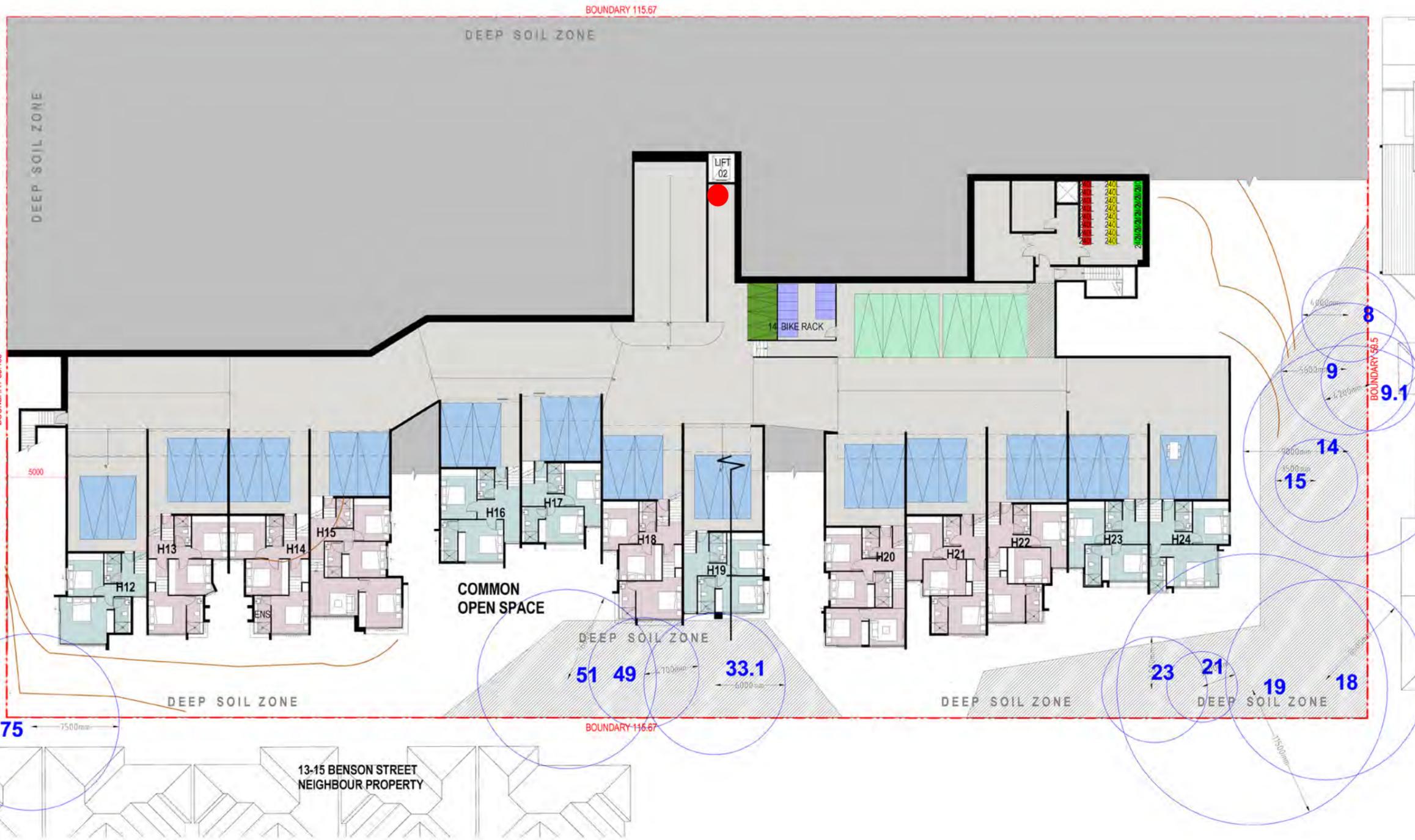
BLAXLAND ROAD

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314 BLAXLAND ROAD
NEIGHBOUR PROPERTY



LEGEND

- WHEEL CHAIR ACCESS PATH OF TRAVEL
- GENERAL ACCESS PATH OF TRAVEL

Rev.	Date	Description
I	20.09.21	GENERAL AMENDMENTS
H	17.07.20	GENERAL AMENDMENTS
G	07.02.20	GENERAL AMENDMENTS
F	22.08.19	GENERAL AMENDMENTS
E	19.08.19	GENERAL AMENDMENTS
D	16.08.19	GENERAL AMENDMENTS
C	09.08.19	GENERAL AMENDMENTS
B	22.07.19	GENERAL AMENDMENTS
A	21.06.19	GENERAL AMENDMENTS

Scale
 0 2 4 8 12 16
 1:200 at A1 1:400 at A3

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Project:
MULTI DWELLING DEVELOPMENT

298-312 BLAXLAND ROAD, RYDE
 Drawing Title:
PATH OF TRAVEL DIAGRAM (LOWER BASEMENT)

DA SUBMISSION

Job no.	Drawing no.	Rev.	
J15284	DA 507	I	
Drawn by	Checked by	Approved by	Date
PY	JY	JY	AUG 2019

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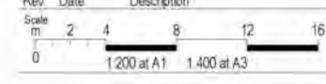
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LEGEND

- WHEEL CHAIR ACCESS PATH OF TRAVEL
- GENERAL ACCESS PATH OF TRAVEL

Rev.	Date	Description
H	20.09.21	GENERAL AMENDMENTS
G	17.07.20	GENERAL AMENDMENTS
F	07.02.20	GENERAL AMENDMENTS
E	23.08.19	GENERAL AMENDMENTS
D	22.08.19	GENERAL AMENDMENTS
C	19.08.19	GENERAL AMENDMENTS
B	16.08.19	GENERAL AMENDMENTS
A	09.08.19	GENERAL AMENDMENTS



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Project:
MULTI DWELLING DEVELOPMENT

298-312 BLAXLAND ROAD, RYDE
 Drawing Title:
PATH OF TRAVEL DIAGRAM (UPPER BASEMENT LEVEL / ENTRY LEVEL REAR HOUSES)

DA SUBMISSION

Job no.	Drawing no.	Rev.
J15284	DA 508	H
Drawn by PY	Checked by JY	Approved by JY
Date AUG 2019		

BLAXLAND ROAD

LIFT ACCESS TO ENTRY AND
BASEMENT LEVEL H 12-24

LIFT ACCESS TO H 1-11
BASEMET ENTRY

REFERENCES
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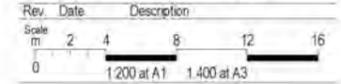
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LEGEND

- WHEEL CHAIR ACCESS PATH OF TRAVEL
- GENERAL ACCESS PATH OF TRAVEL

Rev.	Date	Description
G	20.09.21	GENERAL AMENDMENTS
F	17.07.20	GENERAL AMENDMENTS
E	07.02.20	GENERAL AMENDMENTS
D	09.08.19	GENERAL AMENDMENTS
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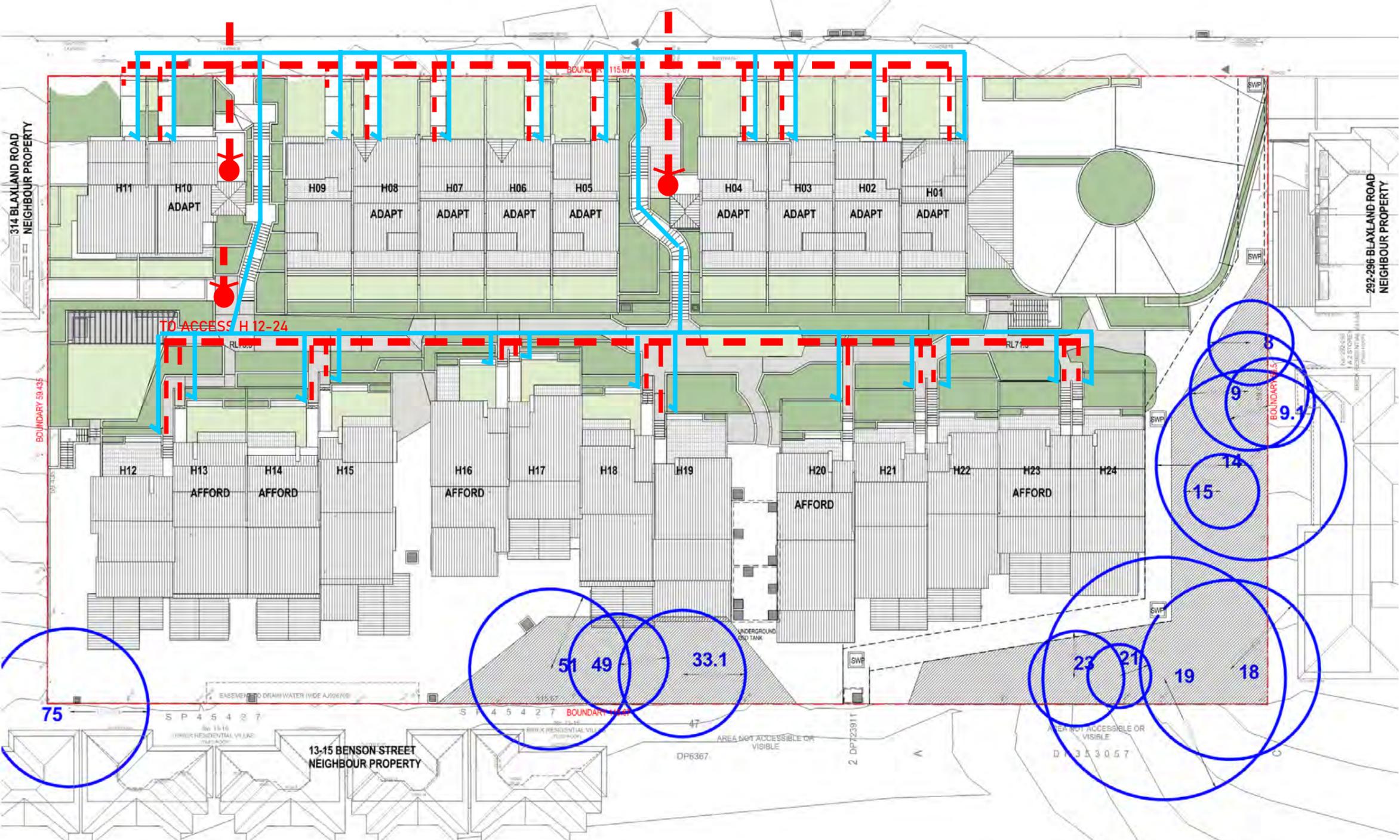
Project:
MULTI DWELLING DEVELOPMENT

298-312 BLAXLAND ROAD, RYDE

Drawing Title:
**PATH OF TRAVEL DIAGRAM (GROUND
LEVEL FRONT)**

DA SUBMISSION

Job no.	Drawing no.	Rev.
J15284	DA 510	G
Drawn by PY	Checked by JY	Approved by JY
Date AUG 2019		



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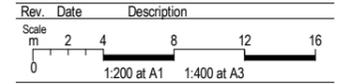
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SHADOW DIAGRAM LEGEND

- SHADOWS CAST BY EXISTING NEIGHBOUR
- SHADOWS CAST BY PROPOSED BUILDING

Rev.	Date	Description
L	20.09.21	GENERAL AMENDMENTS
K	17.07.20	GENERAL AMENDMENTS
J	13.07.20	GENERAL AMENDMENTS
I	07.02.20	GENERAL AMENDMENTS
H	19.08.19	GENERAL AMENDMENTS
G	09.08.19	GENERAL AMENDMENTS
F	22.07.19	GENERAL AMENDMENTS
E	21.06.19	GENERAL AMENDMENTS
D	28.08.18	GENERAL AMENDMENTS
C	27.07.18	GENERAL AMENDMENTS
B	20.10.17	ISSUE FOR DA
A	21.10.16	ISSUE FOR DA



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Project
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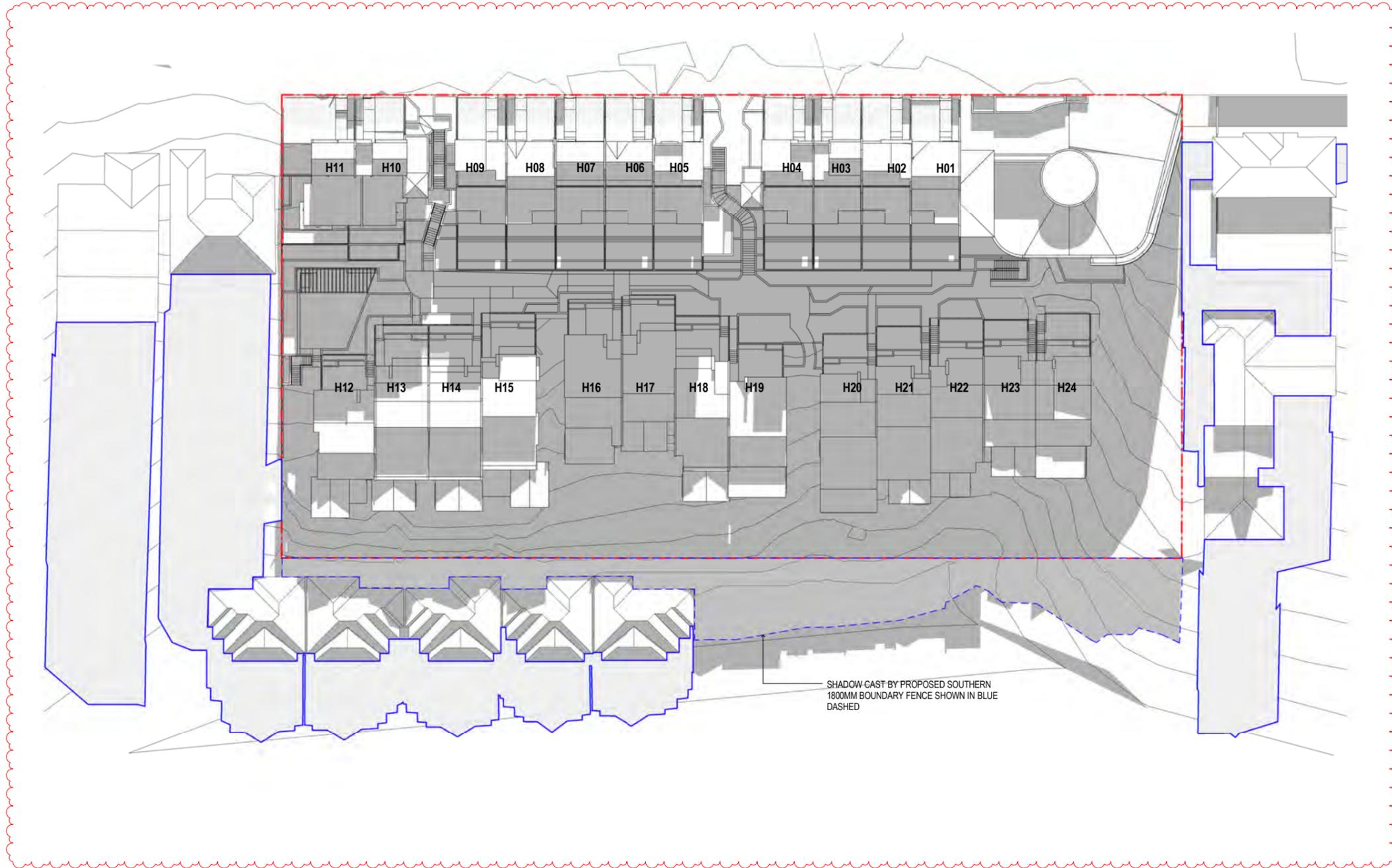
298-312 BLAXLAND ROAD, RYDE

Drawing Title
SHADOW DIAGRAM 9AM

DA SUBMISSION

Job no.	Drawing no.	Rev.
J15284	DA 600	L

Drawn by	Checked by	Approved by	Date
PY	JY	JY	AUG 2019



SHADOW CAST BY PROPOSED SOUTHERN 1800MM BOUNDARY FENCE SHOWN IN BLUE DASHED

1 SHADOW DIAGRAM 9:00AM MID WINTER

1:300