

63-71 WATERLOO ROAD MACQUARIE PARK

AMENDED PLANS

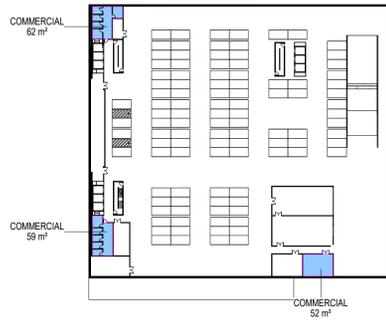
A21005 09/12/21



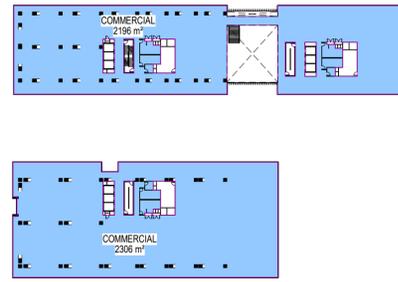
NOMINATED ARCHITECT: TONY KAICHI LEUNG NSW 7133 DESIGN GROUP

DRAWING LIST

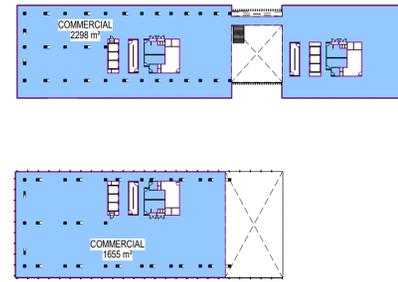
SHEET NAME		REV	SHEET NAME		REV		
A0.00	COVER PAGE		17.	A3.16	LEVEL 12	E	
A1.01	DRAWING LIST	E	17.	A3.17	LEVEL 13	E	
A1.02	DEVELOPMENT SUMMARY	D	17.	A3.18	LEVEL 14	C	
A1.03	DEVELOPMENT SUMMARY	B		A3.19	LEVEL ROOF	B	
A1.04	COMPLIANCE ENVELOPE	A	17.	A4.01	ELEVATION - WEST - BUILDING B	E	
A2.01	SITE ANALYSIS	C	17.	A4.02	ELEVATION - NORTH	E	
A2.02	SURVEY	B	17.	A4.03	ELEVATION - EAST - BUILDING A	E	
A2.03	DEMOLITION PLAN	C	17.	A4.04	ELEVATION - SOUTH	E	
3.	A2.04	STAGE 1 - ROAD ONE	D	17.	A4.05	ELEVATION - WEST - BUILDING A	E
3.	A2.05	STAGE 2 - REMAINING WORKS	C	17.	A4.06	ELEVATION - EAST - BUILDING B	E
A3.00	BASEMENT 3	B		A5.01	SECTION A-A	E	
A3.01	BASEMENT 2	C		A5.02	SECTION B-B	E	
19.	A3.02	BASEMENT 1	D	A5.03	SECTION C-C	E	
16.	17.	A3.03	E	12.	A5.10	FACADE SECTION	C
16.	17.	A3.04	E	12.	A5.11	FACADE ILLUSTRATIONS - BUILDING A	D
17.	A3.05	LEVEL 1	D	12.	A5.12	FACADE ILLUSTRATIONS - BUILDING B	C
17.	A3.06	LEVEL 2	D	12.	A5.13	FACADE ILLUSTRATIONS - BUILDING B	C
17.	A3.07	LEVEL 3	D		A6.01	SCHEDULE OF MATERIALS & FINISHES	C
17.	A3.08	LEVEL 4	D		A7.01	CGI - WATERLOO ROAD	E
17.	A3.09	LEVEL 5	D		A7.02	CGI - 'CENTRAL PARK'	D
17.	A3.10	LEVEL 6	D		A8.02	SHADOW DIAGRAMS - 21st JUNE	E
17.	A3.11	LEVEL 7	D		A8.03	SHADOW DIAGRAMS - 21st JUNE	E
17.	A3.12	LEVEL 8	D				
17.	A3.13	LEVEL 9	D				
17.	A3.14	LEVEL 10	D				
17.	A3.15	LEVEL 11	D				



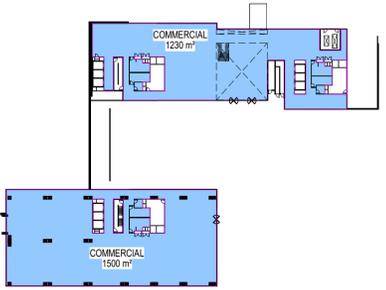
GFA BASEMENT 1



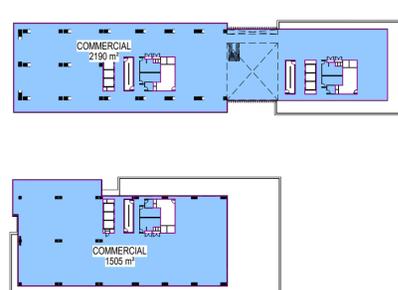
GFA LEVEL 2



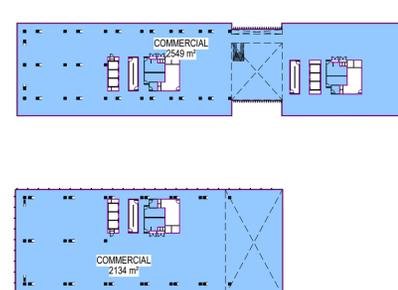
GFA LEVEL 6



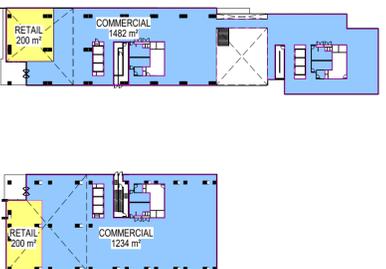
GFA LEVEL LOWER GROUND



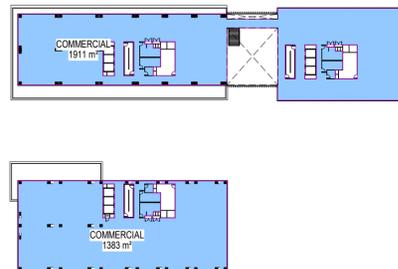
GFA LEVEL 3



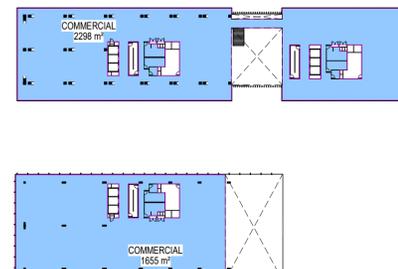
GFA LEVEL 7



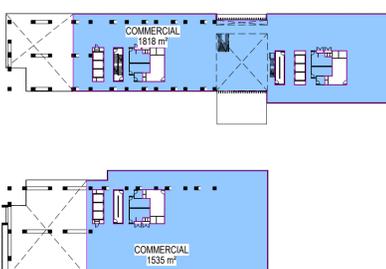
GFA LEVEL UPPER GROUND



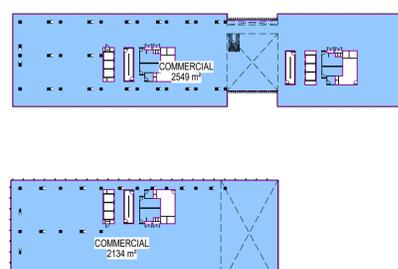
GFA LEVEL 4



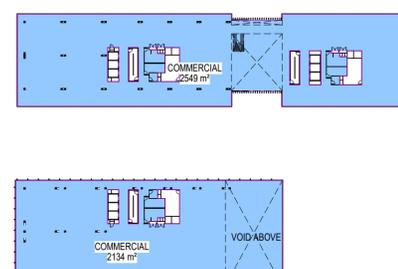
GFA LEVEL 8



GFA LEVEL 1



GFA LEVEL 5



GFA LEVEL 9

13.

GFA SUMMARY

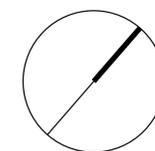
SITE AREA: 19,763 m²

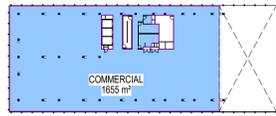
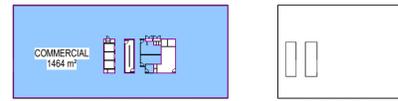
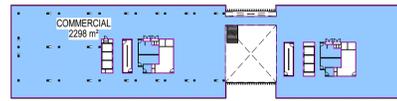
	RETAIL	COMMERCIAL	TOTAL
BUILDING A	200 m ²	25,209 m ²	25,409 m ²
BUILDING B	200 m ²	33,680 m ²	33,880 m ²
TOTAL			59,289 m ²

FSR (BASE + INCENTIVE) 3:1
FSR PROPOSED 3:1 (COMPLY)

TOTAL GFA (BASE + INCENTIVE) 59,289 m²
TOTAL GFA PROPOSED 59,289 m² (COMPLY)

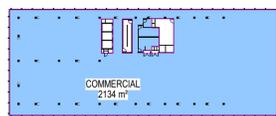
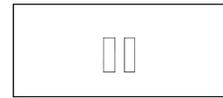
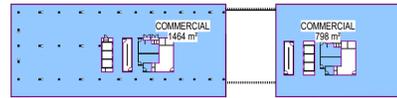
CAR PARKING SUMMARY 439 BAYS
(16 RETAIL AND 423 COMMERCIAL)
INC TOTAL ACCESSIBLE 12 BAYS
TOTAL BICYCLE 52 SPACES





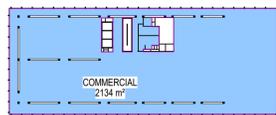
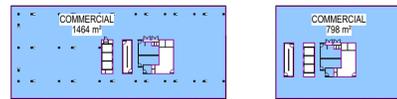
GFA LEVEL 10

GFA LEVEL 14

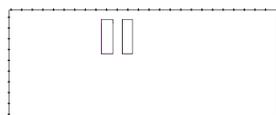
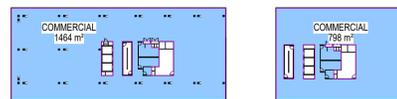


GFA LEVEL 11

GFA LEVEL 15



GFA LEVEL 12



GFA LEVEL 13

13.

GFA SUMMARY

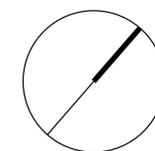
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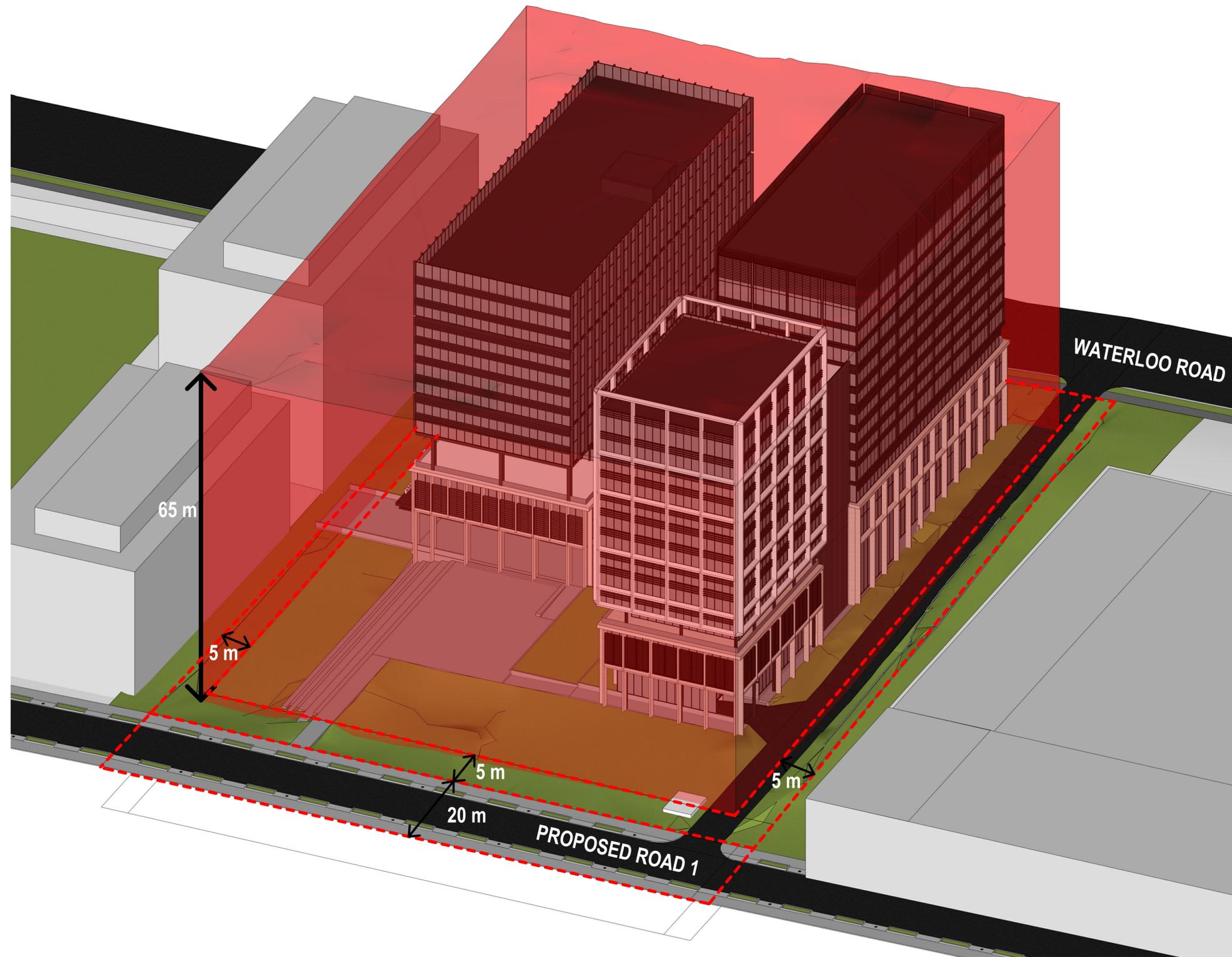
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FSR PROPOSED 3:1 (COMPLY)

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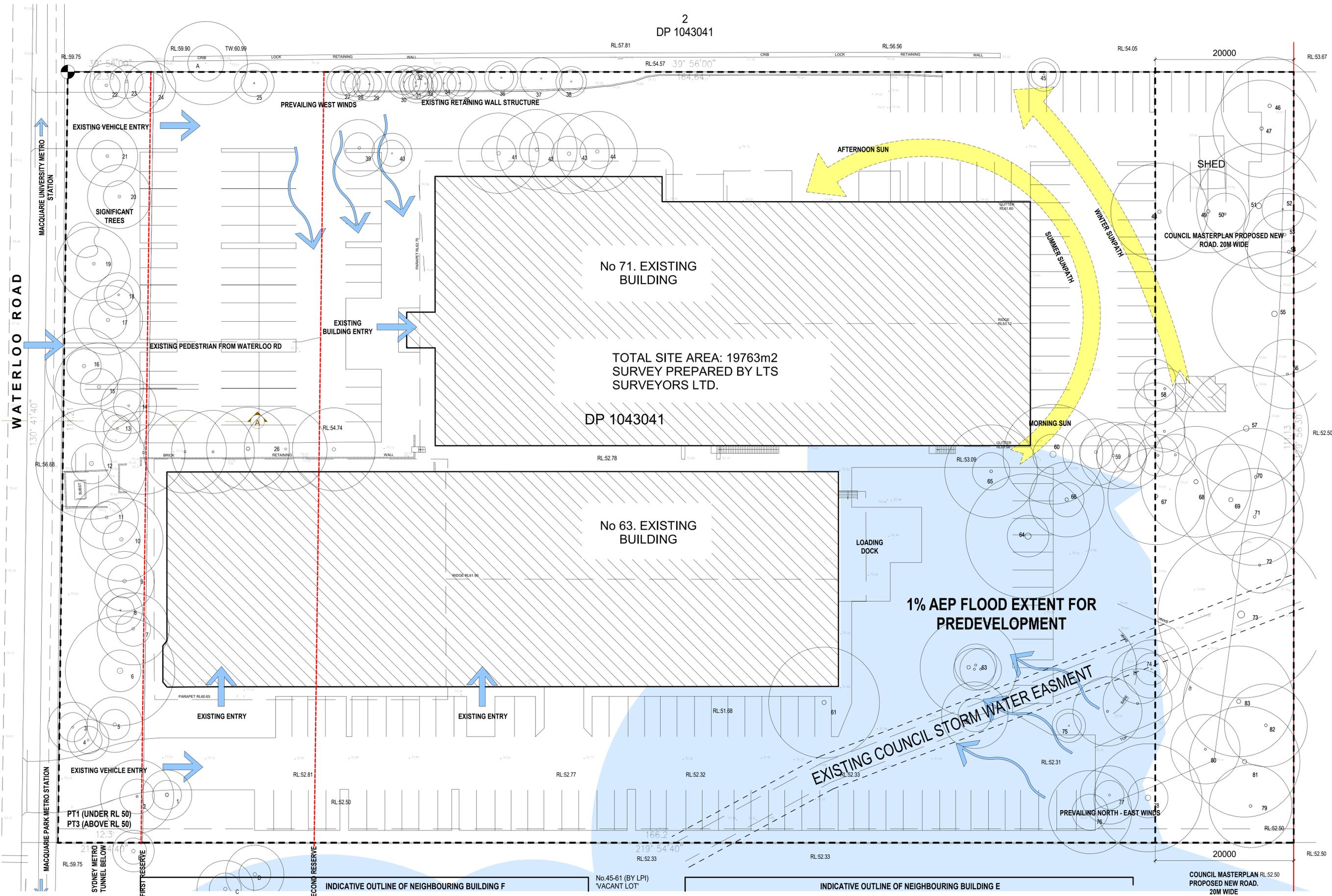
CAR PARKING SUMMARY 439 BAYS
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INC TOTAL ACCESSIBLE 12 BAYS
TOTAL BICYCLE 52 SPACES





SUMMARY OF CHANGES

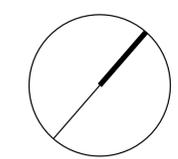
1. **Vehicular Access & Parking** – Extension of existing driveway and verge condition to create Private Road along western boundary to connect with Road 1. Relocation of basement access off private road.
2. **Waterloo Road Interface / Response** – Buildings setback from Sydney Metro 1st Reserve and Entry Plaza to enhance visual response from Waterloo Road. This is further enhanced by retail areas at the double height lobby; Basement adjusted to be clear of Sydney Metro 2nd Reserve.
3. **Staging** – Staging revised to be 2 phases only. Stage 1: Road One, Stage Two: Remaining Works.
4. **DDA Accessibility** – DDA compliant ramp added alongside the stairs in the 'central spine'; Accessible pathway added to reach entrances; Accessible car spaces relocated adjacent to lift cores.
5. **Road 1 Design Levels and Overland Flow Crossing** – Culvert under Road 1 for lower flows. Safety screens over culvert entry points.
6. **Landscape / Trees / Amenity Shading** – Building replanned at upper levels to provide covered walkway over the 'central spine' for weather protection; Depth of deep soil areas shown on sections to demonstrate compliance; Communal Open Space areas within north-western portions of the site providing min. of 3 hours of winter sun. New pad mounted kiosk relocated for ease of access for maintenance. Enhancement of existing driveway and verge condition to create Private Road design to provide retention of Trees 39-44.
7. **Retail Uses** – Sections and plans revised to clarify retail location. Upper ground floor retail orientated to promote activation to the Waterloo Road frontage; Provision of direct street access into both Building A and B retail tenancies via sliding doors.
8. **ESD** – Solar façade louvres added; Development commits to achieving 4 Star Green Star rating to comply with DCP.
9. **Deep Soil** – 'Central Spine' sections updated to demonstrate deep soil compliance with additional deep soil landscape provided at the North/West edge. Total deep soil landscape is over min. 20% DCP requirement.
10. **End of Trip Facilities** – Bicycle spaces and EOT facilities located on Basement 1 with direct access to lift and stairs.
11. **Sydney Metro Reserve** – 1st and 2nd Reserve boundaries shown on sections and plans. Basement footprint setback from the 2nd Reserve.
12. **Architectural Detail** – Additional 3D façade sections added to documentation set to illustrate building façade articulation, materiality, and ESD strategy; Additional dimensions and information added, shadow diagrams updated.
13. **Development Summary** - GFA maintained at 59,289sqm and height below the height plane.
14. **Building A** - 2 storey colonnade added to the north and east of Building A.
15. **Building B** - Relocation of Building B to the east so that it matches setback of the existing building from the western boundary, resulting in a reduction in the separation between Building A and B from 20m to 17m for the 4 storey podium.
16. **Building B Void and Lower Ground Level Connection** - Relocation of void in Building B. Lowering of building height of 2 storeys above the void; New public access between Building B lobby atrium and new private road. Deletion of screens previously shown covering the lower ground level atrium facade to maximise visual connection.
17. **Column positions at transfer floor from podium to towers** – Setback of the line of columns located on the building edge to the west on Building A Level 3 and 4 and Building B Level 4, from the external facade to create a cantilever form at the building edges to reinforce the podium scale of both buildings; Re-distribution of floor space to Building A to maintain overall GFA of 59,289sqm.
18. **Substation** - Relocation of originally proposed substation kiosk to be within Building B.
19. **Tanked Basement** – New tanked basement shoring detail provided.



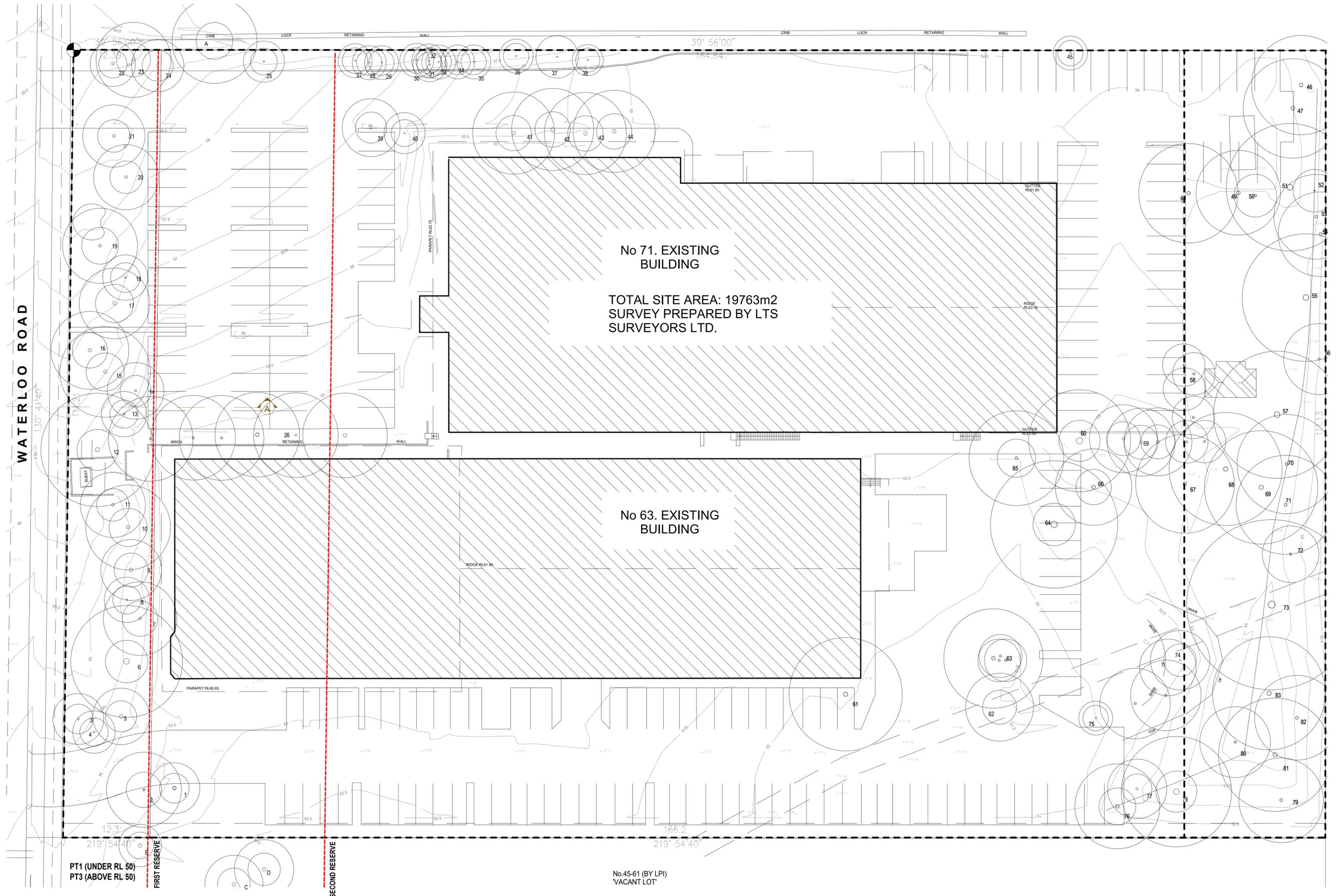
Rev	Description	Date
A	DA ISSUE	05/05/2021
B	S34 CONFERENCE	01/10/2021
C	AMENDED PLANS	29/10/2021

Project Name
63-71 Waterloo Road ,Macquarie Park

Client Name
UT 65 Pty Ltd

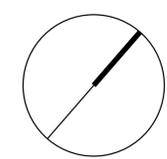


Drawing Title		Project No.	
SITE ANALYSIS		A21005	
SCALE	Date	Drawing no:	ISSUE
1 : 250 @ A1	2021.10.29	A2.01	C

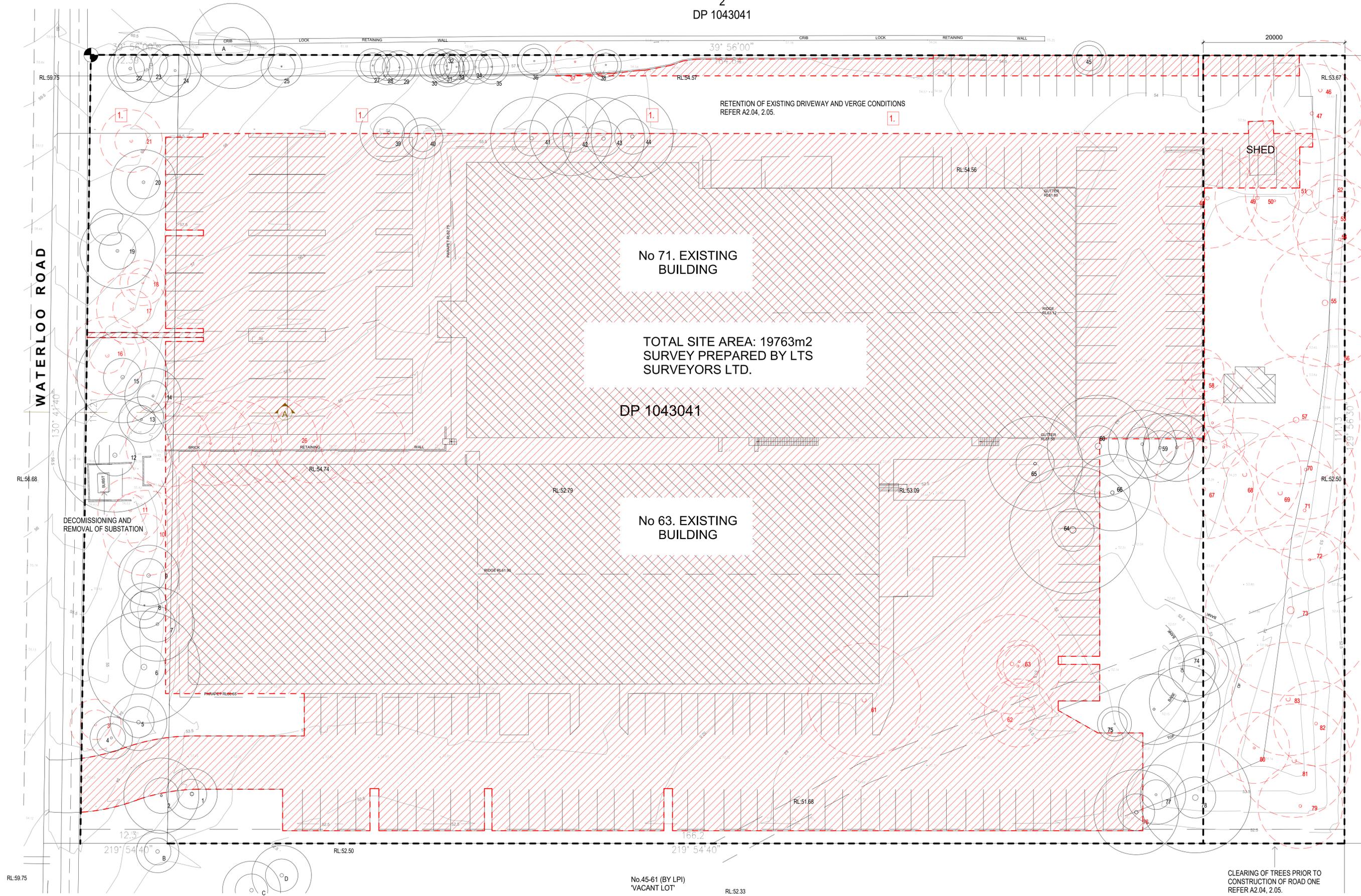


Rev	Description	Date
A	S34 CONFERENCE	01/10/2021
B	AMENDED PLANS	29/10/2021

Project Name
63-71 Waterloo Road ,Macquarie Park
 Client Name
UT 65 Pty Ltd



Drawing Title			Project No.
SURVEY			A21005
SCALE	Date	Drawing no:	ISSUE
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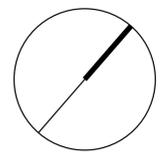
aplusdg www.aplusdg.com.au

PH: 1300 388 789
LEVEL 3, 9 BARRACK STREET
SYDNEY, NSW 2000
NOMINATED ARCHITECT-TONY LEUNG NSW 7133

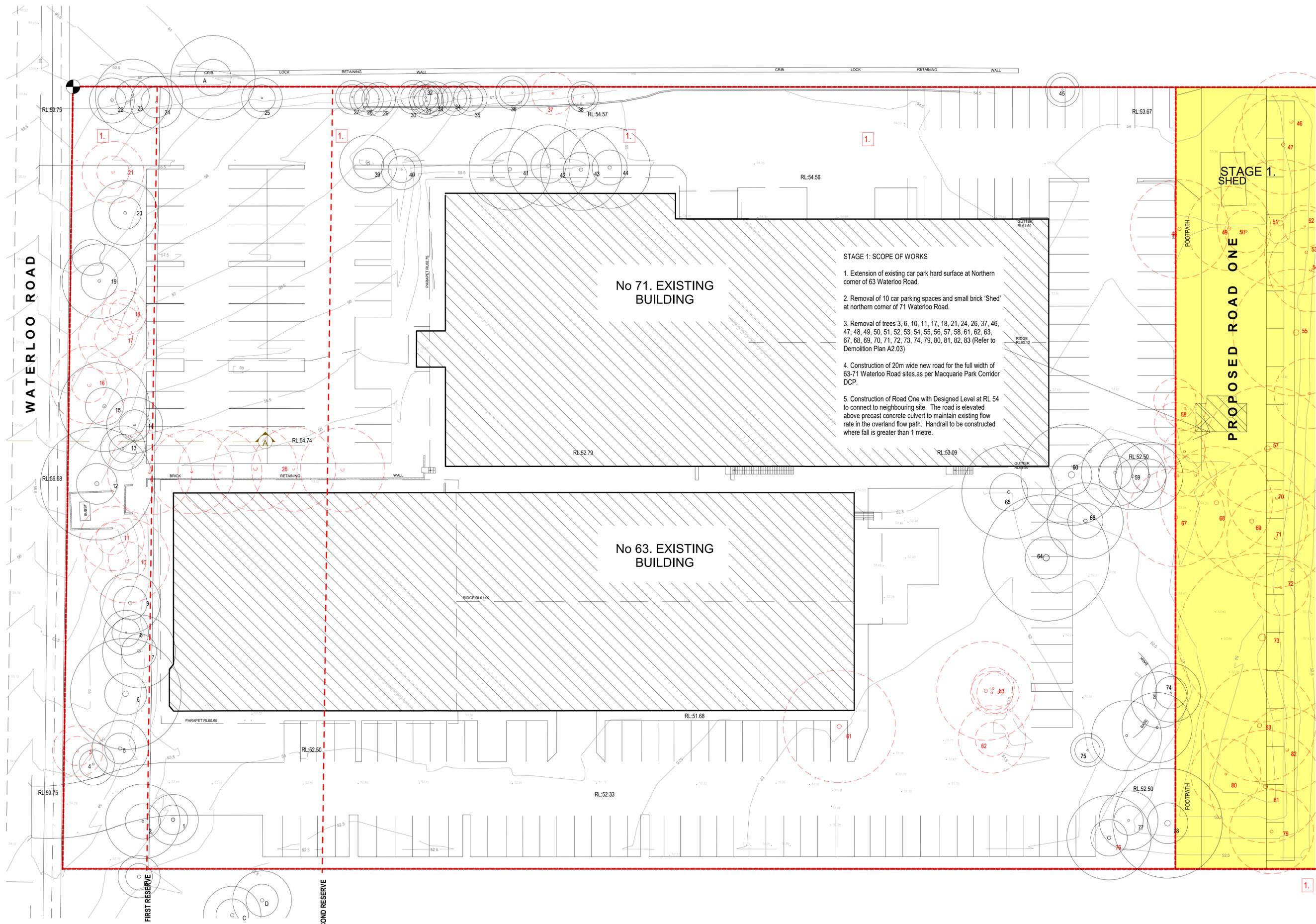
Rev	Description	Date
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B	AMENDED PLANS	29/10/2021
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Project Name
63-71 Waterloo Road ,Macquarie Park

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Drawing Title		Project No.	
DEMOLITION PLAN		A21005	
SCALE	Date	Drawing no:	ISSUE
1 : 250 @ A1	2021.10.29	A2.03	C



No 71. EXISTING BUILDING

No 63. EXISTING BUILDING

STAGE 1: SCOPE OF WORKS

1. Extension of existing car park hard surface at Northern corner of 63 Waterloo Road.
2. Removal of 10 car parking spaces and small brick 'Shed' at northern corner of 71 Waterloo Road.
3. Removal of trees 3, 6, 10, 11, 17, 18, 21, 24, 26, 37, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 61, 62, 63, 67, 68, 69, 70, 71, 72, 73, 74, 79, 80, 81, 82, 83 (Refer to Demolition Plan A2.03)
4. Construction of 20m wide new road for the full width of 63-71 Waterloo Road sites as per Macquarie Park Corridor DCP.
5. Construction of Road One with Designed Level at RL 54 to connect to neighbouring site. The road is elevated above precast concrete culvert to maintain existing flow rate in the overland flow path. Handrail to be constructed where fall is greater than 1 metre.

STAGE 1. SHED

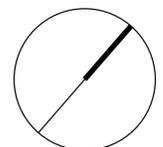
PROPOSED ROAD ONE

www.aplusdg.com.au
 PH: 1300 388 789
 LEVEL 3, 9 BARRACK STREET
 SYDNEY, NSW 2000
 NOMINATED ARCHITECT-TONY LEUNG NSW 7133

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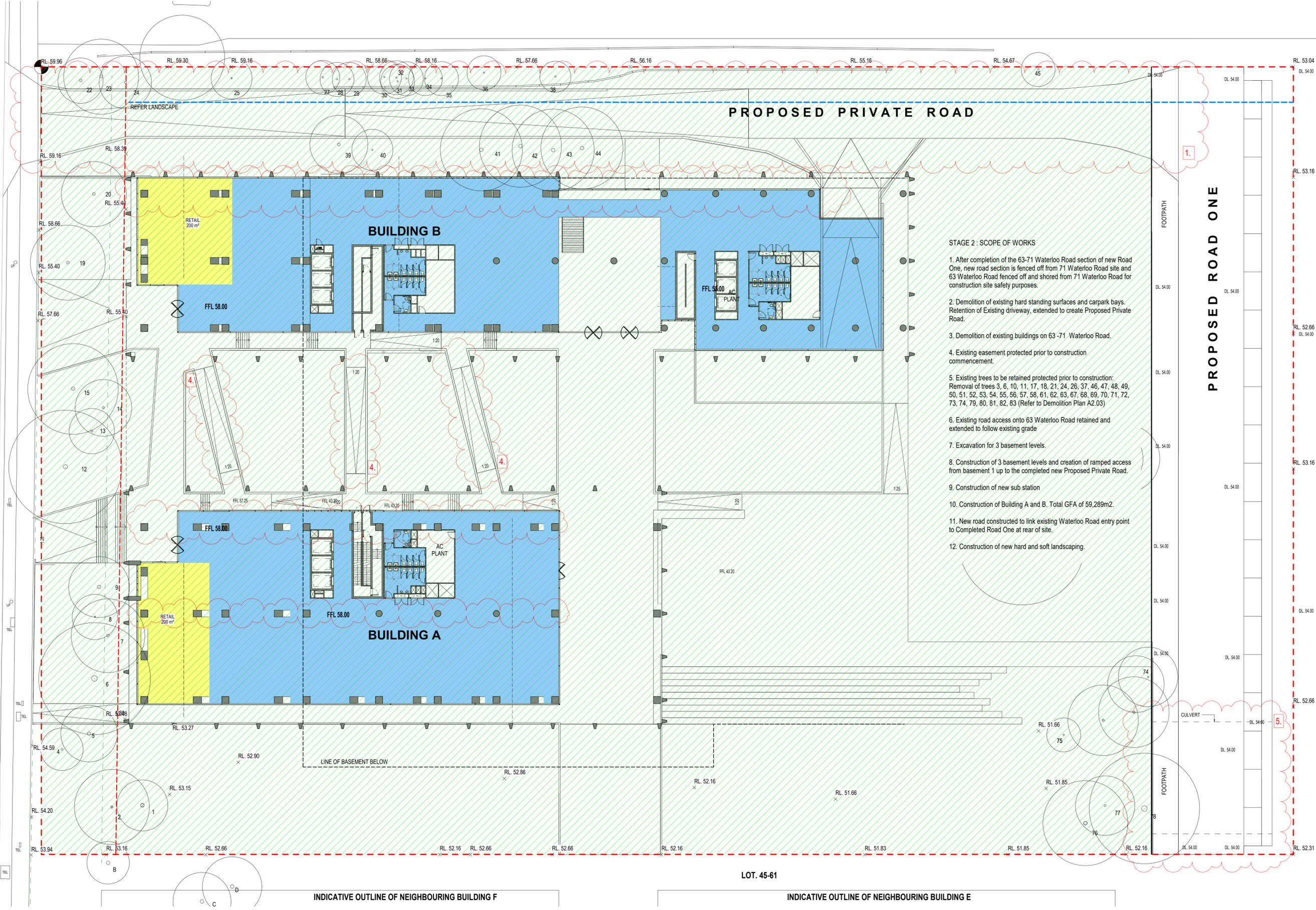


Drawing Title STAGE 1 - ROAD ONE 3.			Project No. A21005
SCALE 1 : 250 @ A1	Date 2021.10.29	Drawing no: A2.04	ISSUE D

WATERLOO ROAD

PROPOSED PRIVATE ROAD

PROPOSED ROAD ONE



STAGE 2 : SCOPE OF WORKS

1. After completion of the 63-71 Waterloo Road section of new Road One, new road section is fenced off from 71 Waterloo Road site and 63 Waterloo Road fenced off and shored from 71 Waterloo Road for construction site safety purposes.
2. Demolition of existing hard standing surfaces and carpark bays. Retention of Existing driveway, extended to create Proposed Private Road.
3. Demolition of existing buildings on 63 -71 Waterloo Road.
4. Existing easement protected prior to construction commencement.
5. Existing trees to be retained protected prior to construction: Removal of trees 3, 6, 10, 11, 17, 18, 21, 24, 26, 37, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 61, 62, 63, 67, 68, 69, 70, 71, 72, 73, 74, 79, 80, 81, 82, 83 (Refer to Demolition Plan A2.03)
6. Existing road access onto 63 Waterloo Road retained and extended to follow existing grade
7. Excavation for 3 basement levels.
8. Construction of 3 basement levels and creation of ramped access from basement 1 up to the completed new Proposed Private Road.
9. Construction of new sub station
10. Construction of Building A and B. Total GFA of 59,289m2.
11. New road constructed to link existing Waterloo Road entry point to Completed Road One at rear of site.
12. Construction of new hard and soft landscaping.

LOT. 45-61

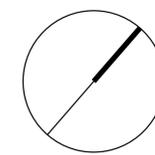
INDICATIVE OUTLINE OF NEIGHBOURING BUILDING F

INDICATIVE OUTLINE OF NEIGHBOURING BUILDING E

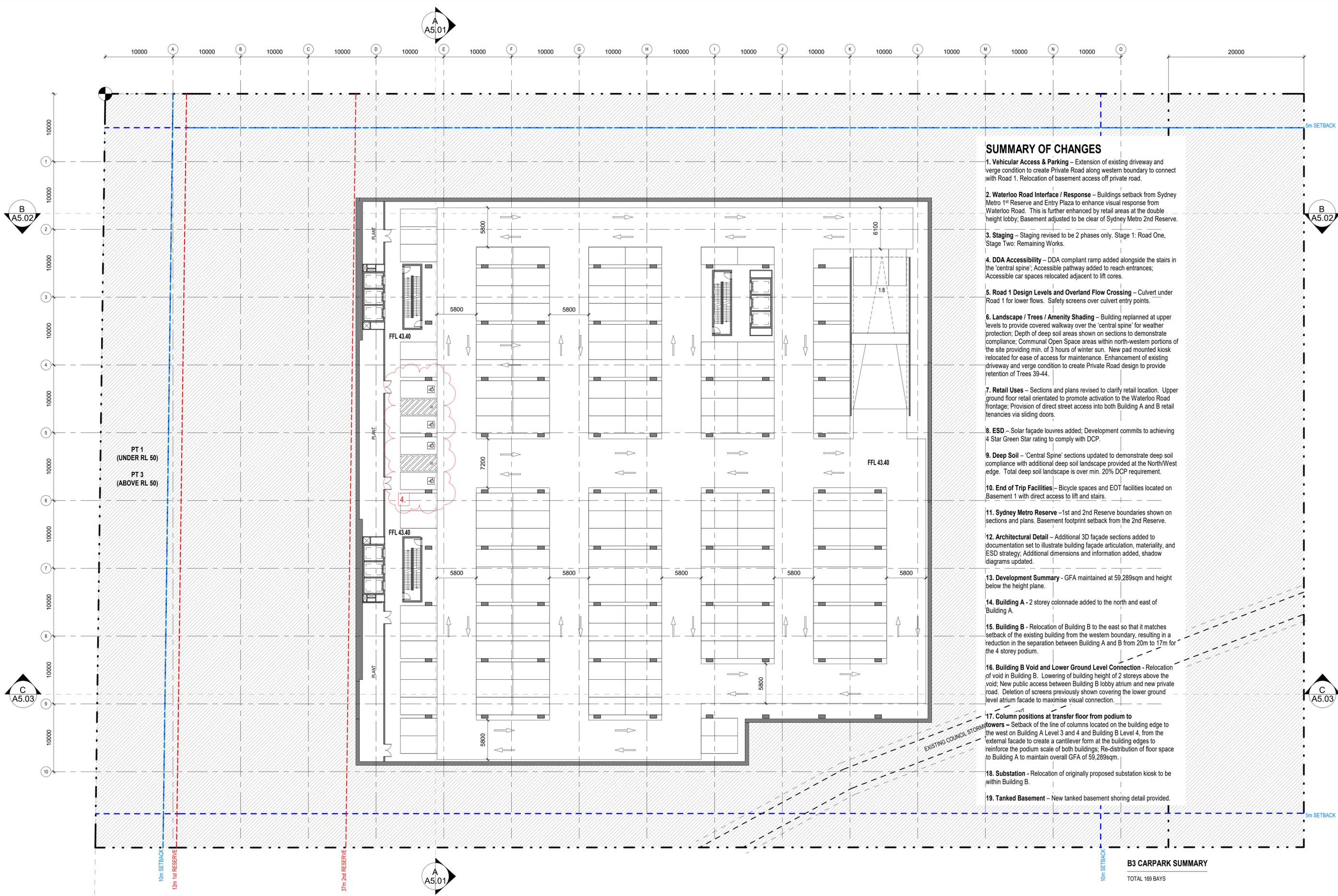
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Project Name
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 Client Name
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Drawing Title STAGE 2 - REMAINING WORKS 3.		Project No. A21005
SCALE 1 : 250 @ A1	Date 2021.10.29	ISSUE C
Drawing no: A2.05		

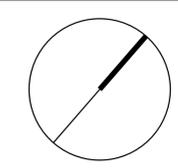


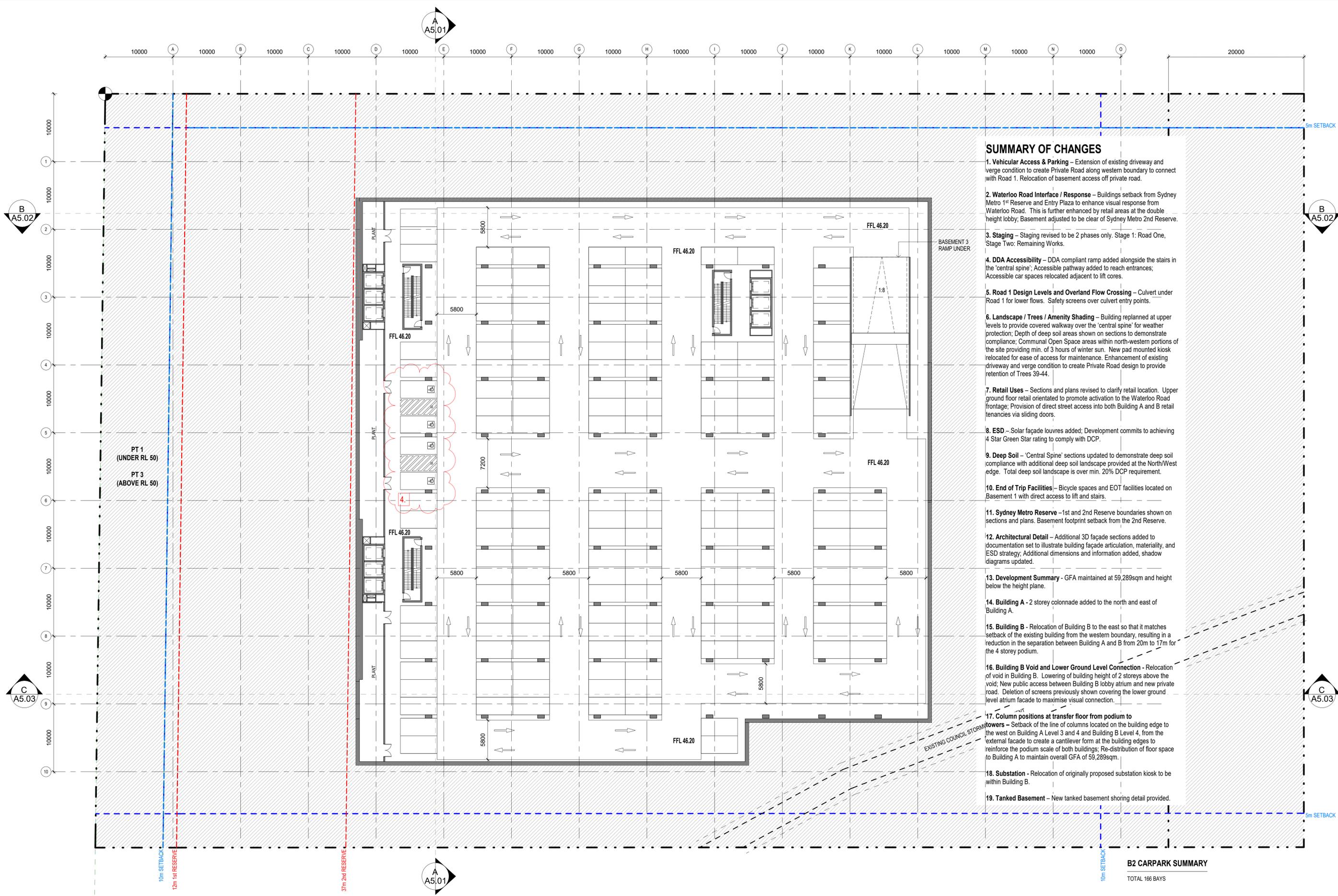
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B3 CARPARK SUMMARY
TOTAL 169 BAYS

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SUMMARY OF CHANGES

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2. **Waterloo Road Interface / Response** – Buildings setback from Sydney Metro 1st Reserve and Entry Plaza to enhance visual response from Waterloo Road. This is further enhanced by retail areas at the double height lobby; Basement adjusted to be clear of Sydney Metro 2nd Reserve.
3. **Staging** – Staging revised to be 2 phases only. Stage 1: Road One, Stage Two: Remaining Works.
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5. **Road 1 Design Levels and Overland Flow Crossing** – Culvert under Road 1 for lower flows. Safety screens over culvert entry points.
6. **Landscape / Trees / Amenity Shading** – Building replanned at upper levels to provide covered walkway over the 'central spine' for weather protection; Depth of deep soil areas shown on sections to demonstrate compliance; Communal Open Space areas within north-western portions of the site providing min. of 3 hours of winter sun. New pad mounted kiosk relocated for ease of access for maintenance. Enhancement of existing driveway and verge condition to create Private Road design to provide retention of Trees 39-44.
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12. **Architectural Detail** – Additional 3D façade sections added to documentation set to illustrate building façade articulation, materiality, and ESD strategy; Additional dimensions and information added, shadow diagrams updated.
13. **Development Summary** - GFA maintained at 59,289sqm and height below the height plane.
14. **Building A** - 2 storey colonnade added to the north and east of Building A.
15. **Building B** - Relocation of Building B to the east so that it matches setback of the existing building from the western boundary, resulting in a reduction in the separation between Building A and B from 20m to 17m for the 4 storey podium.
16. **Building B Void and Lower Ground Level Connection** - Relocation of void in Building B. Lowering of building height of 2 storeys above the void; New public access between Building B lobby atrium and new private road. Deletion of screens previously shown covering the lower ground level atrium facade to maximise visual connection.
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18. **Substation** - Relocation of originally proposed substation kiosk to be within Building B.
19. **Tanked Basement** – New tanked basement shoring detail provided.

B2 CARPARK SUMMARY
TOTAL 166 BAYS

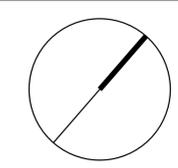


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Rev	Description	Date
A	DA ISSUE	05/05/2021
B	S34 CONFERENCE	01/10/2021
C	AMENDED PLANS	29/10/2021

Project Name
63-71 Waterloo Road ,Macquarie Park

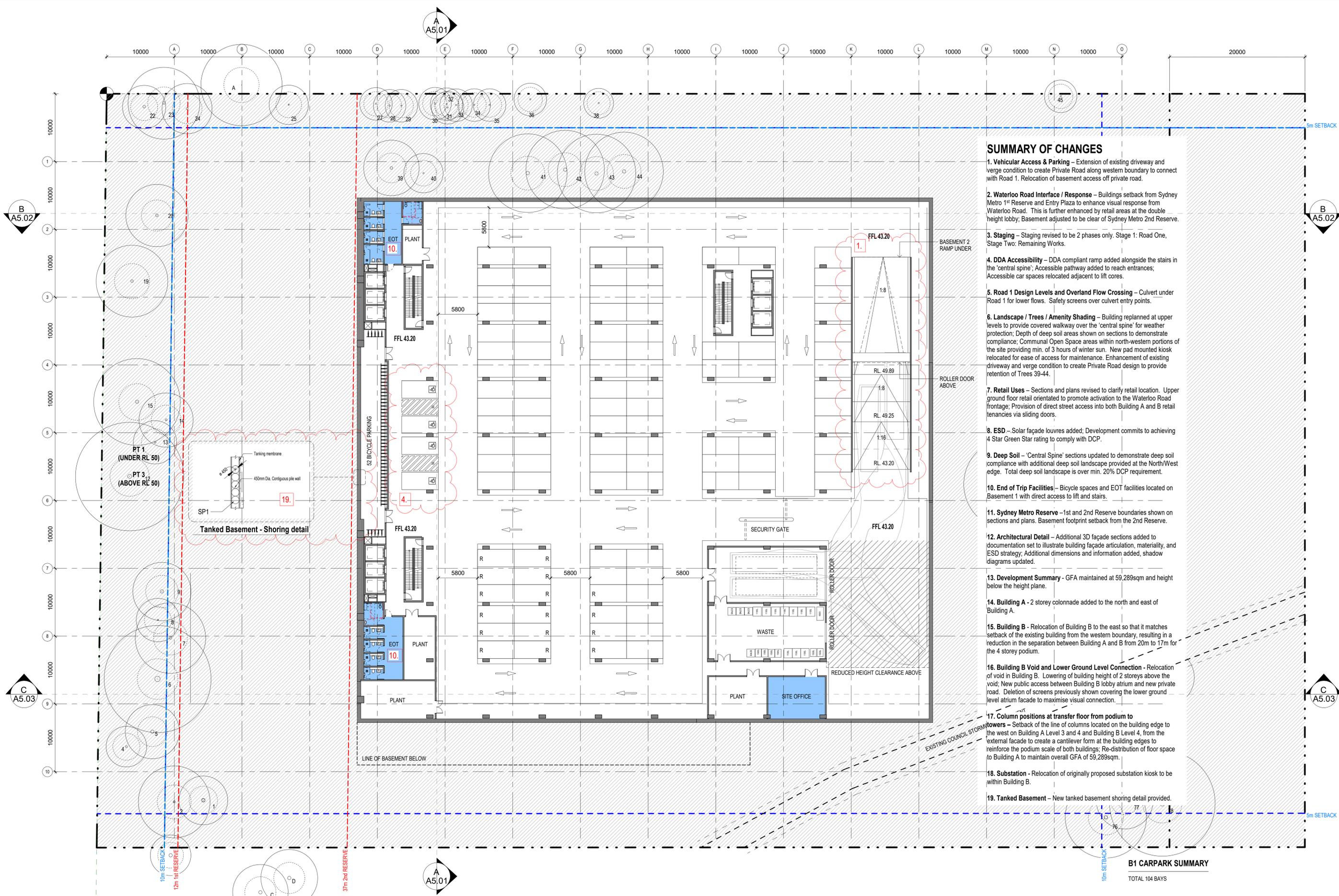
Client Name
UT 65 Pty Ltd



Drawing Title		
BASEMENT 2		
SCALE	Date	Drawing no:
1 : 250 @ A1	2021.10.29	A3.01

Project No.
A21005

ISSUE
C



SUMMARY OF CHANGES

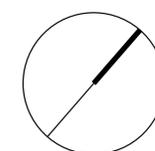
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B1 CARPARK SUMMARY

TOTAL 104 BAYS

Rev	Description	Date
A	DA ISSUE	05/05/2021
B	S34 CONFERENCE	01/10/2021
C	AMENDED PLANS	29/10/2021
D	AMENDED PLANS	09/12/2021

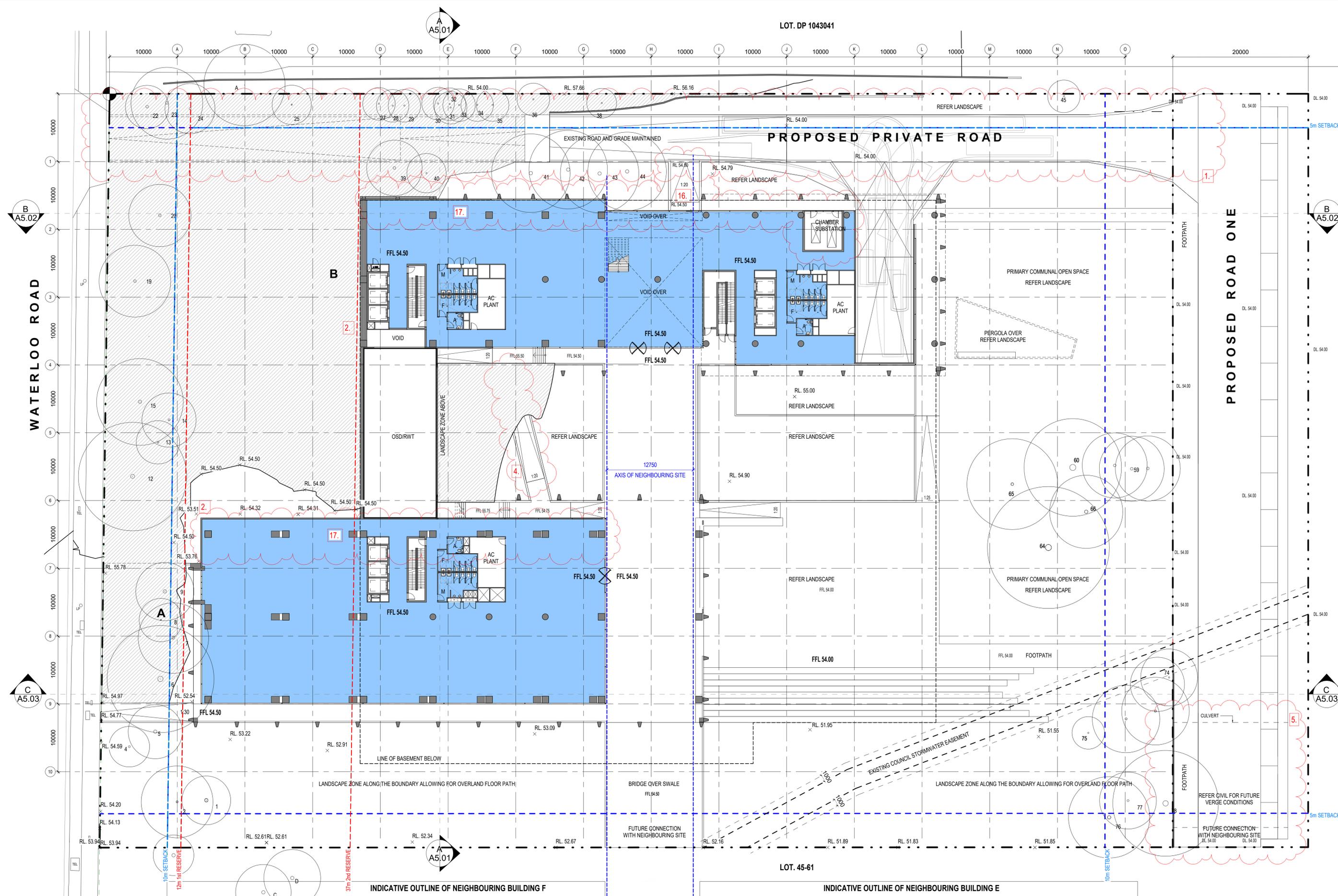
Project Name
63-71 Waterloo Road ,Macquarie Park
 Client Name
UT 65 Pty Ltd



Drawing Title
BASEMENT 1

SCALE
 1 : 250 @ A1
 Date
 2021.10.29
 Drawing no:
 A3.02

Project No.
 A21005
 ISSUE
 D

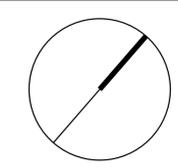


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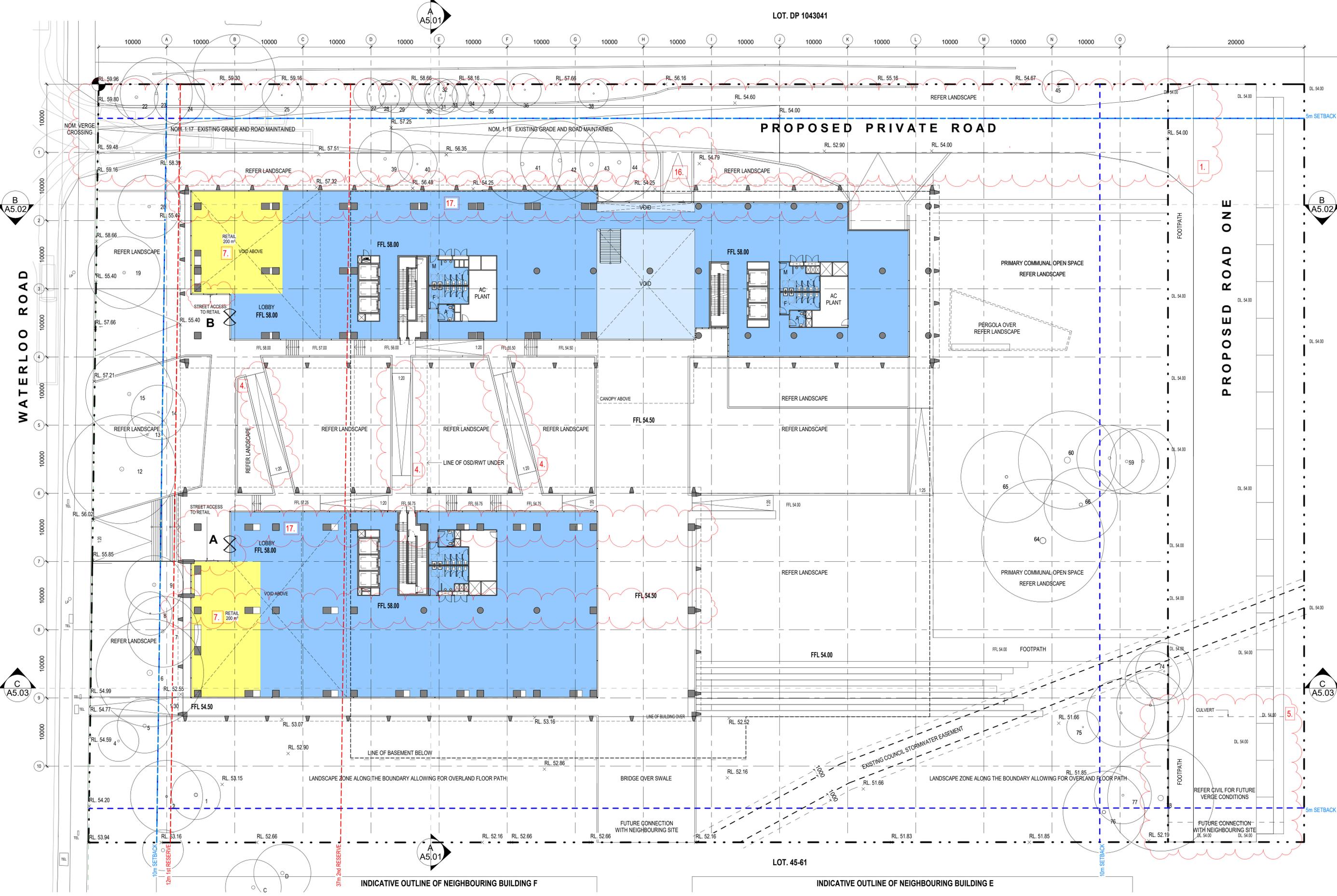
Rev	Description	Date
A	DA ISSUE	05/05/2021
B	S34 CONFERENCE	01/10/2021
C	AMENDED PLANS	29/10/2021
D	AMENDED PLANS	01/11/2021
E	AMENDED PLANS	09/12/2021

Project Name
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Drawing Title LEVEL LOWER GROUND			Project No. A21005
SCALE 1 : 250 @ A1	Date 2021.10.29	Drawing no: A3.03	ISSUE E



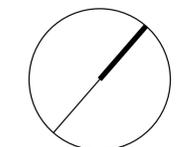
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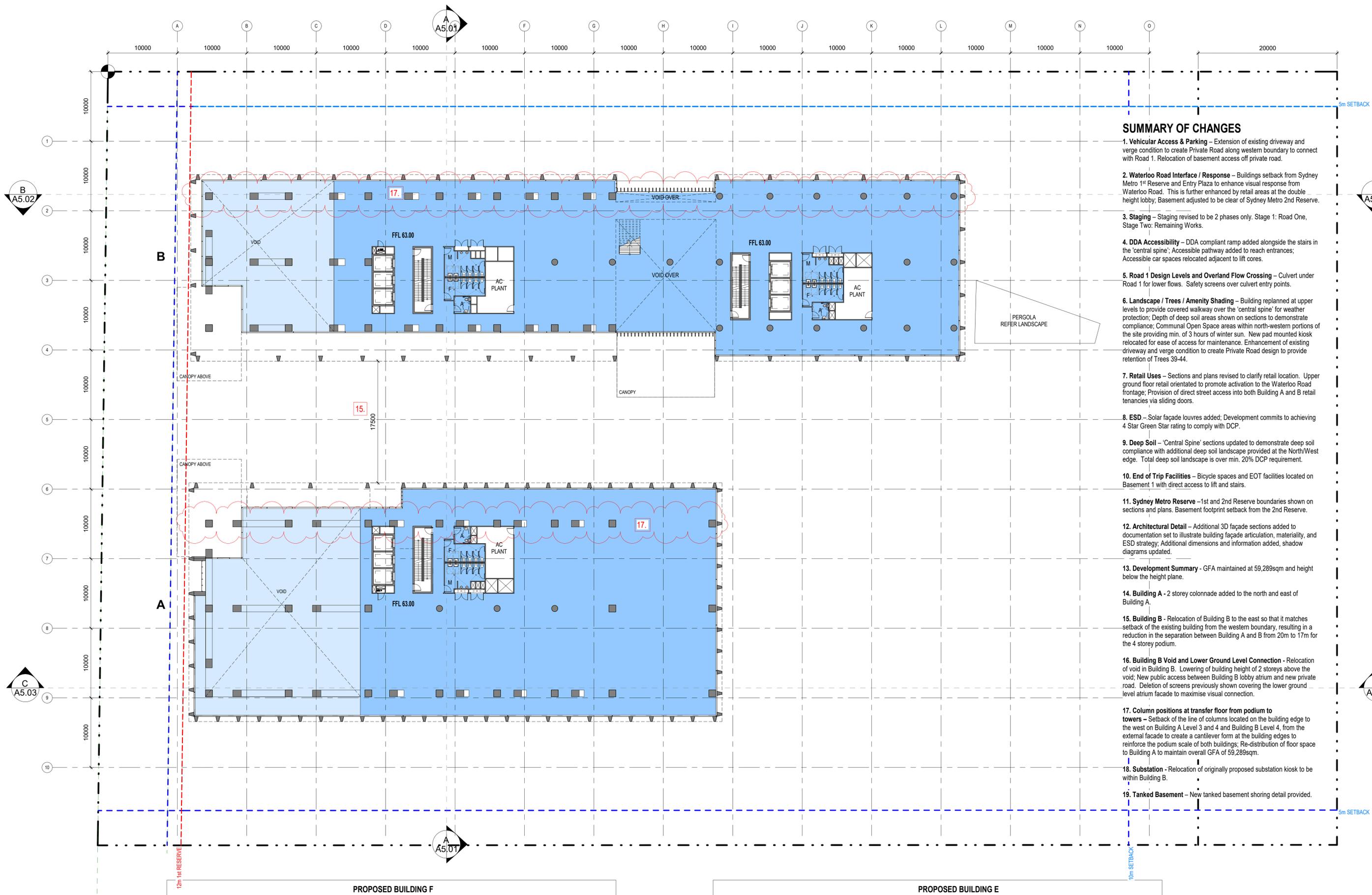
Rev	Description	Date
A	DA ISSUE	05/05/2021
B	S34 CONFERENCE	01/10/2021
C	AMENDED PLANS	29/10/2021
D	AMENDED PLANS	01/11/2021
E	AMENDED PLANS	09/12/2021

Project Name
63-71 Waterloo Road ,Macquarie Park

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Drawing Title LEVEL UPPER GROUND			Project No. A21005
SCALE 1:250 @ A1	Date 2021.10.29	Drawing no: A3.04	ISSUE E



SUMMARY OF CHANGES

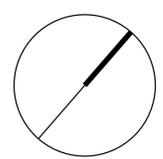
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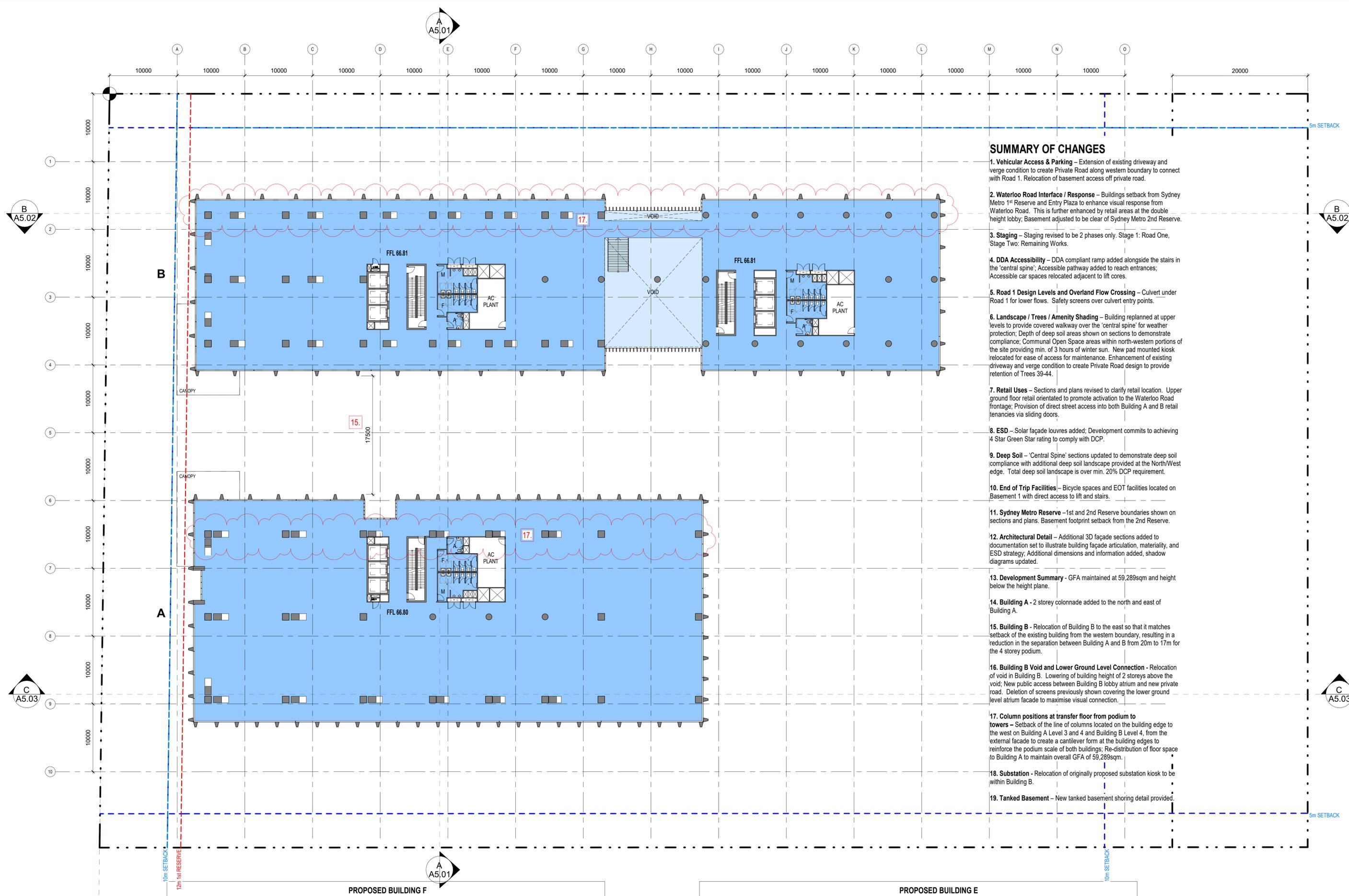
Rev	Description	Date
A	DA ISSUE	05/05/2021
B	S34 CONFERENCE	01/10/2021
C	AMENDED PLANS	29/10/2021
D	AMENDED PLANS	09/12/2021

Project Name
63-71 Waterloo Road ,Macquarie Park

Client Name
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Drawing Title LEVEL 1			Project No. A21005
SCALE 1 : 250 @ A1	Date 2021.10.29	Drawing no: A3.05	ISSUE D



SUMMARY OF CHANGES

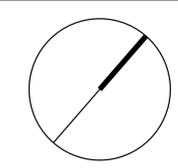
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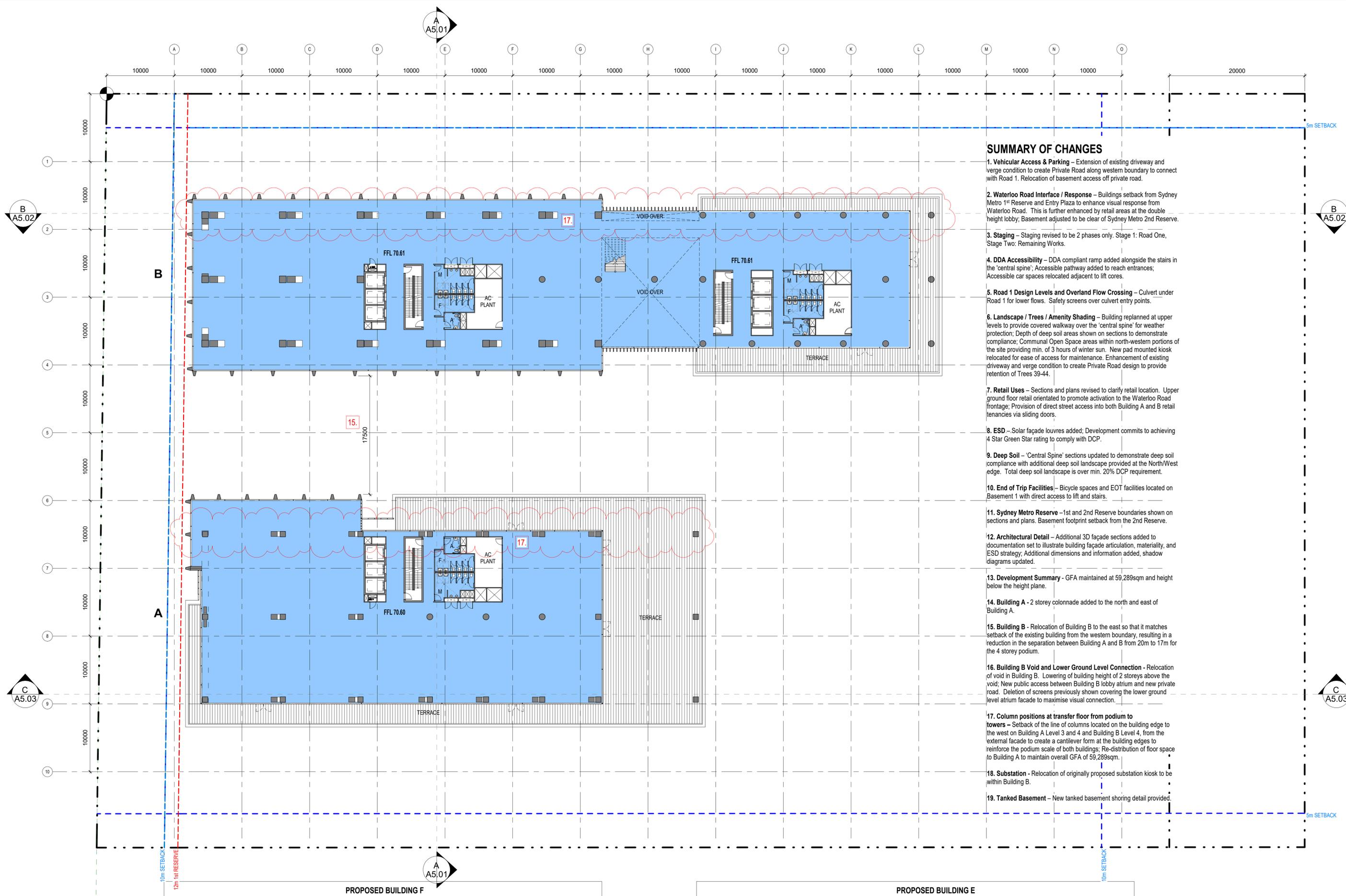
Rev	Description	Date
A	DA ISSUE	05/05/2021
B	S34 CONFERENCE	01/10/2021
C	AMENDED PLANS	29/10/2021
D	AMENDED PLANS	09/12/2021

Project Name
63-71 Waterloo Road ,Macquarie Park

Client Name
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Drawing Title LEVEL 2		Project No. A21005
SCALE 1 : 250 @ A1	Date 2021.10.29	ISSUE D
Drawing no: A3.06		



SUMMARY OF CHANGES

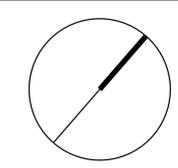
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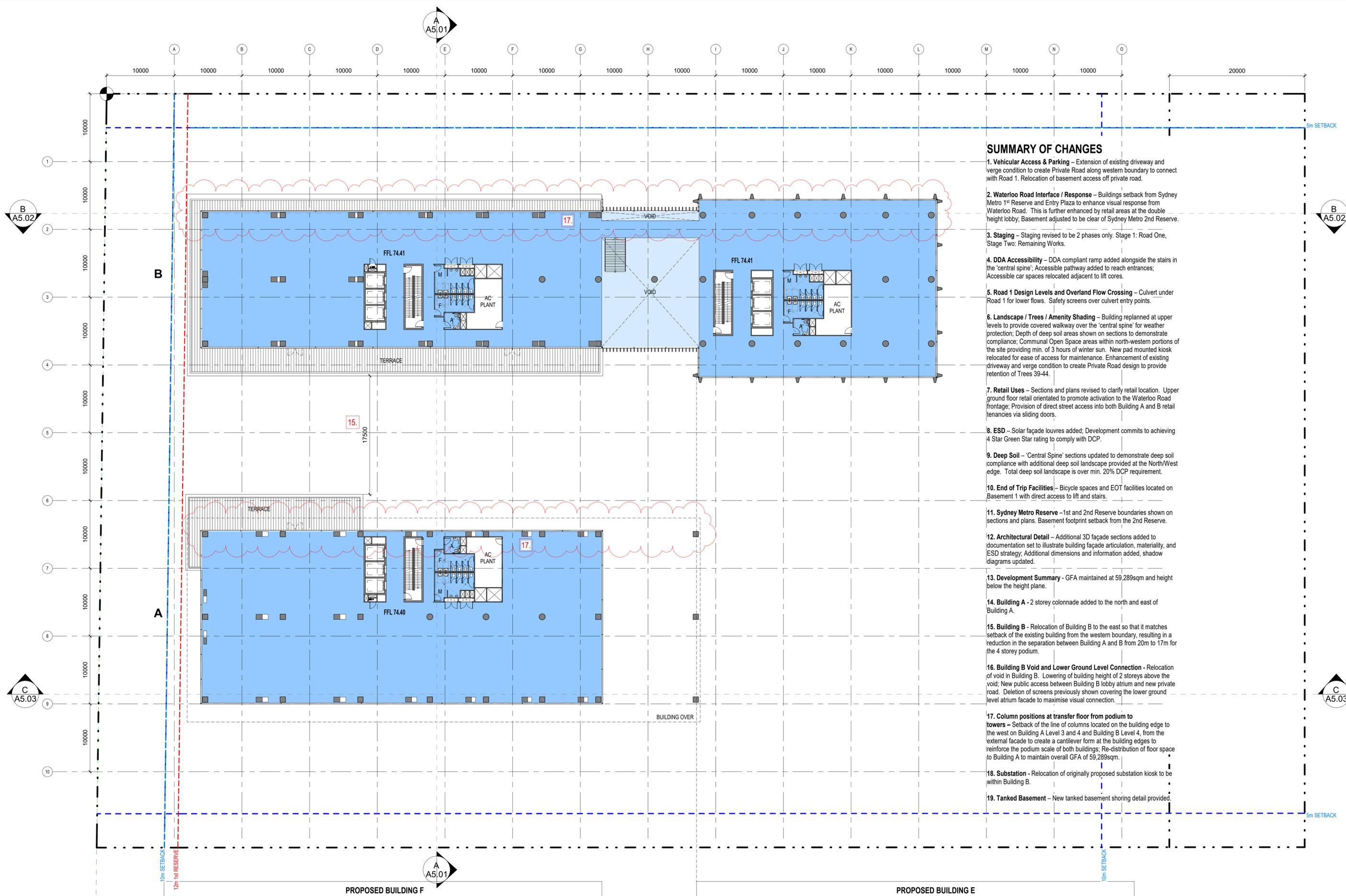
Rev	Description	Date
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D	AMENDED PLANS	09/12/2021

Project Name
63-71 Waterloo Road ,Macquarie Park

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Drawing Title LEVEL 3			Project No. A21005
SCALE 1 : 250 @ A1	Date 2021.10.29	Drawing no: A3.07	ISSUE D



SUMMARY OF CHANGES

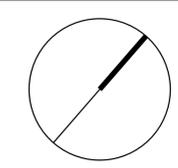
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A	DA ISSUE	05/05/2021
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C	AMENDED PLANS	29/10/2021
D	AMENDED PLANS	09/12/2021

Project Name
63-71 Waterloo Road ,Macquarie Park

Client Name
UT 65 Pty Ltd

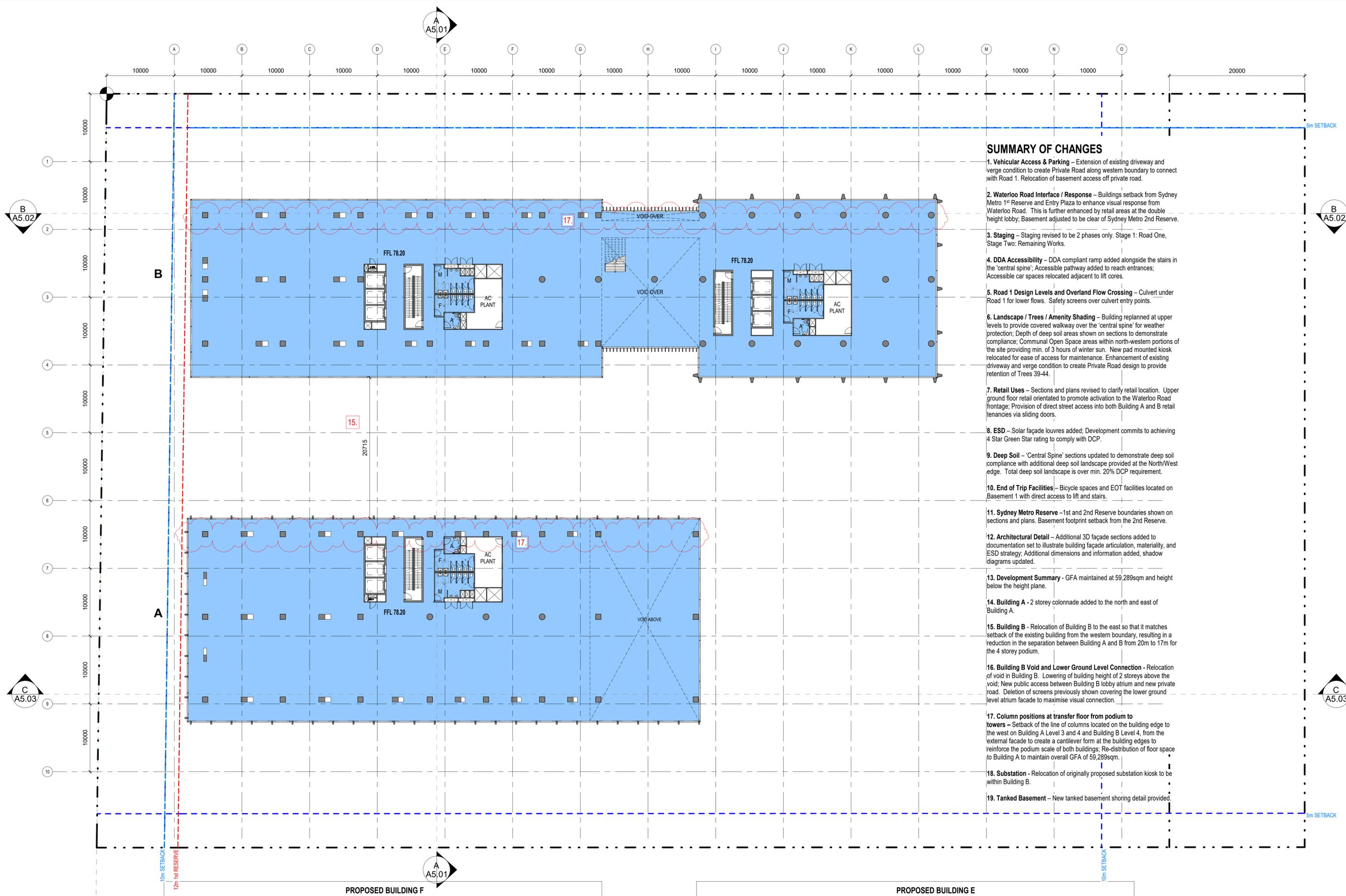


Drawing Title
LEVEL 4

SCALE 1 : 250 @ A1	Date 2021.10.29	Drawing no: A3.08
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Project No.
A21005

ISSUE
D



SUMMARY OF CHANGES

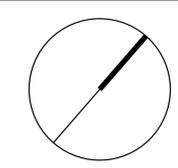
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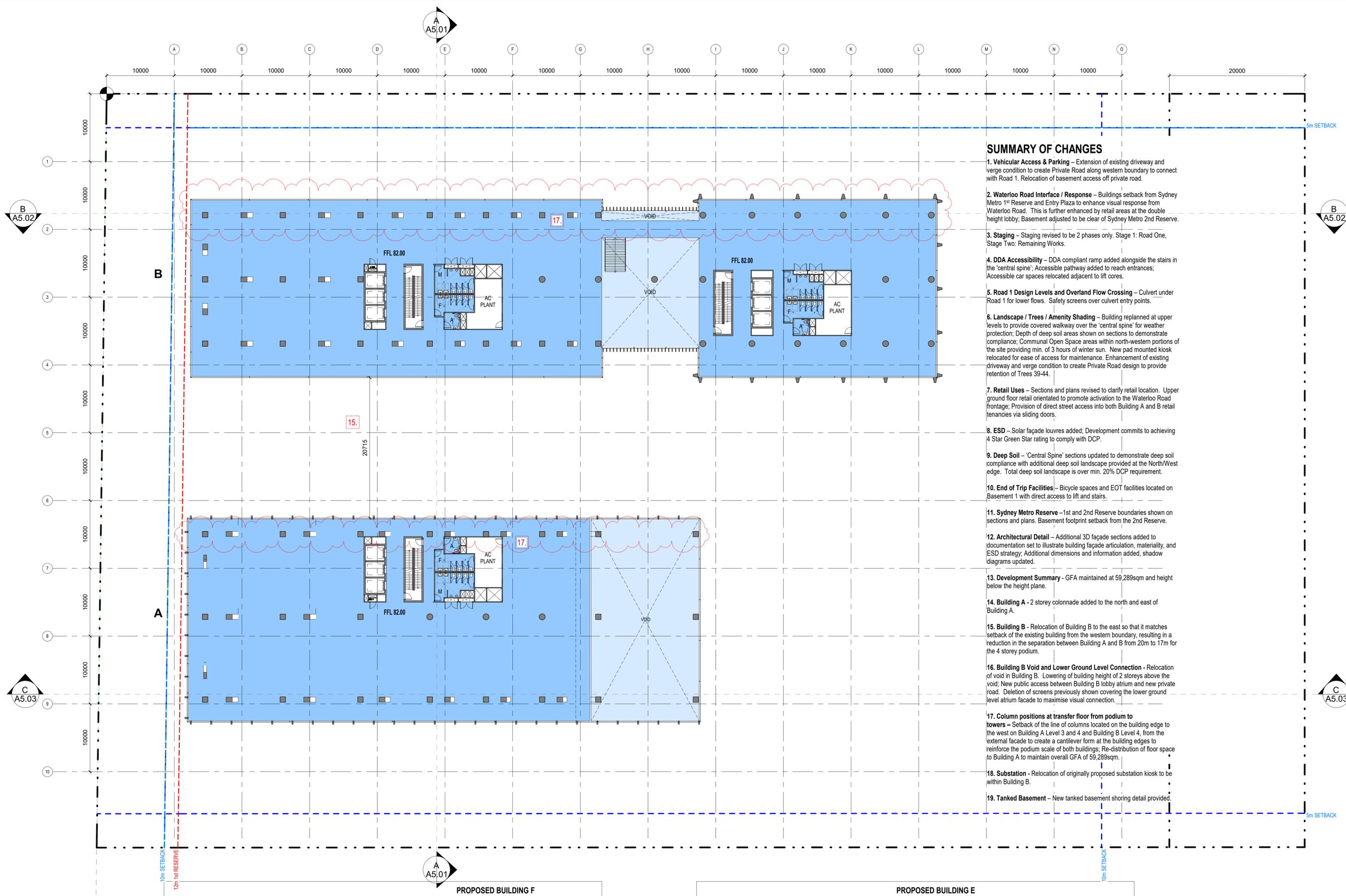
Rev	Description	Date
A	DA ISSUE	05/05/2021
B	S34 CONFERENCE	01/10/2021
C	AMENDED PLANS	29/10/2021
D	AMENDED PLANS	09/12/2021

Project Name
63-71 Waterloo Road ,Macquarie Park

Client Name
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Drawing Title LEVEL 5		Project No. A21005
SCALE 1 : 250 @ A1	Date 2021.10.29	Drawing no: A3.09
		ISSUE D



SUMMARY OF CHANGES

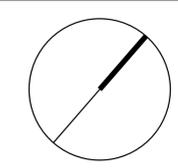
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Rev	Description	Date
A	DA ISSUE	05/05/2021
B	S34 CONFERENCE	01/10/2021
C	AMENDED PLANS	29/10/2021
D	AMENDED PLANS	09/12/2021

Project Name
63-71 Waterloo Road ,Macquarie Park

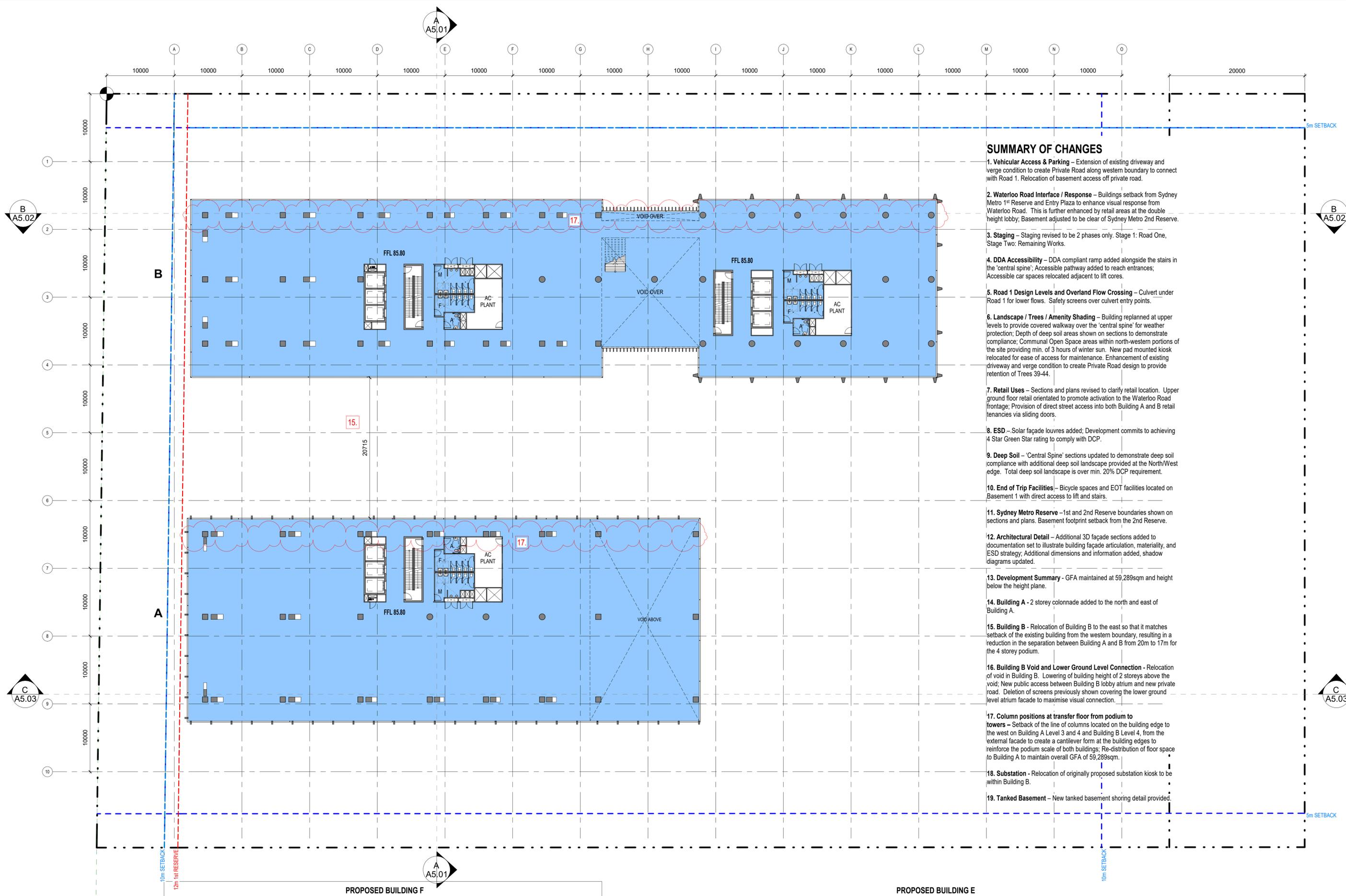
Client Name
UT 65 Pty Ltd



Drawing Title LEVEL 6		
SCALE 1 : 250 @ A1	Date 2021.10.29	Drawing no: A3.10

Project No.
A21005

ISSUE
D



SUMMARY OF CHANGES

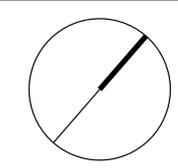
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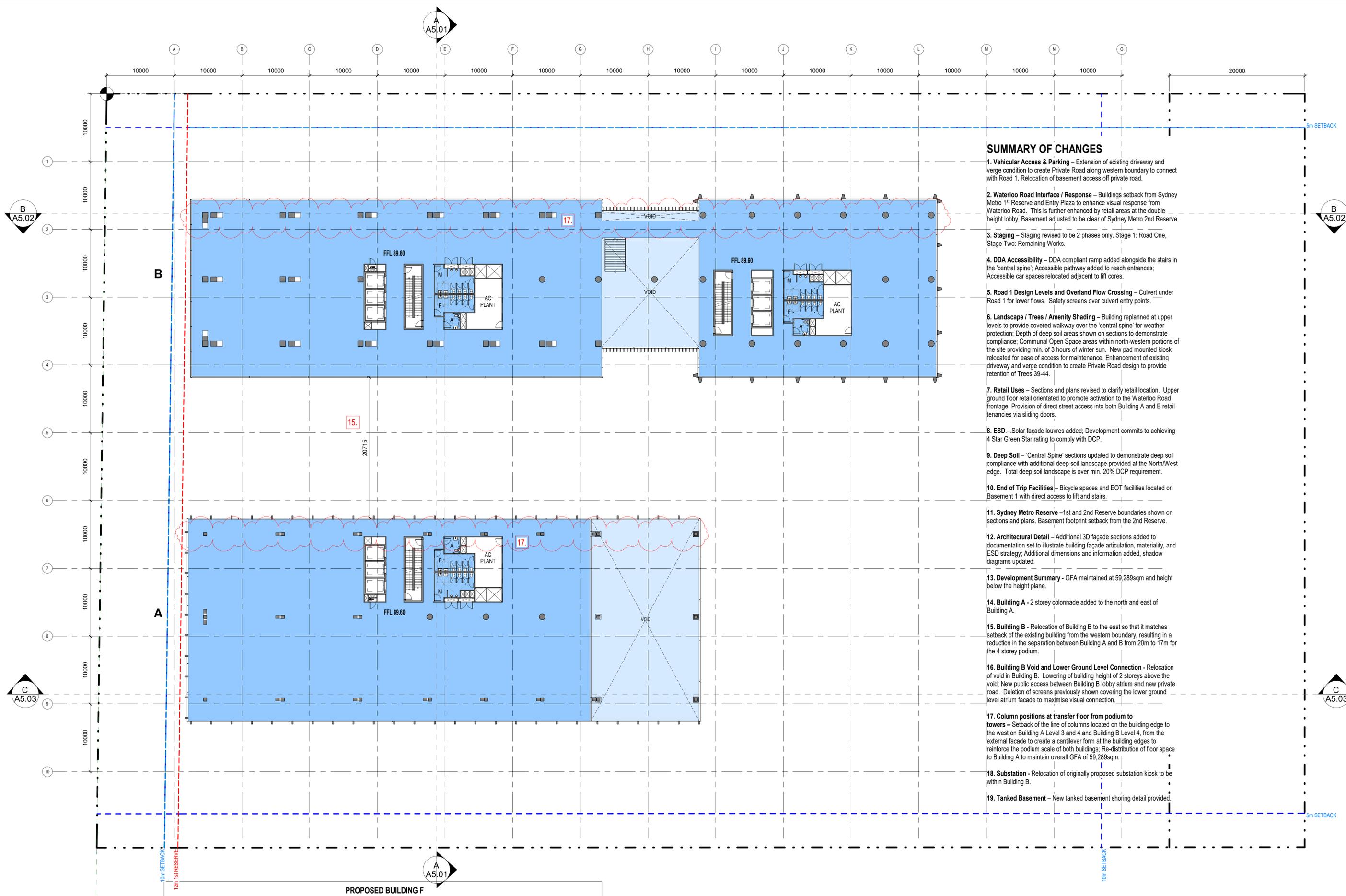
Rev	Description	Date
A	DA ISSUE	05/05/2021
B	S34 CONFERENCE	01/10/2021
C	AMENDED PLANS	29/10/2021
D	AMENDED PLANS	09/12/2021

Project Name
63-71 Waterloo Road ,Macquarie Park

Client Name
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Drawing Title LEVEL 7			Project No. A21005
SCALE 1 : 250 @ A1	Date 2021.10.29	Drawing no: A3.11	ISSUE D



SUMMARY OF CHANGES

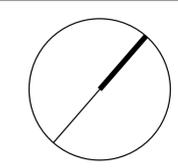
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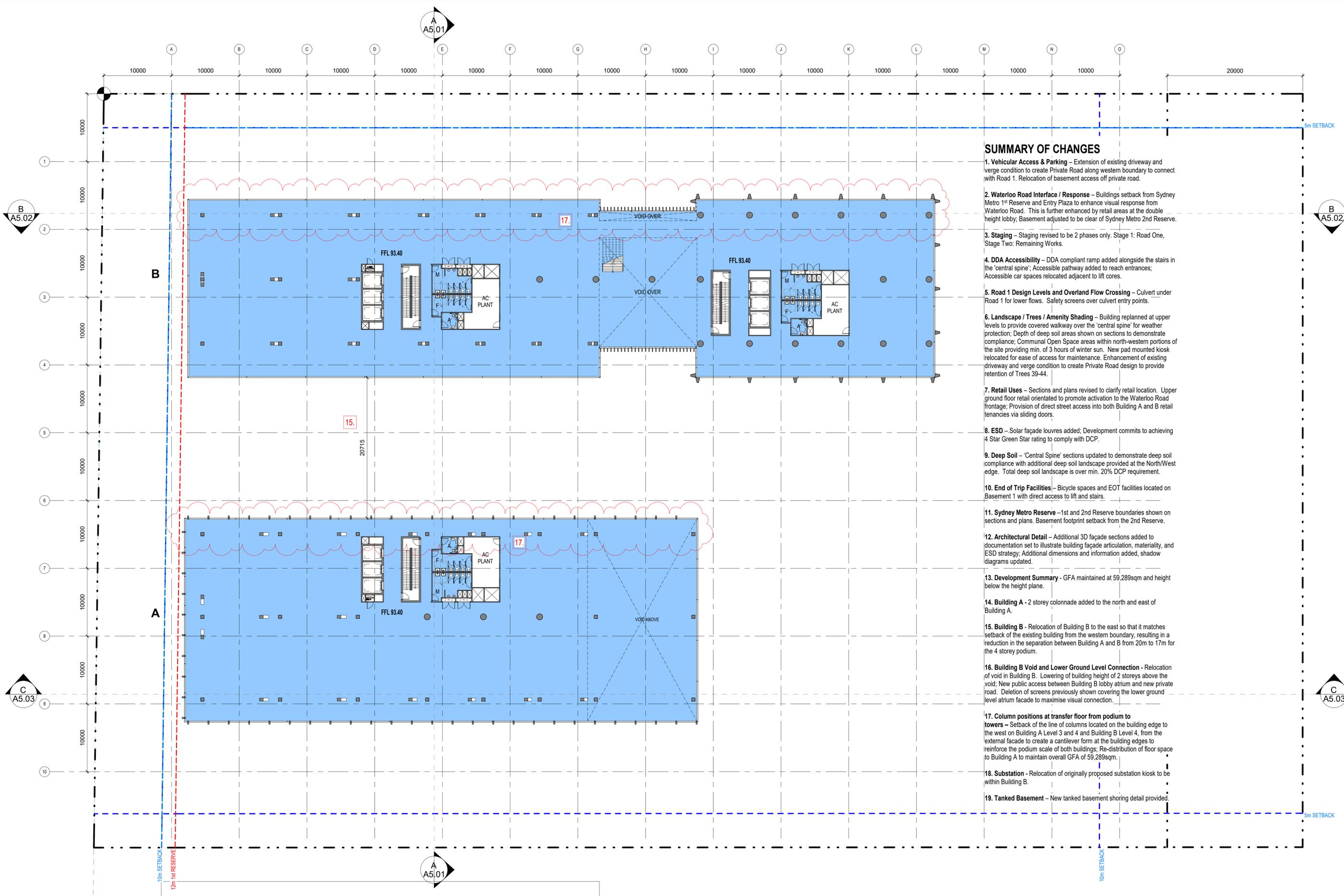
Rev	Description	Date
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Project Name
63-71 Waterloo Road ,Macquarie Park

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Drawing Title LEVEL 8		Project No. A21005
SCALE 1 : 250 @ A1	Date 2021.10.29	Drawing no: A3.12
		ISSUE D



SUMMARY OF CHANGES

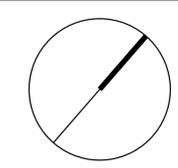
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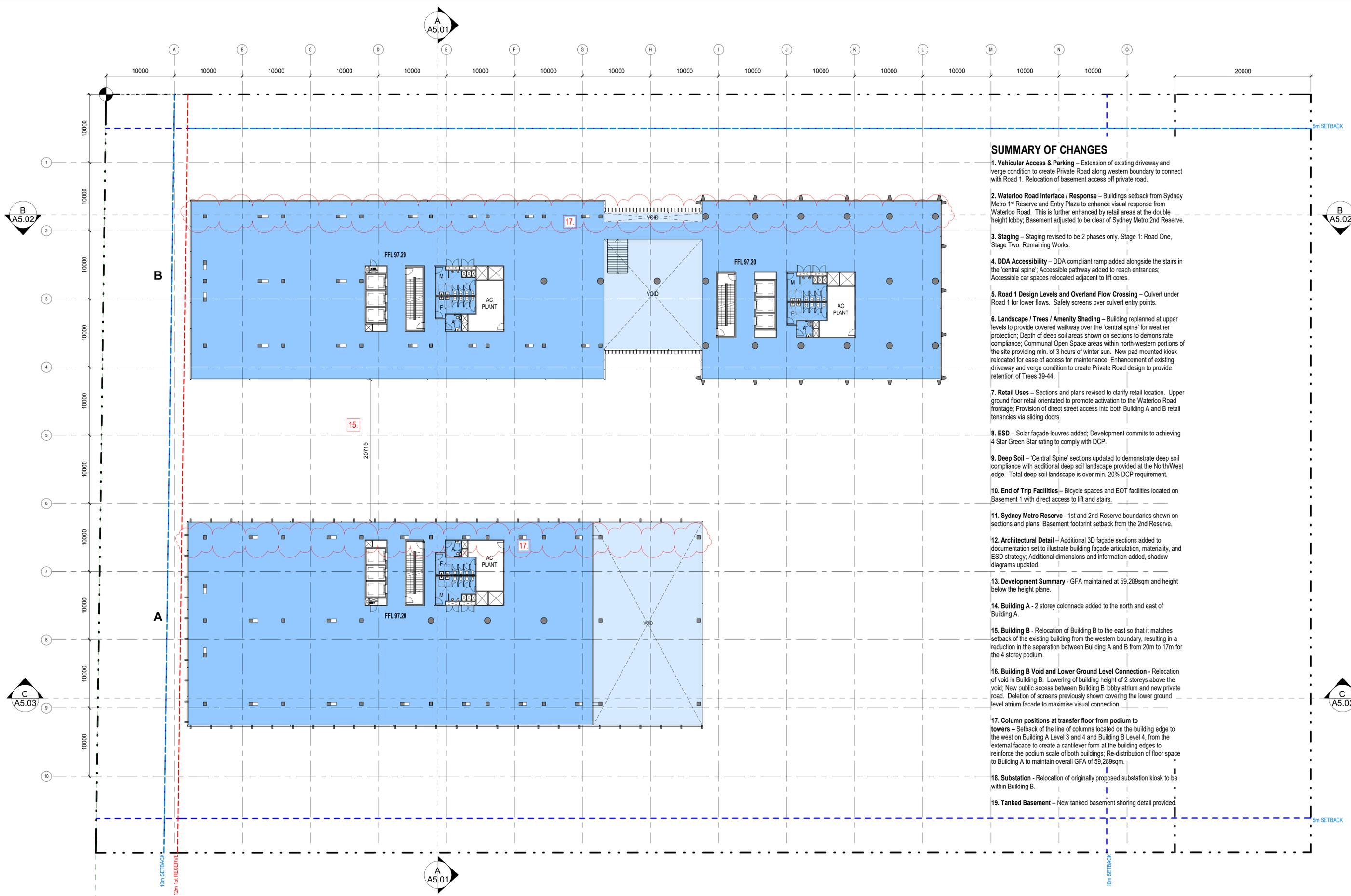
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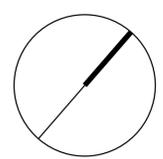
Drawing Title LEVEL 9		Project No. A21005
SCALE 1 : 250 @ A1	Date 2021.10.29	Drawing no: A3.13
		ISSUE D

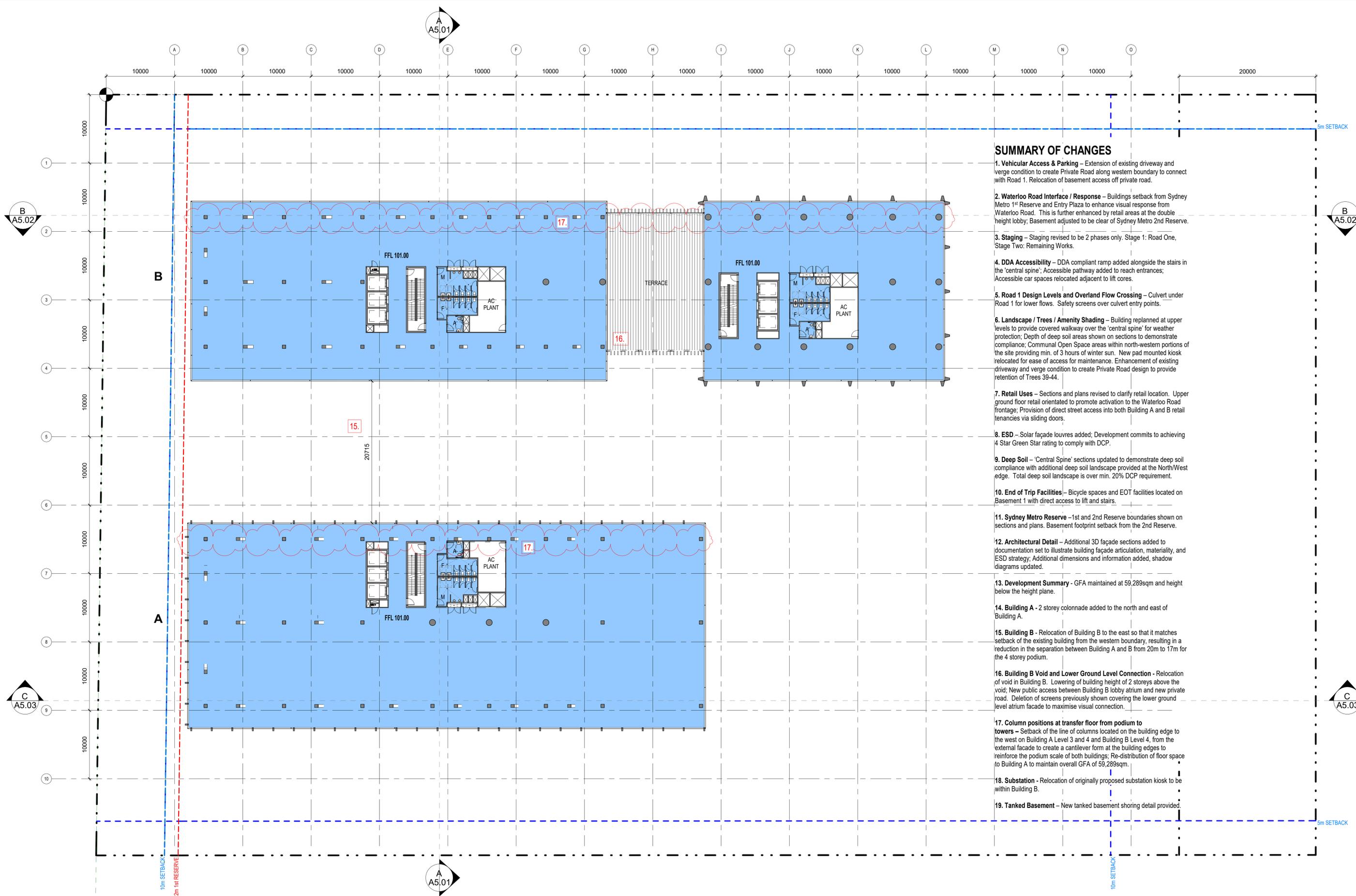


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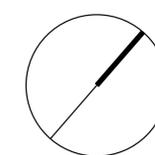


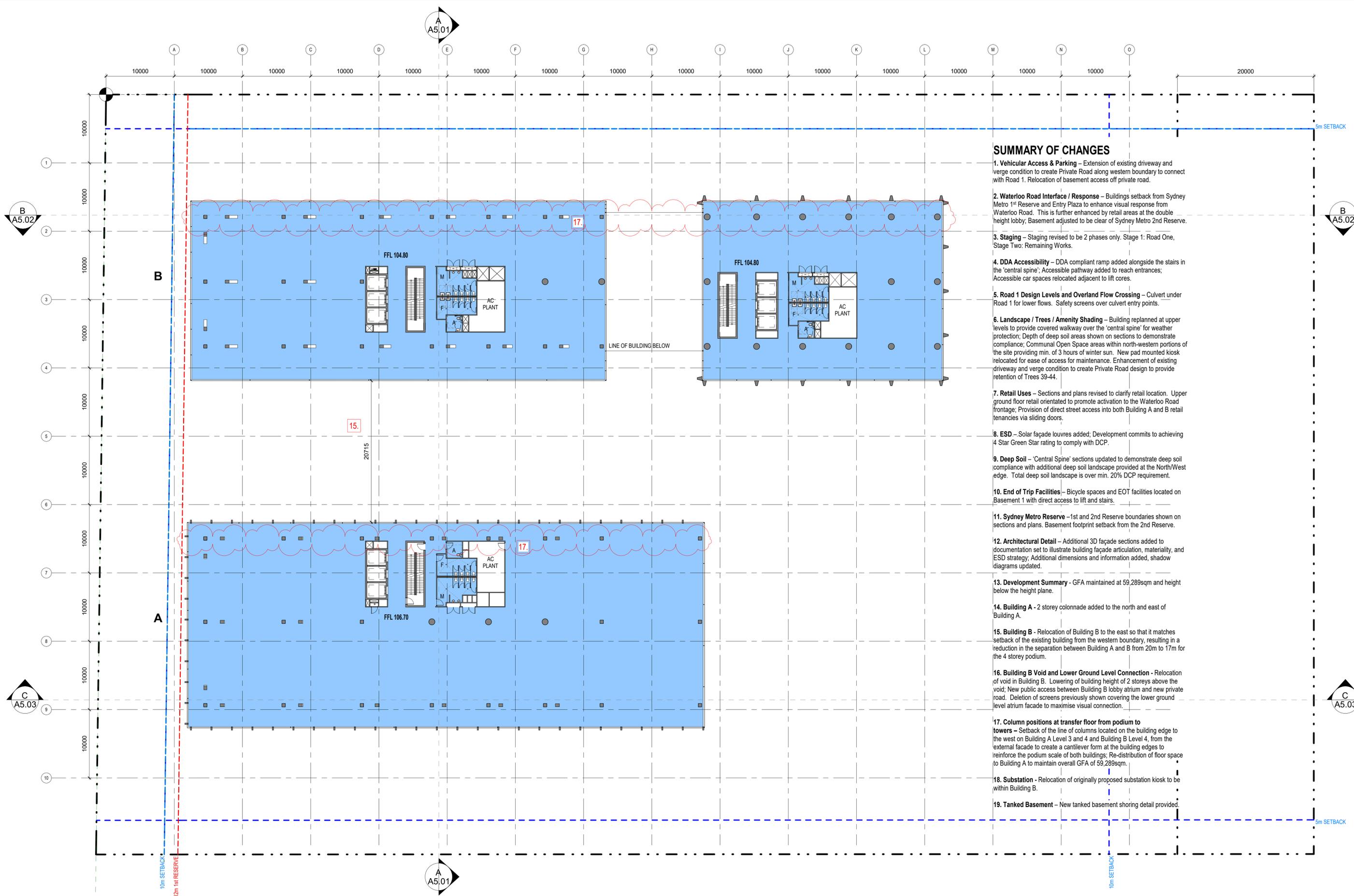


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B	S34 CONFERENCE	01/10/2021
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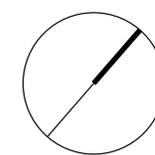


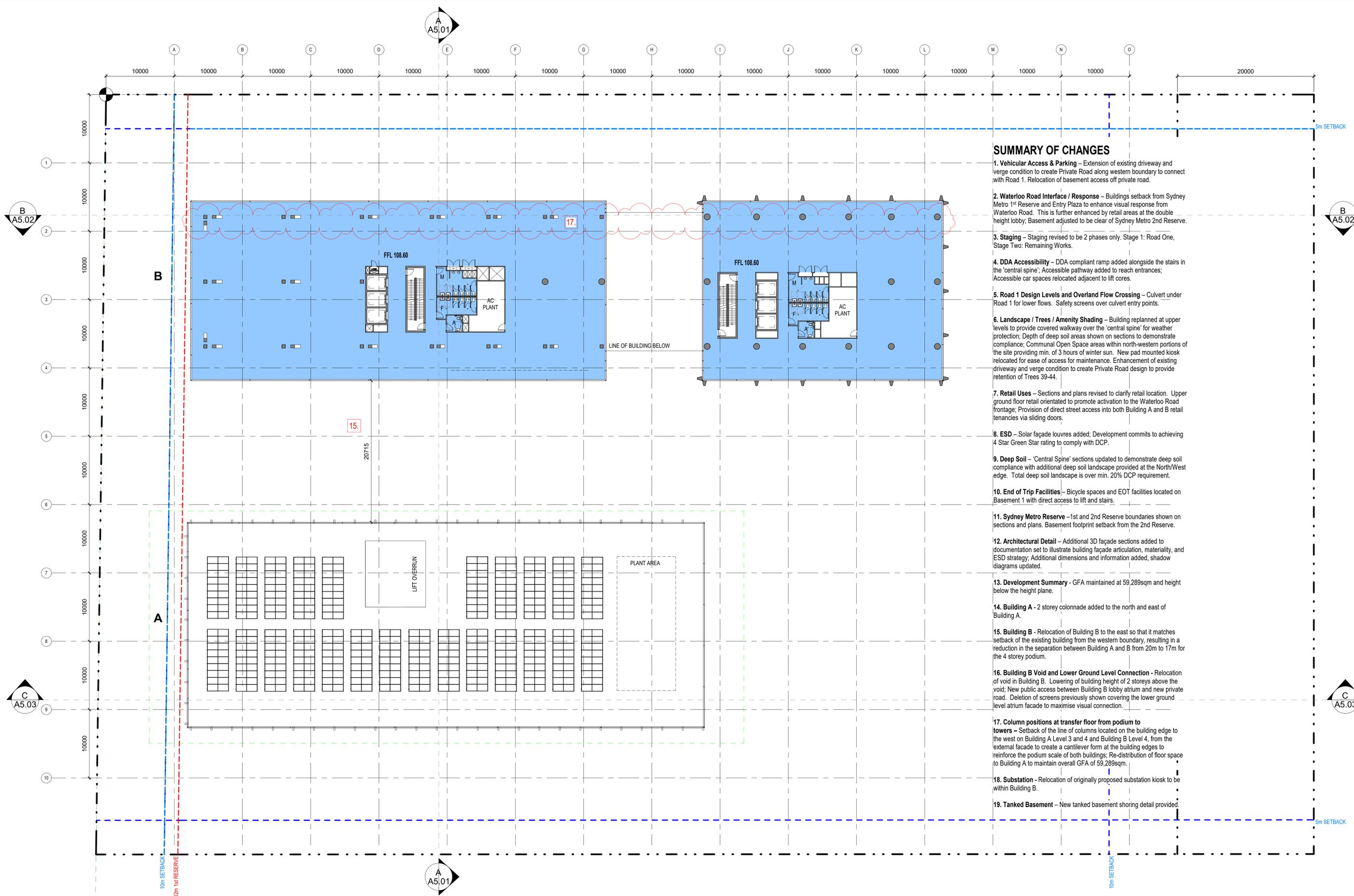


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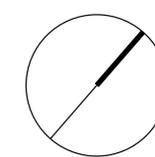


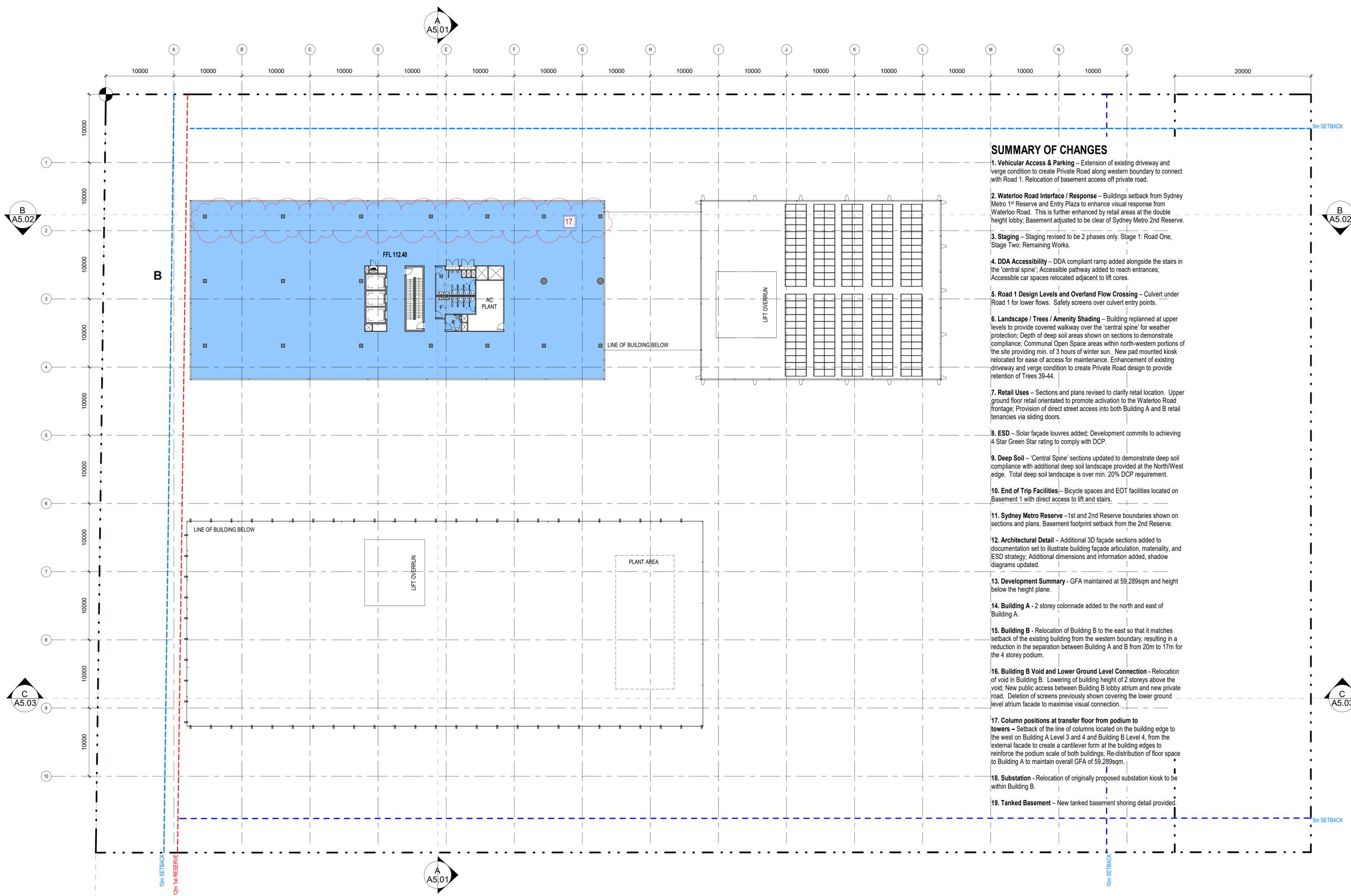


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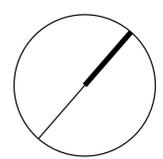


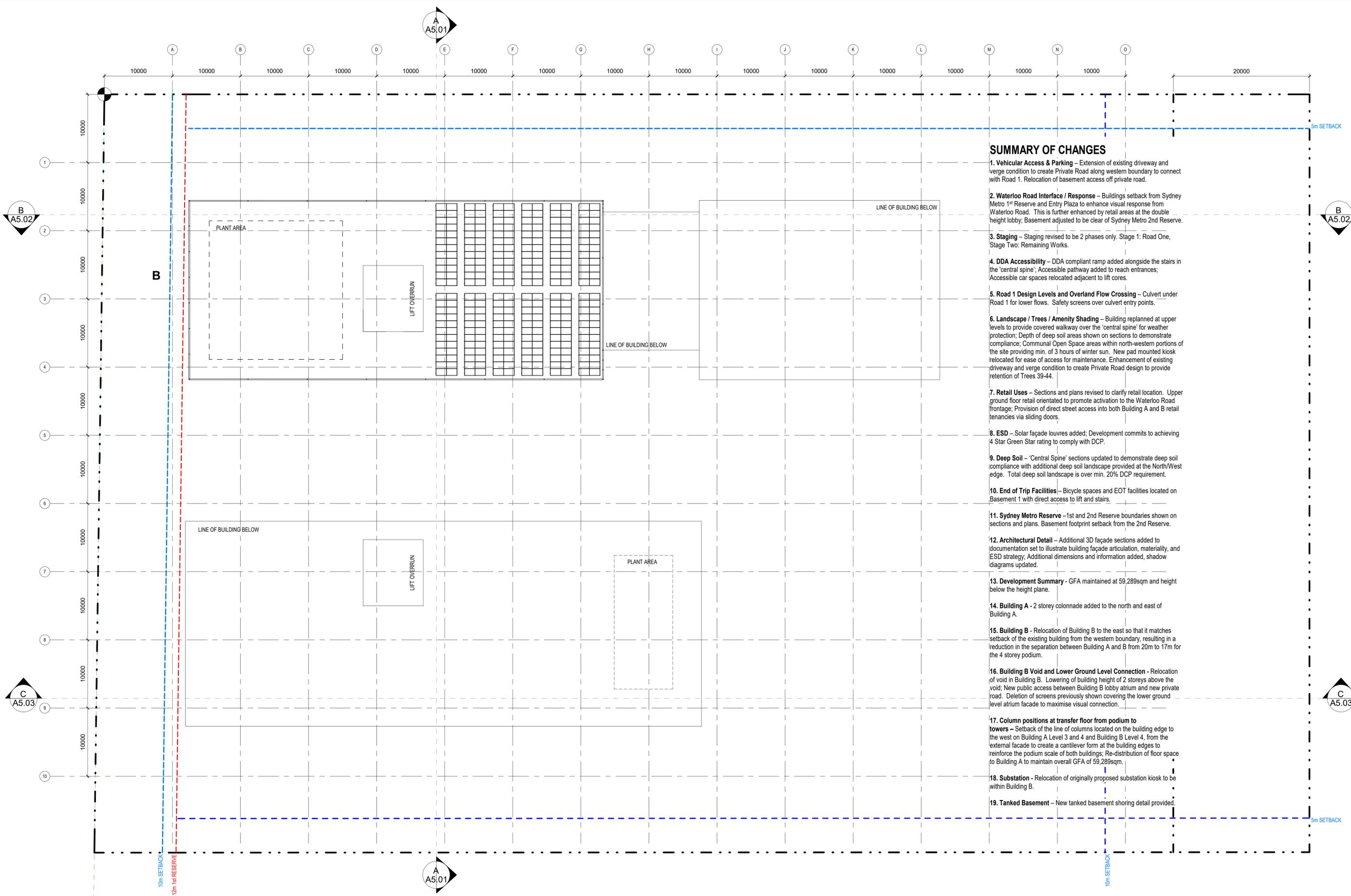


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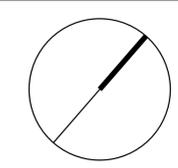
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Project Name
63-71 Waterloo Road ,Macquarie Park

Client Name
UT 65 Pty Ltd



Drawing Title LEVEL ROOF		
SCALE 1 : 250 @ A1	Date 2021.10.29	Drawing no: A3.19

Project No. A21005
ISSUE B



SUMMARY OF CHANGES

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E	AMENDED PLANS	09/12/2021

Project Name	63-71 Waterloo Road ,Macquarie Park
Client Name	UT 65 Pty Ltd

Drawing Title			Project No.
ELEVATION - WEST - BUILDING B			A21005
SCALE	Date	Drawing no:	ISSUE
1 : 250 @ A1	2021.10.29	A4.01	E



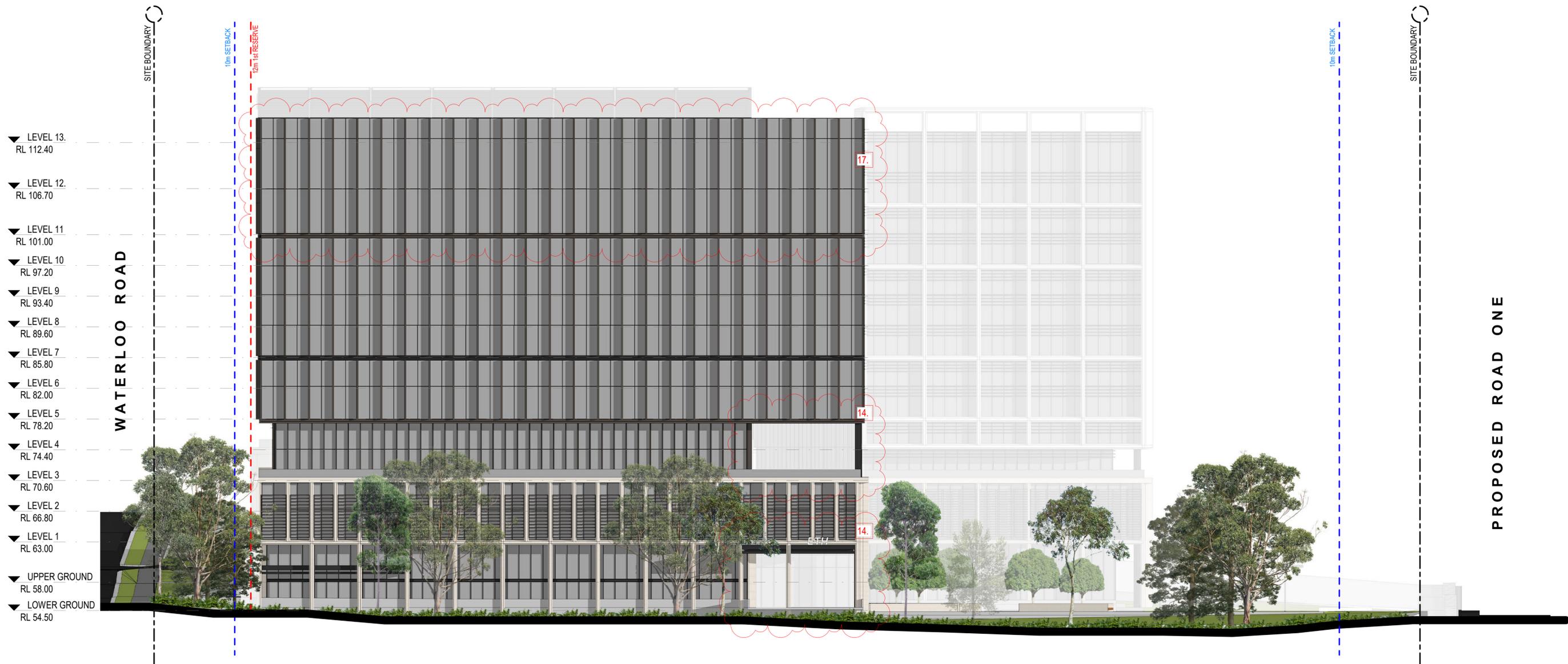
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Drawing Title			Project No.
ELEVATION - NORTH			A21005
SCALE	Date	Drawing no:	ISSUE
1 : 250 @ A1	2021.10.29	A4.02	E



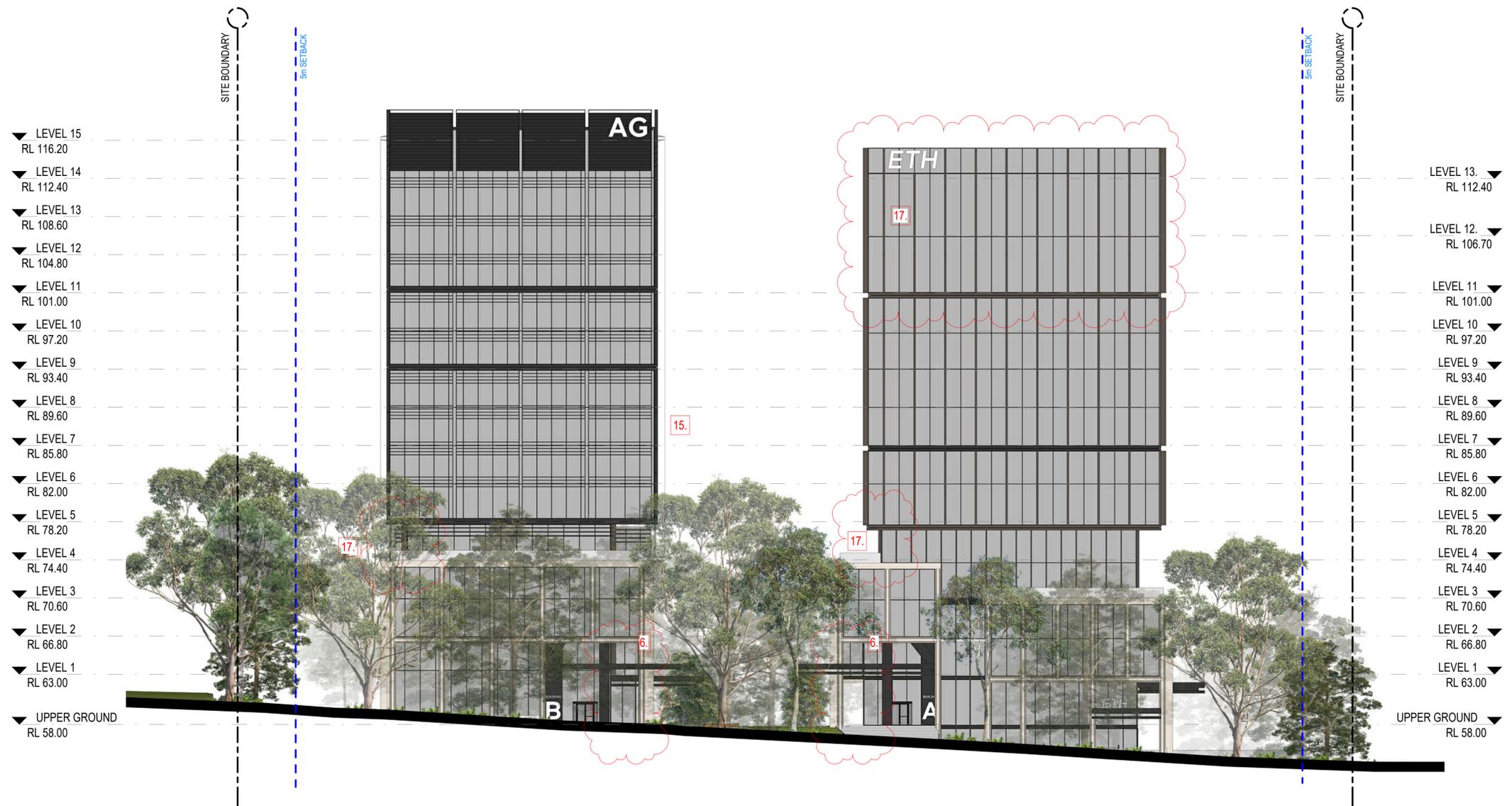
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- 10. End of Trip Facilities** – Bicycle spaces and EOT facilities located on Basement 1 with direct access to lift and stairs.
- 11. Sydney Metro Reserve** – 1st and 2nd Reserve boundaries shown on sections and plans. Basement footprint setback from the 2nd Reserve.
- 12. Architectural Detail** – Additional 3D façade sections added to documentation set to illustrate building façade articulation, materiality, and ESD strategy; Additional dimensions and information added, shadow diagrams updated.
- 13. Development Summary** – GFA maintained at 59,289sqm and height below the height plane.
- 14. Building A** - 2 storey colonnade added to the north and east of Building A.
- 15. Building B** - Relocation of Building B to the east so that it matches setback of the existing building from the western boundary, resulting in a reduction in the separation between Building A and B from 20m to 17m for the 4 storey podium.
- 16. Building B Void and Lower Ground Level Connection** - Relocation of void in Building B. Lowering of building height of 2 storeys above the void; New public access between Building B lobby atrium and new private road. Deletion of screens previously shown covering the lower ground level atrium facade to maximise visual connection.
- 17. Column positions at transfer floor from podium to towers** – Setback of the line of columns located on the building edge to the west on Building A Level 3 and 4 and Building B Level 4, from the external facade to create a cantilever form at the building edges to reinforce the podium scale of both buildings; Re-distribution of floor space to Building A to maintain overall GFA of 59,289sqm.
- 18. Substation** - Relocation of originally proposed substation kiosk to be within Building B.
- 19. Tanked Basement** – New tanked basement shoring detail provided.

Rev	Description	Date
A	DA ISSUE	05/05/2021
B	S34 CONFERENCE	01/10/2021
C	AMENDED PLANS	29/10/2021
D	AMENDED PLANS	01/11/2021
E	AMENDED PLANS	09/12/2021

Project Name	63-71 Waterloo Road ,Macquarie Park
Client Name	UT 65 Pty Ltd

Drawing Title			Project No.
ELEVATION - EAST - BUILDING A			A21005
SCALE	Date	Drawing no:	ISSUE
1 : 250 @ A1	2021.10.29	A4.03	E



SUMMARY OF CHANGES

1. Vehicular Access & Parking – Extension of existing driveway and verge condition to create Private Road along western boundary to connect with Road 1. Relocation of basement access off private road.

2. Waterloo Road Interface / Response – Buildings setback from Sydney Metro 1st Reserve and Entry Plaza to enhance visual response from Waterloo Road. This is further enhanced by retail areas at the double height lobby; Basement adjusted to be clear of Sydney Metro 2nd Reserve.

3. Staging – Staging revised to be 2 phases only. Stage 1: Road One, Stage Two: Remaining Works.

4. DDA Accessibility – DDA compliant ramp added alongside the stairs in the 'central spine'; Accessible pathway added to reach entrances; Accessible car spaces relocated adjacent to lift cores.

5. Road 1 Design Levels and Overland Flow Crossing – Culvert under Road 1 for lower flows. Safety screens over culvert entry points.

6. Landscape / Trees / Amenity Shading – Building replanned at upper levels to provide covered walkway over the 'central spine' for weather protection; Depth of deep soil areas shown on sections to demonstrate compliance; Communal Open Space areas within north-western portions of the site providing min. of 3 hours of winter sun. New pad mounted kiosk relocated for ease of access for maintenance. Enhancement of existing driveway and verge condition to create Private Road design to provide retention of Trees 39-44.

7. Retail Uses – Sections and plans revised to clarify retail location. Upper ground floor retail orientated to promote activation to the Waterloo Road frontage; Provision of direct street access into both Building A and B retail tenancies via sliding doors.

8. ESD – Solar façade louvres added; Development commits to achieving 4 Star Green Star rating to comply with DCP.

9. Deep Soil – 'Central Spine' sections updated to demonstrate deep soil compliance with additional deep soil landscape provided at the North/West edge. Total deep soil landscape is over min. 20% DCP requirement. achieve a 4 storey podium character.

10. End of Trip Facilities – Bicycle spaces and EOT facilities located on Basement 1 with direct access to lift and stairs.

11. Sydney Metro Reserve – 1st and 2nd Reserve boundaries shown on sections and plans. Basement footprint setback from the 2nd Reserve.

12. Architectural Detail – Additional 3D façade sections added to documentation set to illustrate building façade articulation, materiality, and ESD strategy; Additional dimensions and information added, shadow diagrams updated.

13. Development Summary - GFA maintained at 59,289sqm and height below the height plane.

14. Building A - 2 storey colonnade added to the north and east of Building A.

15. Building B - Relocation of Building B to the east so that it matches setback of the existing building from the western boundary, resulting in a reduction in the separation between Building A and B from 20m to 17m for the 4 storey podium.

16. Building B Void and Lower Ground Level Connection - Relocation of void in Building B. Lowering of building height of 2 storeys above the void; New public access between Building B lobby atrium and new private road. Deletion of screens previously shown covering the lower ground level atrium facade to maximise visual connection.

17. Column positions at transfer floor from podium to towers – Setback of the line of columns located on the building edge to the west on Building A Level 3 and 4 and Building B Level 4, from the external facade to create a cantilever form at the building edges to reinforce the podium scale of both buildings; Re-distribution of floor space to Building A to maintain overall GFA of 59,289sqm.

18. Substation - Relocation of originally proposed substation kiosk to be within Building B.

19. Tanked Basement – New tanked basement shoring detail provided.



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Rev	Description	Date
A	DA ISSUE	05/05/2021
B	S34 CONFERENCE	01/10/2021
C	AMENDED PLANS	29/10/2021
D	AMENDED PLANS	01/11/2021
E	AMENDED PLANS	09/12/2021

Project Name
63-71 Waterloo Road ,Macquarie Park

Client Name
UT 65 Pty Ltd

Drawing Title
ELEVATION - SOUTH

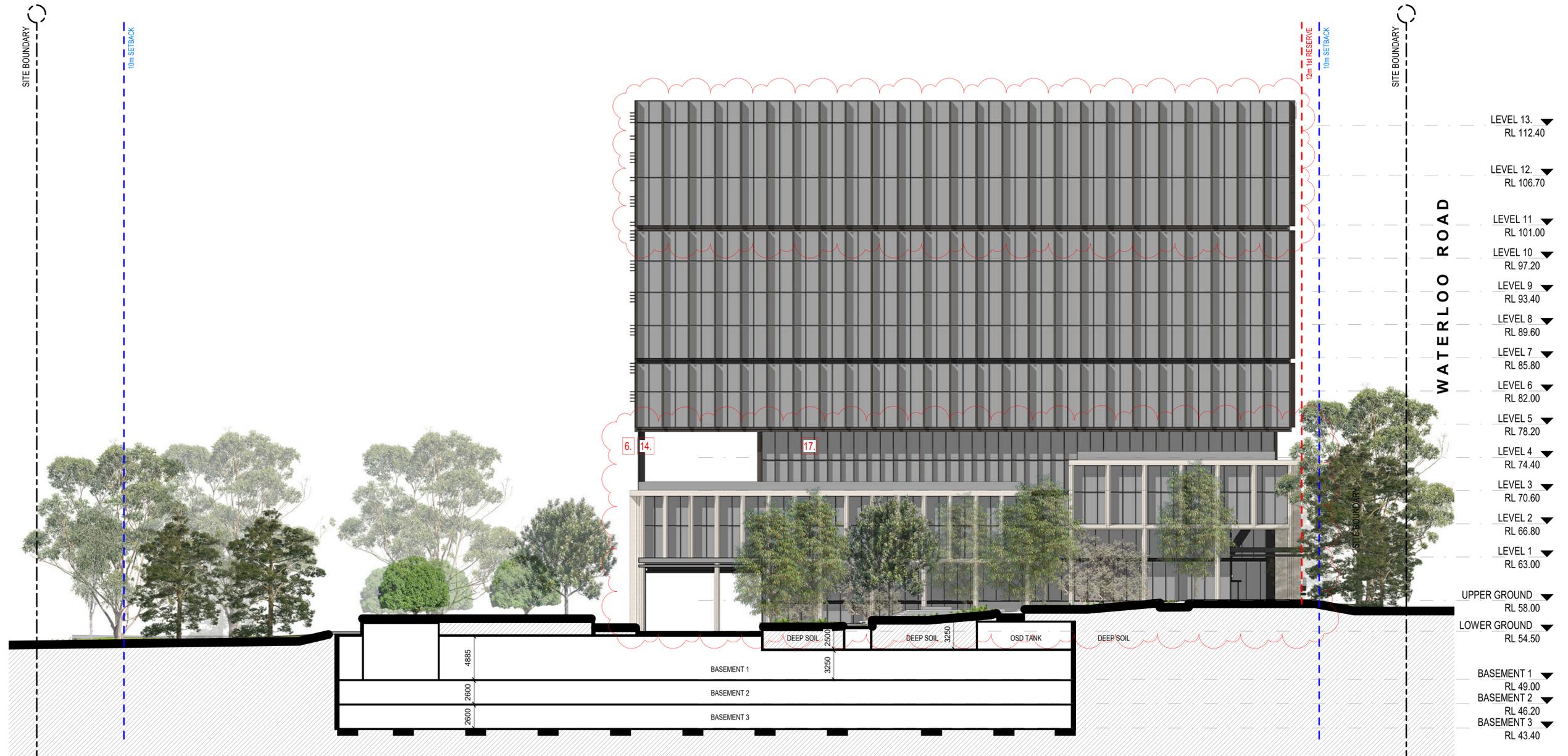
SCALE
1 : 250 @ A1

Date
2021.10.29

Drawing no:
A4.04

Project No.
A21005

ISSUE
E



SUMMARY OF CHANGES

- 1. Vehicular Access & Parking** – Extension of existing driveway and verge condition to create Private Road along western boundary to connect with Road 1. Relocation of basement access off private road.
- 2. Waterloo Road Interface / Response** – Buildings setback from Sydney Metro 1st Reserve and Entry Plaza to enhance visual response from Waterloo Road. This is further enhanced by retail areas at the double height lobby; Basement adjusted to be clear of Sydney Metro 2nd Reserve.
- 3. Staging** – Staging revised to be 2 phases only. Stage 1: Road One, Stage Two: Remaining Works.
- 4. DDA Accessibility** – DDA compliant ramp added alongside the stairs in the 'central spine'; Accessible pathway added to reach entrances; Accessible car spaces relocated adjacent to lift cores.
- 5. Road 1 Design Levels and Overland Flow Crossing** – Culvert under Road 1 for lower flows. Safety screens over culvert entry points.

- 6. Landscape / Trees / Amenity Shading** – Building replanned at upper levels to provide covered walkway over the 'central spine' for weather protection; Depth of deep soil areas shown on sections to demonstrate compliance; Communal Open Space areas within north-western portions of the site providing min. of 3 hours of winter sun. New pad mounted kiosk relocated for ease of access for maintenance. Enhancement of existing driveway and verge condition to create Private Road design to provide retention of Trees 39-44.
- 7. Retail Uses** – Sections and plans revised to clarify retail location. Upper ground floor retail orientated to promote activation to the Waterloo Road frontage; Provision of direct street access into both Building A and B retail tenancies via sliding doors.
- 8. ESD** – Solar façade louvres added; Development commits to achieving 4 Star Green Star rating to comply with DCP.
- 9. Deep Soil** – 'Central Spine' sections updated to demonstrate deep soil compliance with additional deep soil landscape provided at the North/West edge. Total deep soil landscape is over min. 20% DCP requirement. achieve a 4 storey podium character.

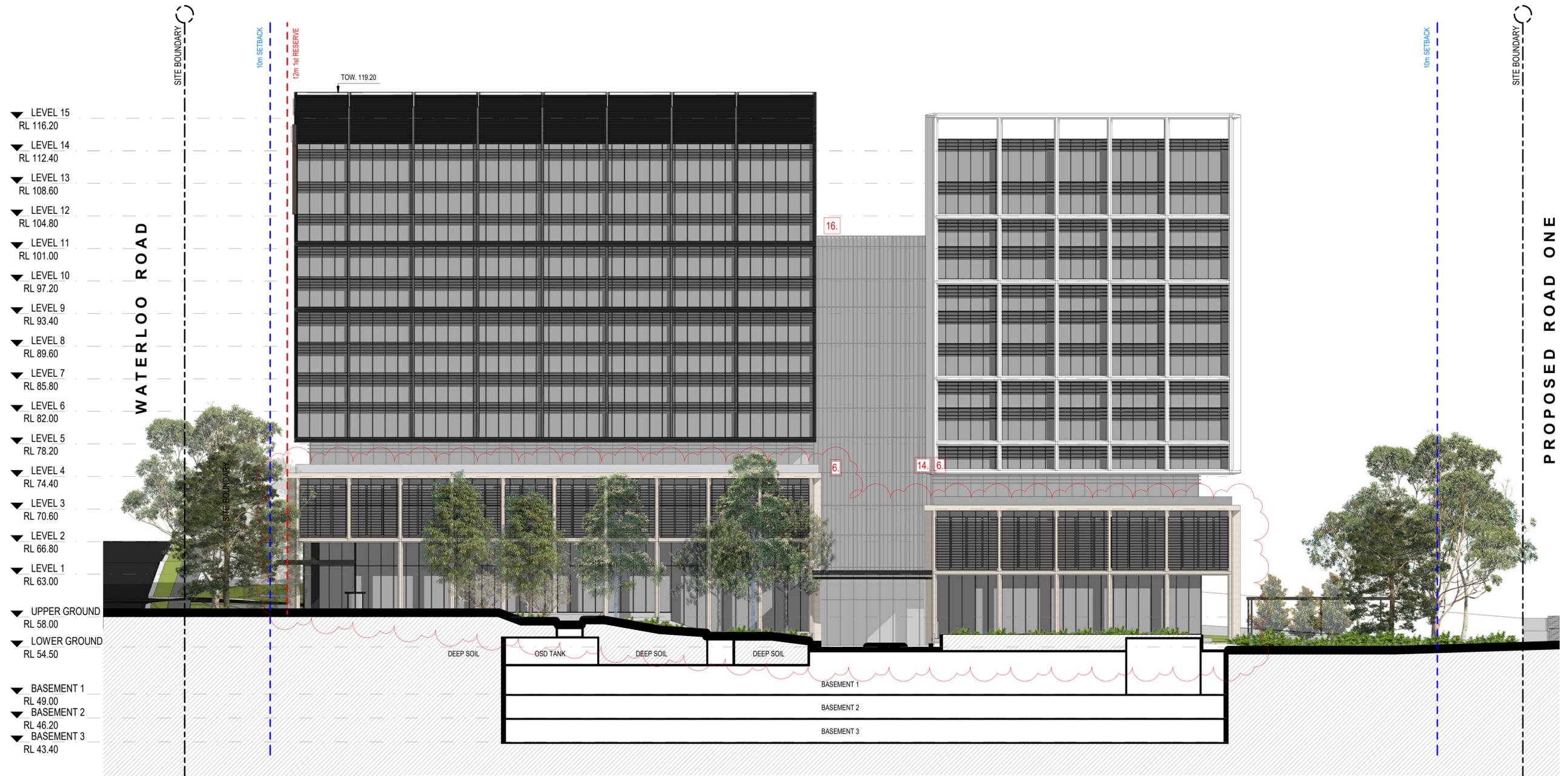
- 10. End of Trip Facilities** – Bicycle spaces and EOT facilities located on Basement 1 with direct access to lift and stairs.
- 11. Sydney Metro Reserve** – 1st and 2nd Reserve boundaries shown on sections and plans. Basement footprint setback from the 2nd Reserve.
- 12. Architectural Detail** – Additional 3D façade sections added to documentation set to illustrate building façade articulation, materiality, and ESD strategy; Additional dimensions and information added, shadow diagrams updated.
- 13. Development Summary** - GFA maintained at 59,289sqm and height below the height plane.
- 14. Building A** - 2 storey colonnade added to the north and east of Building A.
- 15. Building B** - Relocation of Building B to the east so that it matches setback of the existing building from the western boundary, resulting in a reduction in the separation between Building A and B from 20m to 17m for the 4 storey podium.

- 16. Building B Void and Lower Ground Level Connection** - Relocation of void in Building B. Lowering of building height of 2 storeys above the void; New public access between Building B lobby atrium and new private road. Deletion of screens previously shown covering the lower ground level atrium facade to maximise visual connection.
- 17. Column positions at transfer floor from podium to towers** – Setback of the line of columns located on the building edge to the west on Building A Level 3 and 4 and Building B Level 4, from the external facade to create a cantilever form at the building edges to reinforce the podium scale of both buildings; Re-distribution of floor space to Building A to maintain overall GFA of 59,289sqm.
- 18. Substation** - Relocation of originally proposed substation kiosk to be within Building B.
- 19. Tanked Basement** – New tanked basement shoring detail provided.

Rev	Description	Date
A	DA ISSUE	05/05/2021
B	S34 CONFERENCE	01/10/2021
C	AMENDED PLANS	29/10/2021
D	AMENDED PLANS	01/11/2021
E	AMENDED PLANS	09/12/2021

Project Name	63-71 Waterloo Road ,Macquarie Park
Client Name	UT 65 Pty Ltd

Drawing Title			Project No.
ELEVATION - WEST - BUILDING A			A21005
SCALE	Date	Drawing no:	ISSUE
1 : 250 @ A1	2021.10.29	A4.05	E



SUMMARY OF CHANGES

- 1. Vehicular Access & Parking** – Extension of existing driveway and verge condition to create Private Road along western boundary to connect with Road 1. Relocation of basement access off private road.
- 2. Waterloo Road Interface / Response** – Buildings setback from Sydney Metro 1st Reserve and Entry Plaza to enhance visual response from Waterloo Road. This is further enhanced by retail areas at the double height lobby; Basement adjusted to be clear of Sydney Metro 2nd Reserve.
- 3. Staging** – Staging revised to be 2 phases only. Stage 1: Road One, Stage Two: Remaining Works.
- 4. DDA Accessibility** – DDA compliant ramp added alongside the stairs in the 'central spine'; Accessible pathway added to reach entrances; Accessible car spaces relocated adjacent to lift cores.
- 5. Road 1 Design Levels and Overland Flow Crossing** – Culvert under Road 1 for lower flows. Safety screens over culvert entry points.
- 6. Landscape / Trees / Amenity Shading** – Building replanned at upper levels to provide covered walkway over the 'central spine' for weather protection; Depth of deep soil areas shown on sections to demonstrate compliance; Communal Open Space areas within north-western portions of the site providing min. of 3 hours of winter sun. New pad mounted kiosk relocated for ease of access for maintenance. Enhancement of existing driveway and verge condition to create Private Road design to provide retention of Trees 39-44.
- 7. Retail Uses** – Sections and plans revised to clarify retail location. Upper ground floor retail orientated to promote activation to the Waterloo Road frontage; Provision of direct street access into both Building A and B retail tenancies via sliding doors.
- 8. ESD** – Solar façade louvres added; Development commits to achieving 4 Star Green Star rating to comply with DCP.
- 9. Deep Soil** – 'Central Spine' sections updated to demonstrate deep soil compliance with additional deep soil landscape provided at the North/West edge. Total deep soil landscape is over min. 20% DCP requirement. achieve a 4 storey podium character.
- 10. End of Trip Facilities** – Bicycle spaces and EOT facilities located on Basement 1 with direct access to lift and stairs.
- 11. Sydney Metro Reserve** – 1st and 2nd Reserve boundaries shown on sections and plans. Basement footprint setback from the 2nd Reserve.
- 12. Architectural Detail** – Additional 3D façade sections added to documentation set to illustrate building façade articulation, materiality, and ESD strategy; Additional dimensions and information added, shadow diagrams updated.
- 13. Development Summary** - GFA maintained at 59,289sqm and height below the height plane.
- 14. Building A** - 2 storey colonnade added to the north and east of Building A.
- 15. Building B** - Relocation of Building B to the east so that it matches setback of the existing building from the western boundary, resulting in a reduction in the separation between Building A and B from 20m to 17m for the 4 storey podium.
- 16. Building B Void and Lower Ground Level Connection** - Relocation of void in Building B. Lowering of building height of 2 storeys above the void; New public access between Building B lobby atrium and new private road. Deletion of screens previously shown covering the lower ground level atrium facade to maximise visual connection.
- 17. Column positions at transfer floor from podium to towers** – Setback of the line of columns located on the building edge to the west on Building A Level 3 and 4 and Building B Level 4, from the external facade to create a cantilever form at the building edges to reinforce the podium scale of both buildings; Re-distribution of floor space to Building A to maintain overall GFA of 59,289sqm.
- 18. Substation** - Relocation of originally proposed substation kiosk to be within Building B.
- 19. Tanked Basement** – New tanked basement shoring detail provided.



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Rev	Description	Date
A	DA ISSUE	05/05/2021
B	S34 CONFERENCE	01/10/2021
C	AMENDED PLANS	29/10/2021
D	AMENDED PLANS	01/11/2021
E	AMENDED PLANS	09/12/2021

Project Name
63-71 Waterloo Road ,Macquarie Park

Client Name
UT 65 Pty Ltd

Drawing Title
ELEVATION - EAST - BUILDING B

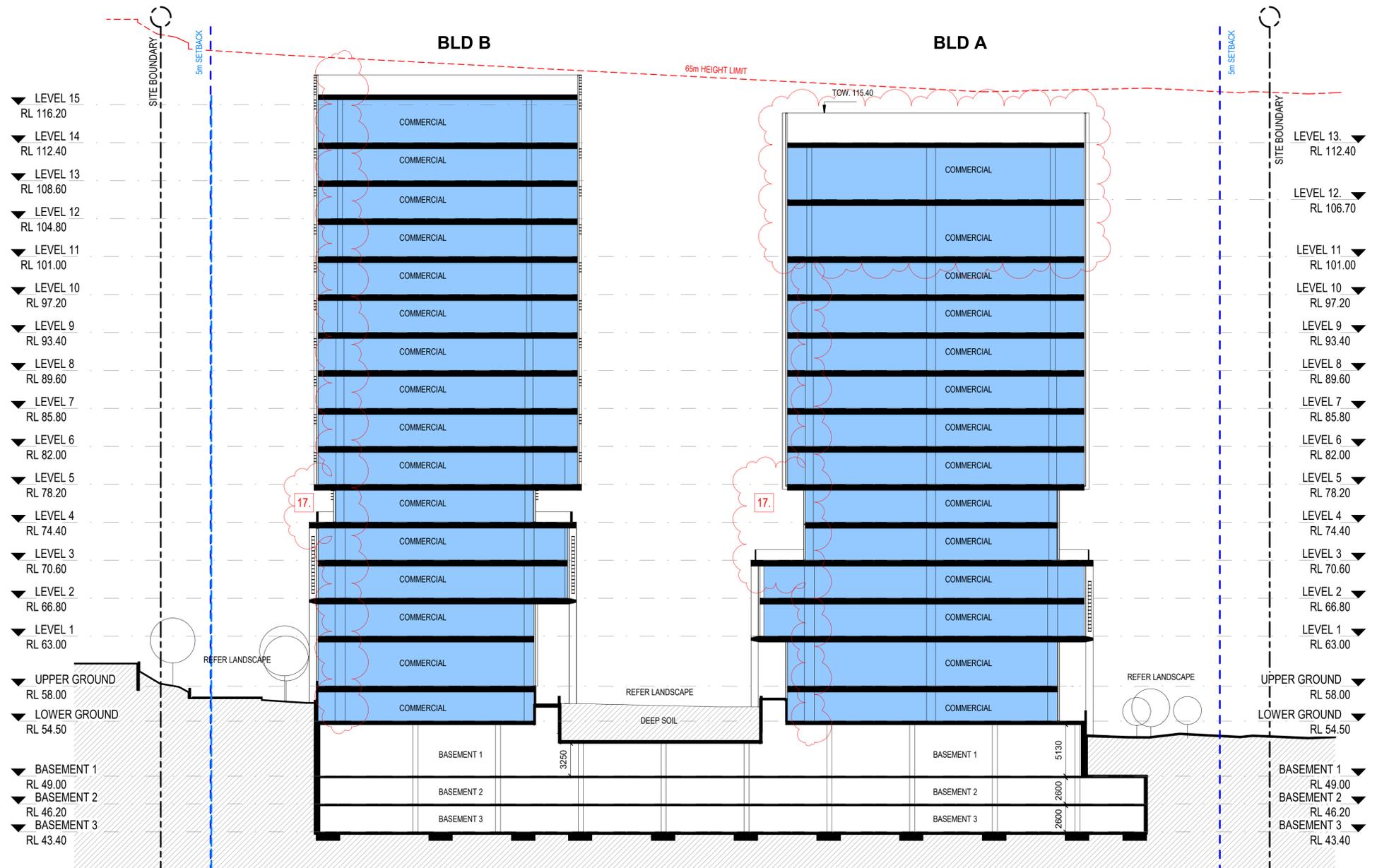
SCALE
1 : 250 @ A1

Date
2021.10.29

Drawing no:
A4.06

Project No.
A21005

ISSUE
E



SUMMARY OF CHANGES

1. Vehicular Access & Parking – Extension of existing driveway and verge condition to create Private Road along western boundary to connect with Road 1. Relocation of basement access off private road.

2. Waterloo Road Interface / Response – Buildings setback from Sydney Metro 1st Reserve and Entry Plaza to enhance visual response from Waterloo Road. This is further enhanced by retail areas at the double height lobby; Basement adjusted to be clear of Sydney Metro 2nd Reserve.

3. Staging – Staging revised to be 2 phases only. Stage 1: Road One, Stage Two: Remaining Works.

4. DDA Accessibility – DDA compliant ramp added alongside the stairs in the 'central spine'; Accessible pathway added to reach entrances; Accessible car spaces relocated adjacent to lift cores.

5. Road 1 Design Levels and Overland Flow Crossing – Culvert under Road 1 for lower flows. Safety screens over culvert entry points.

6. Landscape / Trees / Amenity Shading – Building replanned at upper levels to provide covered walkway over the 'central spine' for weather protection; Depth of deep soil areas shown on sections to demonstrate compliance; Communal Open Space areas within north-western portions of the site providing min. of 3 hours of winter sun. New pad mounted kiosk relocated for ease of access for maintenance. Enhancement of existing driveway and verge condition to create Private Road design to provide retention of Trees 39-44.

7. Retail Uses – Sections and plans revised to clarify retail location. Upper ground floor retail orientated to promote activation to the Waterloo Road frontage; Provision of direct street access into both Building A and B retail tenancies via sliding doors.

8. ESD – Solar façade louvres added; Development commits to achieving 4 Star Green Star rating to comply with DCP.

9. Deep Soil – 'Central Spine' sections updated to demonstrate deep soil compliance with additional deep soil landscape provided at the North/West edge. Total deep soil landscape is over min. 20% DCP requirement. achieve a 4 storey podium character.

10. End of Trip Facilities – Bicycle spaces and EOT facilities located on Basement 1 with direct access to lift and stairs.

11. Sydney Metro Reserve – 1st and 2nd Reserve boundaries shown on sections and plans. Basement footprint setback from the 2nd Reserve.

12. Architectural Detail – Additional 3D façade sections added to documentation set to illustrate building façade articulation, materiality, and ESD strategy; Additional dimensions and information added, shadow diagrams updated.

13. Development Summary - GFA maintained at 59,289sqm and height below the height plane.

14. Building A - 2 storey colonnade added to the north and east of Building A.

15. Building B - Relocation of Building B to the east so that it matches setback of the existing building from the western boundary, resulting in a reduction in the separation between Building A and B from 20m to 17m for the 4 storey podium.

16. Building B Void and Lower Ground Level Connection - Relocation of void in Building B. Lowering of building height of 2 storeys above the void; New public access between Building B lobby atrium and new private road. Deletion of screens previously shown covering the lower ground level atrium facade to maximise visual connection.

17. Column positions at transfer floor from podium to towers – Setback of the line of columns located on the building edge to the west on Building A Level 3 and 4 and Building B Level 4, from the external facade to create a cantilever form at the building edges to reinforce the podium scale of both buildings; Re-distribution of floor space to Building A to maintain overall GFA of 59,289sqm.

18. Substation - Relocation of originally proposed substation kiosk to be within Building B.

19. Tanked Basement – New tanked basement shoring detail provided.



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Rev	Description	Date
A	DA ISSUE	05/05/2021
B	S34 CONFERENCE	01/10/2021
C	AMENDED PLANS	29/10/2021
D	AMENDED PLANS	01/11/2021
E	AMENDED PLANS	09/12/2021

Project Name
63-71 Waterloo Road ,Macquarie Park

Client Name
UT 65 Pty Ltd

Drawing Title
SECTION A-A

SCALE
1 : 250 @ A1

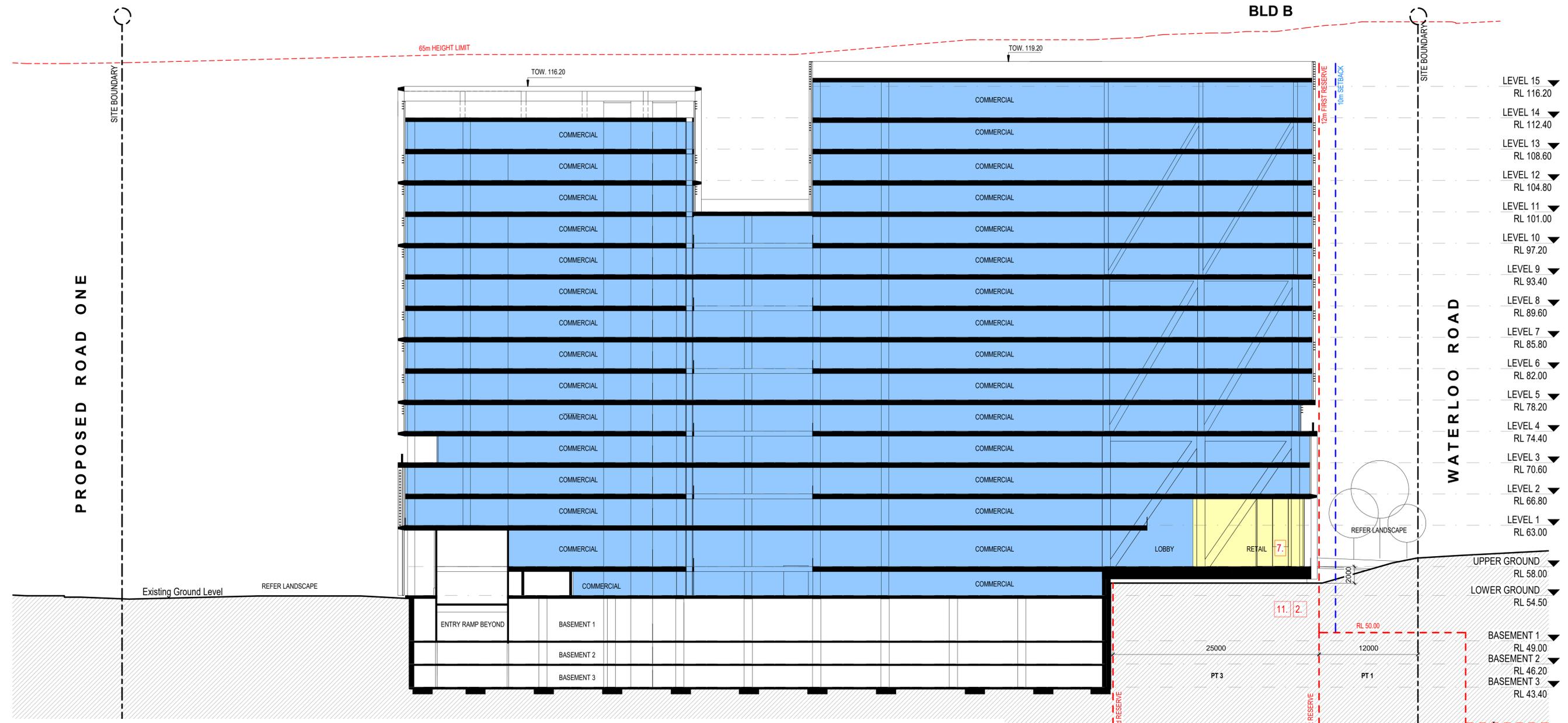
Date
2021.10.29

Drawing no:
A5.01

Project No.
A21005

ISSUE
E

BLD B



SUMMARY OF CHANGES

1. **Vehicular Access & Parking** – Extension of existing driveway and verge condition to create Private Road along western boundary to connect with Road 1. Relocation of basement access off private road.
2. **Waterloo Road Interface / Response** – Buildings setback from Sydney Metro 1st Reserve and Entry Plaza to enhance visual response from Waterloo Road. This is further enhanced by retail areas at the double height lobby; Basement adjusted to be clear of Sydney Metro 2nd Reserve.
3. **Staging** – Staging revised to be 2 phases only. Stage 1: Road One, Stage Two: Remaining Works.
4. **DDA Accessibility** – DDA compliant ramp added alongside the stairs in the 'central spine'; Accessible pathway added to reach entrances; Accessible car spaces relocated adjacent to lift cores.
5. **Road 1 Design Levels and Overland Flow Crossing** – Culvert under Road 1 for lower flows. Safety screens over culvert entry points.
6. **Landscape / Trees / Amenity Shading** – Building replanned at upper levels to provide covered walkway over the 'central spine' for weather protection; Depth of deep soil areas shown on sections to demonstrate compliance; Communal Open Space areas within north-western portions of the site providing min. of 3 hours of winter sun. New pad mounted kiosks relocated for ease of access for maintenance. Enhancement of existing driveway and verge condition to create Private Road design to provide retention of Trees 39-44.
7. **Retail Uses** – Sections and plans revised to clarify retail location. Upper ground floor retail orientated to promote activation to the Waterloo Road frontage; Provision of direct street access into both Building A and B retail tenancies via sliding doors.
8. **ESD** – Solar façade louvres added; Development commits to achieving 4 Star Green Star rating to comply with DCP.
9. **Deep Soil** – 'Central Spine' sections updated to demonstrate deep soil compliance with additional deep soil landscape provided at the North/West edge. Total deep soil landscape is over min. 20% DCP requirement. achieve a 4 storey podium character.
10. **End of Trip Facilities** – Bicycle spaces and EOT facilities located on Basement 1 with direct access to lift and stairs.
11. **Sydney Metro Reserve** – 1st and 2nd Reserve boundaries shown on sections and plans. Basement footprint setback from the 2nd Reserve.
12. **Architectural Detail** – Additional 3D façade sections added to documentation set to illustrate building façade articulation, materiality, and ESD strategy; Additional dimensions and information added, shadow diagrams updated.
13. **Development Summary** - GFA maintained at 59,289sqm and height below the height plane.
14. **Building A** - 2 storey colonnade added to the north and east of Building A.
15. **Building B** - Relocation of Building B to the east so that it matches setback of the existing building from the western boundary, resulting in a reduction in the separation between Building A and B from 20m to 17m for the 4 storey podium.
16. **Building B Void and Lower Ground Level Connection** - Relocation of void in Building B. Lowering of building height of 2 storeys above the void; New public access between Building B lobby atrium and new private road. Deletion of screens previously shown covering the lower ground level atrium facade to maximise visual connection.
17. **Column positions at transfer floor from podium to towers** – Setback of the line of columns located on the building edge to the west on Building A Level 3 and 4 and Building B Level 4, from the external facade to create a cantilever form at the building edges to reinforce the podium scale of both buildings; Re-distribution of floor space to Building A to maintain overall GFA of 59,289sqm.
18. **Substation** - Relocation of originally proposed substation kiosk to be within Building B.
19. **Tanked Basement** – New tanked basement shoring detail provided.

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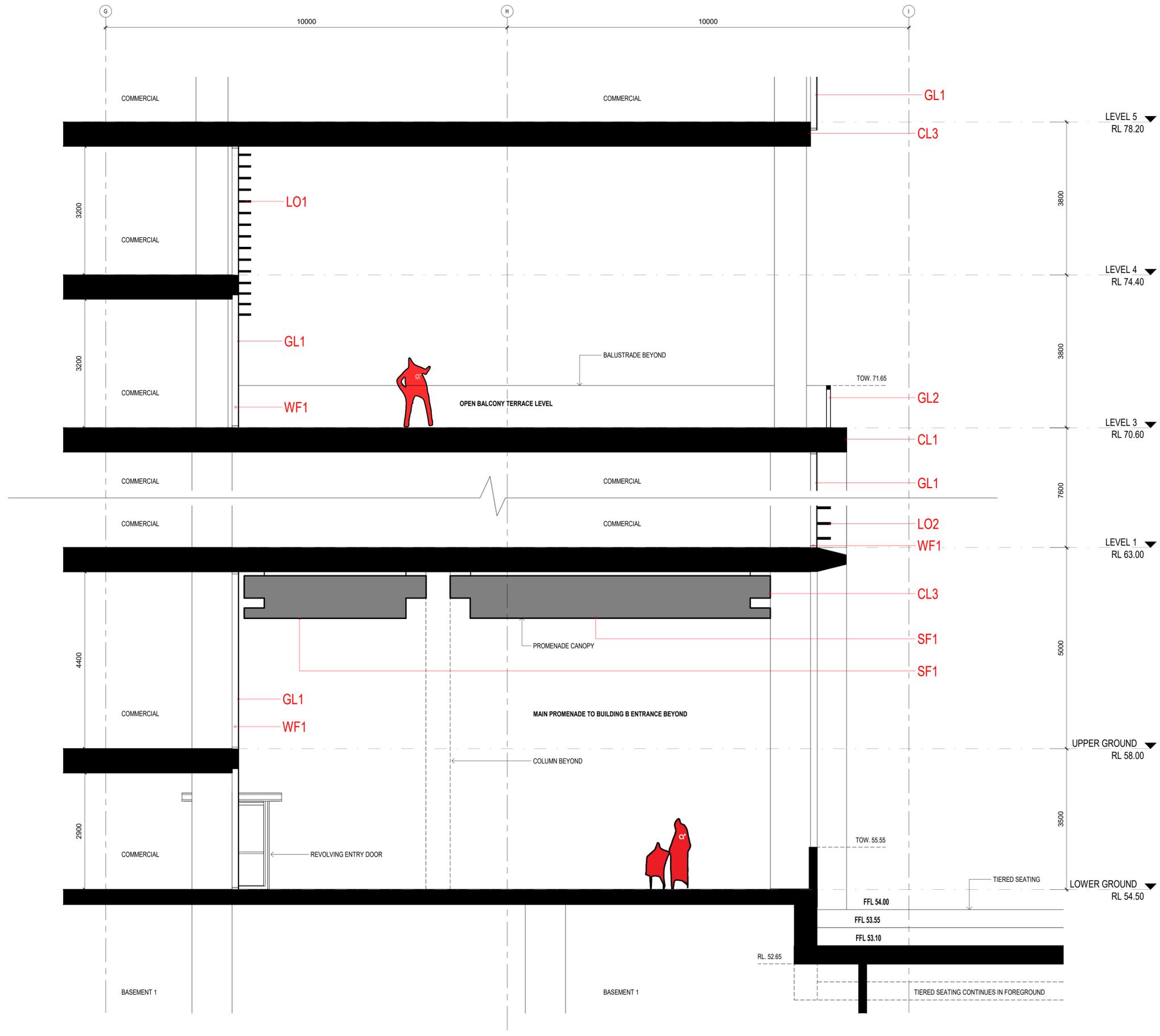
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SYDNEY, NSW 2000
NOMINATED ARCHITECT-TONY LEUNG NSW 7133

Rev	Description	Date
A	DA ISSUE	05/05/2021
B	S34 CONFERENCE	01/10/2021
C	SYDNEY METRO TUNNEL ADDITION	14/10/2021
D	AMENDED PLANS	29/10/2021
E	AMENDED PLANS	01/11/2021

Project Name
63-71 Waterloo Road ,Macquarie Park

Client Name
UT 65 Pty Ltd

Drawing Title SECTION B-B			Project No. A21005
SCALE 1 : 250 @ A1	Date 2021.10.29	Drawing no: A5.02	ISSUE E



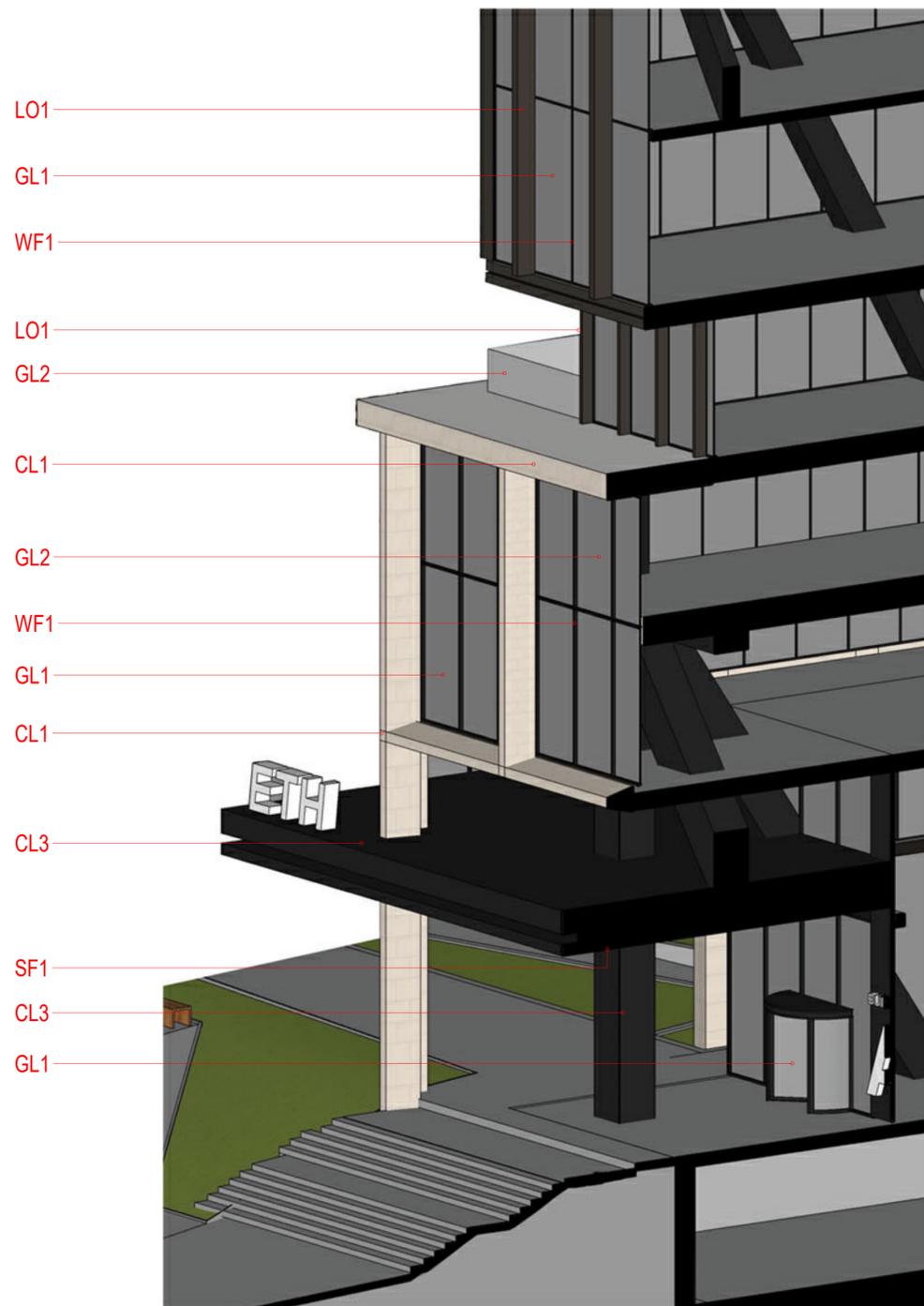
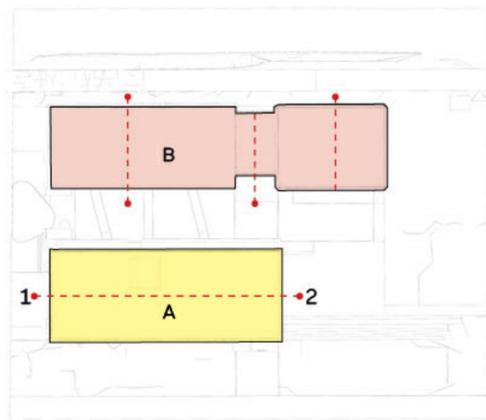
- WT1**
LANDSCAPE ELEMENTS
IN-SITU CONCRETE
FINISH:
OFF-FORMED SMOOTH FINISH
NOTE: All concrete pour batches to match same colour tone.
- LO1**
VERTICAL LOUVRES
PREFABRICATED ALUMINIUM ELEMENTS
FINISH:
DULUX MONUMENT GREY POWDER COAT FINISH
ESD:
Material and finish aims to address:
- Reduction of glare, solar heat gain, light pollution.
- LO2**
HORIZONTAL LOUVRES
PREFABRICATED ALUMINIUM ELEMENTS
FINISH:
DULUX MONUMENT GREY POWDER COAT FINISH
ESD:
Material and finish aims to address:
- Reduction of glare, solar heat gain, light pollution.
- CL1**
NON-STRUCTURAL FACADE CLADDING
SANDSTONE CLADDING PANELS
SIMILAR TO:
ARMSTONE LANCASTER WALL CLADDING
FINISH:
GANGSAW FINISH
- CL2**
NON-STRUCTURAL FACADE CLADDING
FIBRE CEMENT SHEETING
SIMILAR TO:
COMTEX CLADDING PANEL BY JAMES HARDY FLUSH PANEL BUTT JOINT TO MANUFACTURER
FINISH:
DULUX LEXICON QUARTER PAINTED FINISH
- SF1**
SOFFIT
FIBRE CEMENT SHEETING
SIMILAR TO:
CEMINTEL 'COMMERCIAL SOFFITLINE'
FINISH:
DULUX LEXICON QUARTER PAINTED FINISH
- WF1**
WINDOW FRAME
ALUMINIUM WINDOW FRAMING
FINISH:
DULUX MONUMENT GREY POWDER COAT FINISH
ESD:
Material and finish aims to address:
- Reduction of thermal transmission to outside.
- GL1**
PERFORMANCE GLAZING - CLEAR
NATURAL BLACK HUE
ESD:
Material and finish aims to address:
- Reduction of internal noise levels, acoustic reverberation, glare reduction, solar heat gain, light pollution.
- Maximises incorporation of cell shading technologies, indoor air quality, ventilation.
- GL2**
GLASS BALUSTRADE - CLEAR
NATURAL BLACK HUE
ESD:
- Toughened glass balustrade with SHS top rail.
- CL3**
FASCIA AND COLUMN CLADDING
FIBRE CEMENT SHEETING
SIMILAR TO:
CEMINTEL 'COMMERCIAL EXPRESSPANEL'
FINISH:
DULUX MONUMENT GREY PAINTED FINISH

Rev	Description	Date
A	S34 CONFERENCE	01/10/2021
B	AMENDED PLANS	29/10/2021
C	AMENDED PLANS	01/11/2021

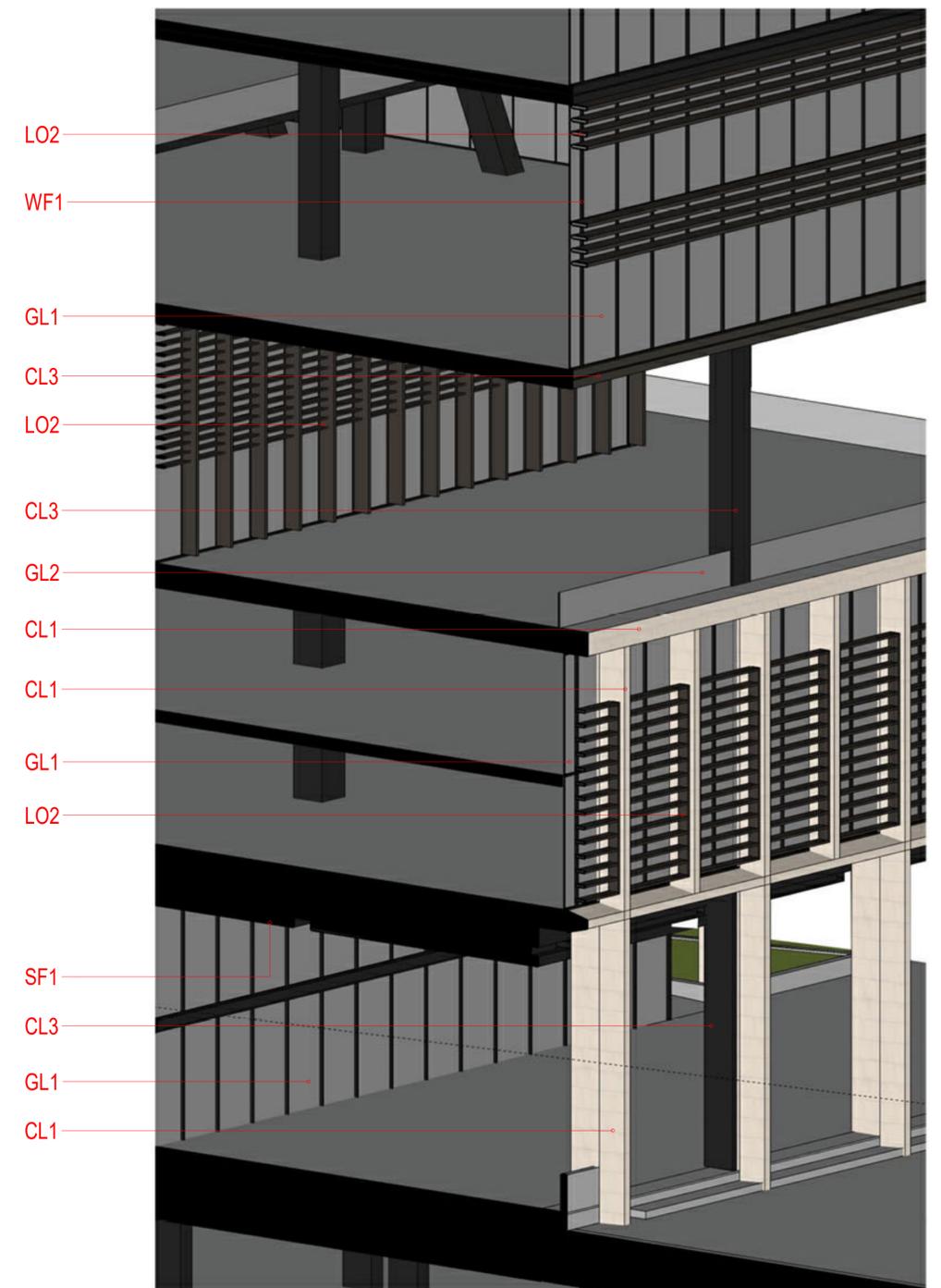
Project Name
63-71 Waterloo Road ,Macquarie Park

Client Name
UT 65 Pty Ltd

Drawing Title FACADE SECTION			Project No. A21005
SCALE As indicated @ A1	Date 2021.10.29	Drawing no: A5.10	ISSUE C



FACADE SECTION 1



FACADE SECTION 2

WT1

LANDSCAPE ELEMENTS

IN-SITU CONCRETE

FINISH:
OFF-FORMED SMOOTH FINISH

NOTE: All concrete pour batches to match same colour tone.

SF1

SOFFIT

FIBRE CEMENT SHEETING

SIMILAR TO:
CEMINTEL 'COMMERCIAL SOFFITLINE'

FINISH:
DULUX LEXICON QUARTER
PAINTED FINISH

WF1

WINDOW FRAME

ALUMINIUM WINDOW FRAMING

FINISH:
DULUX MONUMENT GREY
POWDER COAT FINISH

ESD:
Material and finish aims to address:
- Reduction of thermal transmission to outside.

LO1

VERTICAL LOUVRES

PREFABRICATED ALUMINIUM ELEMENTS

FINISH:
DULUX MONUMENT GREY
POWDER COAT FINISH

ESD:
Material and finish aims to address:
- Reduction of glare, solar heat gain, light pollution.

LO2

HORIZONTAL LOUVRES

PREFABRICATED ALUMINIUM ELEMENTS

FINISH:
DULUX MONUMENT GREY
POWDER COAT FINISH

ESD:
Material and finish aims to address:
- Reduction of glare, solar heat gain, light pollution.

GL1

PERFORMANCE GLAZING - CLEAR

NATURAL BLACK HUE

ESD:
Material and finish aims to address:
- Reduction of internal noise levels, acoustic reverberation, glare reduction, solar heat gain, light pollution.
- Maximises incorporation of cell shading technologies, indoor air quality, ventilation.

GL2

GLASS BALUSTRADE - CLEAR

NATURAL BLACK HUE

ESD:
- Toughened glass balustrade with SHS top rail.

CL1

NON-STRUCTURAL FACADE CLADDING

SANDSTONE CLADDING PANELS

SIMILAR TO:
ARMSTONE LANCASTER WALL CLADDING

FINISH:
GANGSAW FINISH

CL2

NON-STRUCTURAL FACADE CLADDING

FIBRE CEMENT SHEETING

SIMILAR TO:
COMTEX CLADDING PANEL BY JAMES HARDY
FLUSH PANEL BUTT JOINT TO MANUFACTURER

FINISH:
DULUX LEXICON QUARTER
PAINTED FINISH

CL3

FASCIA AND COLUMN CLADDING

FIBRE CEMENT SHEETING

SIMILAR TO:
CEMINTEL 'COMMERCIAL EXPRESSPANEL'

FINISH:
DULUX MONUMENT GREY
PAINTED FINISH



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LEVEL 3, 9 BARRACK STREET
SYDNEY, NSW 2000
NOMINATED ARCHITECT-TONY LEUNG NSW 7133

Rev	Description	Date
A	S34 CONFERENCE	01/10/2021
B	AMENDED PLANS	29/10/2021
C	AMENDED PLANS	01/11/2021
D	AMENDED PLANS	09/12/2021

Project Name
63-71 Waterloo Road ,Macquarie Park

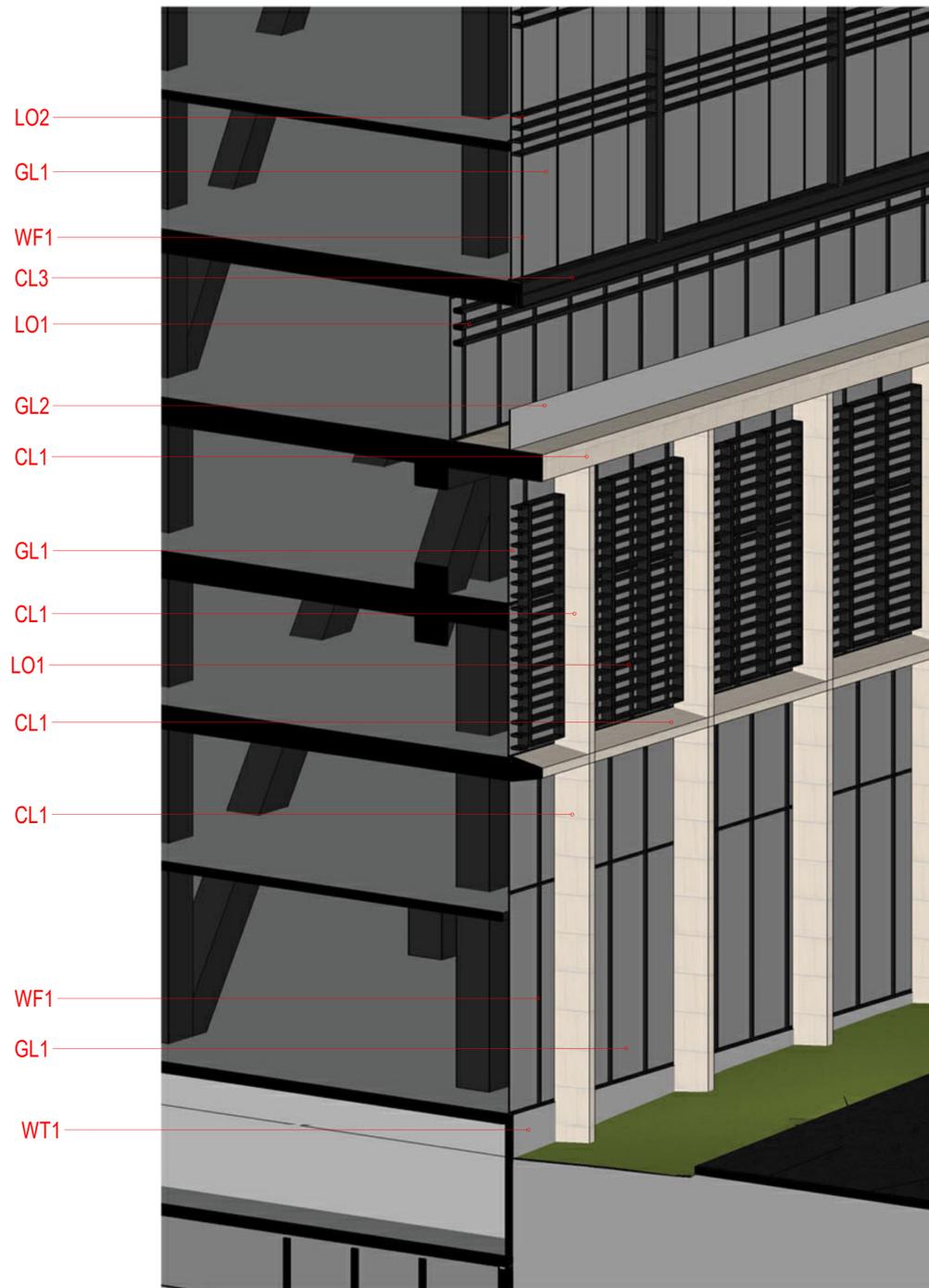
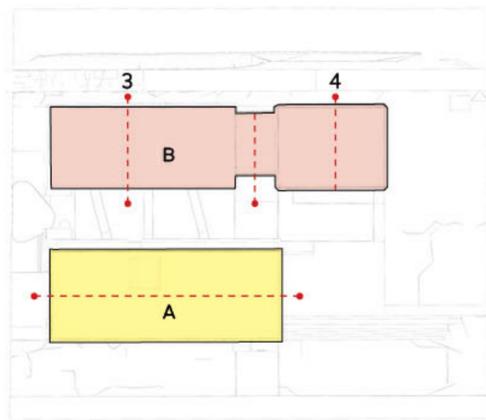
Client Name
UT 65 Pty Ltd

Drawing Title
FACADE ILLUSTRATIONS - BUILDING A

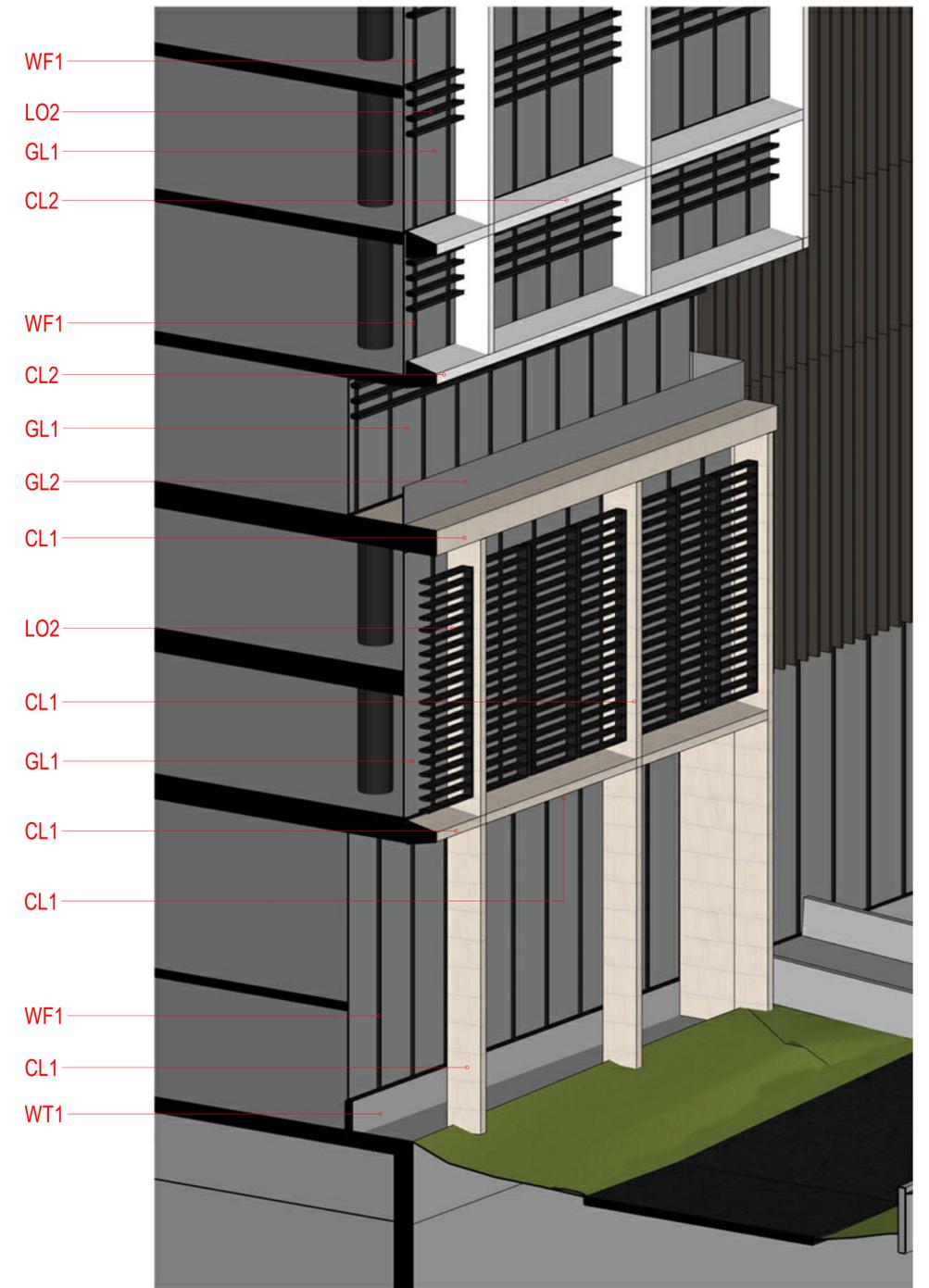
SCALE
Date
2021.10.29
Drawing no:
A5.11

Project No.
A21005

ISSUE
D



FACADE SECTION 3



FACADE SECTION 4

WT1

LANDSCAPE ELEMENTS

IN-SITU CONCRETE

FINISH:
OFF-FORMED SMOOTH FINISH

NOTE: All concrete pour batches to match same colour tone.

SF1

SOFFIT

FIBRE CEMENT SHEETING

SIMILAR TO:
CEMINTEL 'COMMERCIAL SOFFITLINE'

FINISH:
DULUX LEXICON QUARTER
PAINTED FINISH

WF1

WINDOW FRAME

ALUMINIUM WINDOW FRAMING

FINISH:
DULUX MONUMENT GREY
POWDER COAT FINISH

ESD:
Material and finish aims to address:
- Reduction of thermal transmission to outside.

LO1

VERTICAL LOUVRES

PREFABRICATED ALUMINIUM ELEMENTS

FINISH:
DULUX MONUMENT GREY
POWDER COAT FINISH

ESD:
Material and finish aims to address:
- Reduction of glare, solar heat gain, light pollution.

LO2

HORIZONTAL LOUVRES

PREFABRICATED ALUMINIUM ELEMENTS

FINISH:
DULUX MONUMENT GREY
POWDER COAT FINISH

ESD:
Material and finish aims to address:
- Reduction of glare, solar heat gain, light pollution.

GL1

PERFORMANCE GLAZING - CLEAR

NATURAL BLACK HUE

ESD:
Material and finish aims to address:
- Reduction of internal noise levels, acoustic reverberation, glare reduction, solar heat gain, light pollution.
- Maximises incorporation of cell shading technologies, indoor air quality, ventilation.

GL2

GLASS BALUSTRADE - CLEAR

NATURAL BLACK HUE

ESD:
- Toughened glass balustrade with SHS top rail.

CL1

NON-STRUCTURAL FACADE CLADDING

SANDSTONE CLADDING PANELS

SIMILAR TO:
ARMSTONE LANCASTER WALL CLADDING

FINISH:
GANGSAW FINISH

CL2

NON-STRUCTURAL FACADE CLADDING

FIBRE CEMENT SHEETING

SIMILAR TO:
COMTEX CLADDING PANEL BY JAMES HARDY
FLUSH PANEL BUTT JOINT TO MANUFACTURER

FINISH:
DULUX LEXICON QUARTER
PAINTED FINISH

CL3

FASCIA AND COLUMN CLADDING

FIBRE CEMENT SHEETING

SIMILAR TO:
CEMINTEL 'COMMERCIAL EXPRESSPANEL'

FINISH:
DULUX MONUMENT GREY
PAINTED FINISH



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Project Name
63-71 Waterloo Road ,Macquarie Park

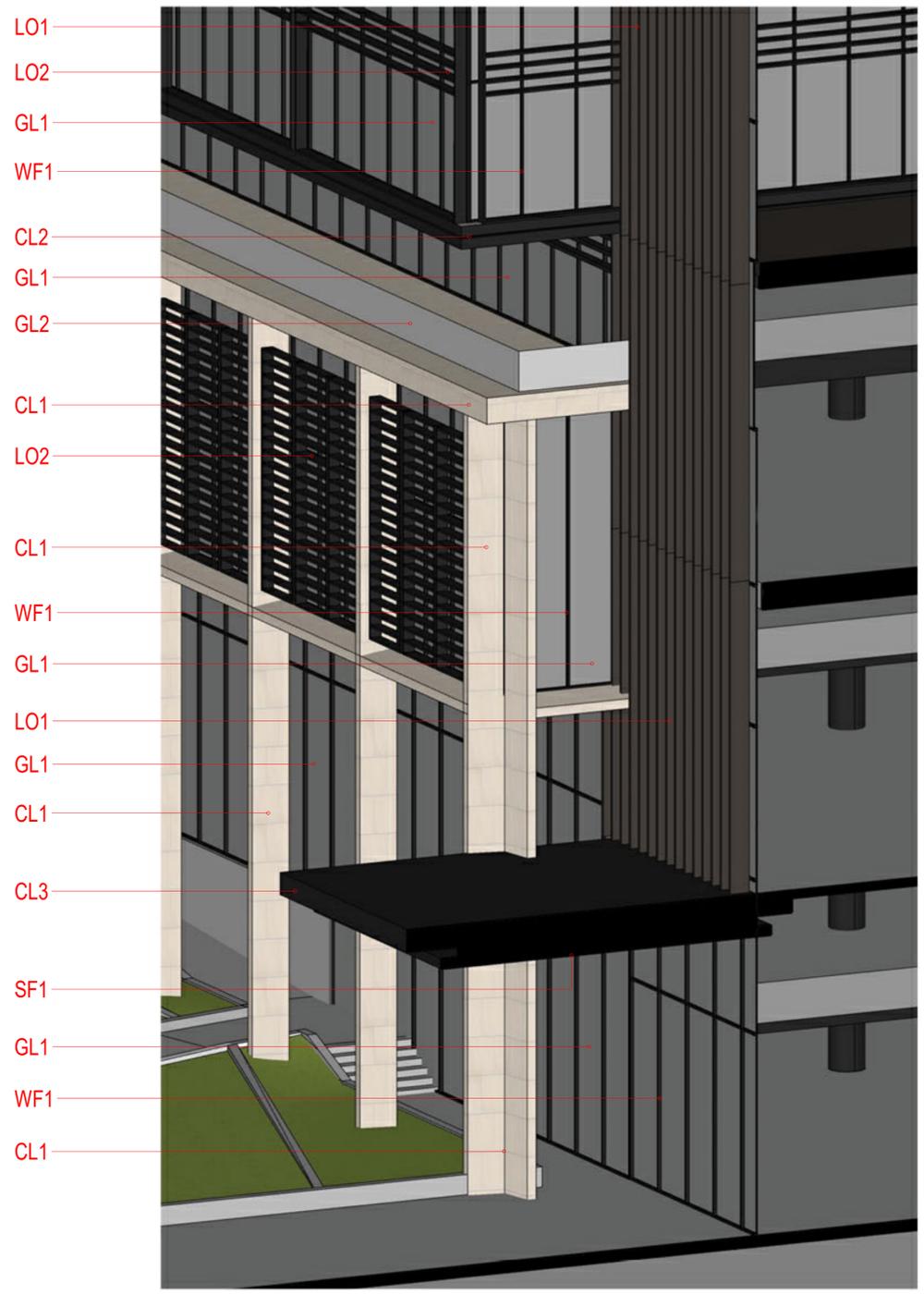
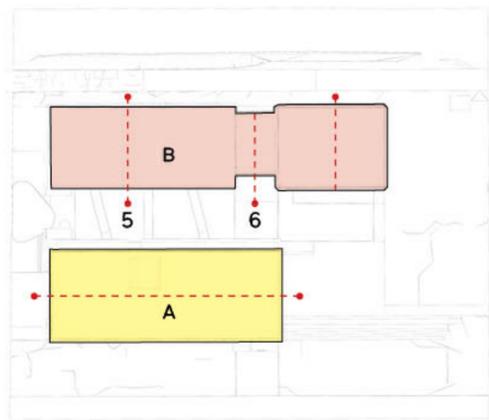
Client Name
UT 65 Pty Ltd

Drawing Title
FACADE ILLUSTRATIONS - BUILDING B

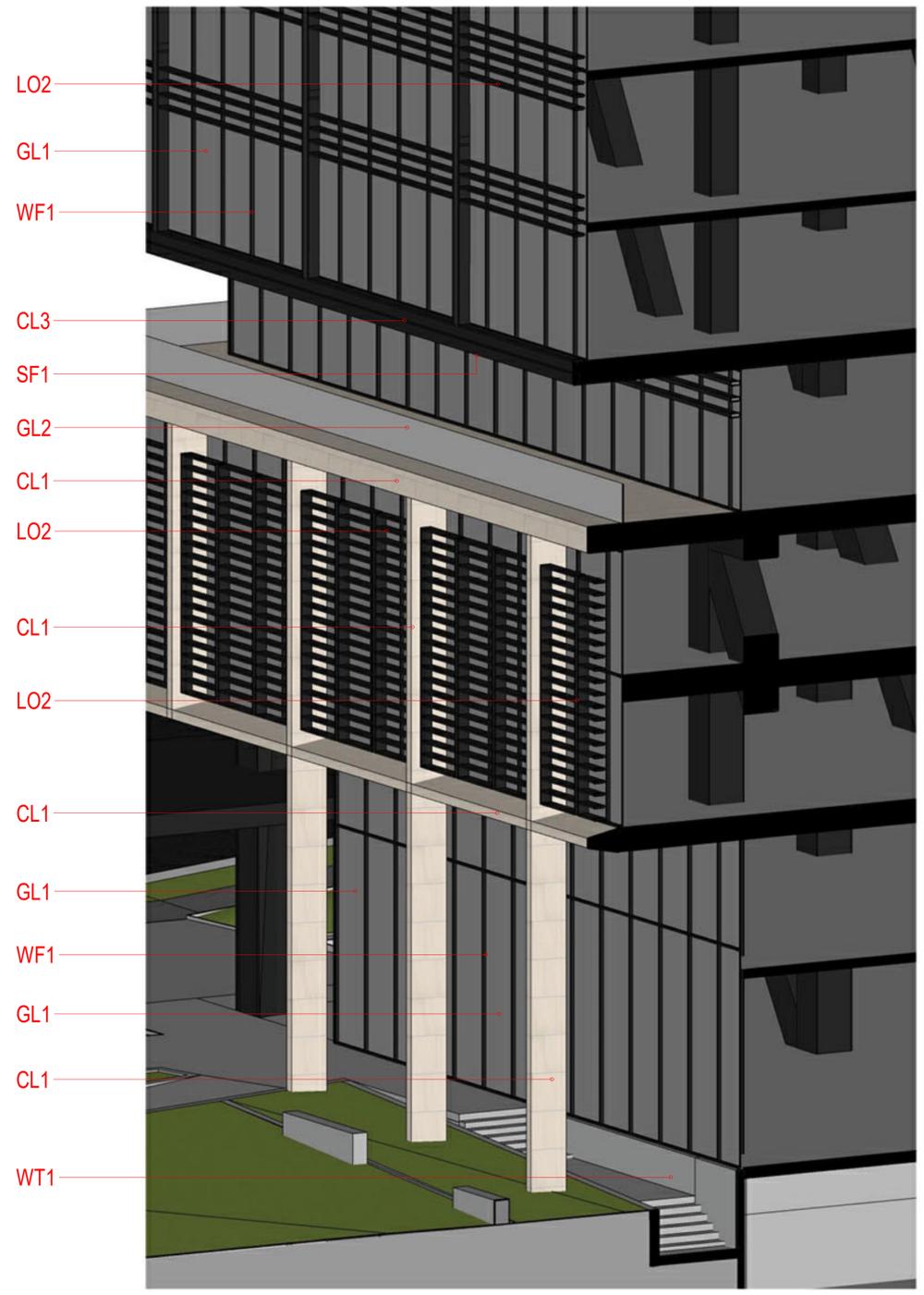
SCALE
Date
2021.10.29
Drawing no:
A5.12

Project No.
A21005

ISSUE
C



FACADE SECTION 5



FACADE SECTION 6

WT1

LANDSCAPE ELEMENTS
 IN-SITU CONCRETE
 FINISH:
 OFF-FORMED SMOOTH FINISH
 NOTE: All concrete pour batches to match same colour tone.

SF1

SOFFIT
 FIBRE CEMENT SHEETING
 SIMILAR TO:
 CEMINTEL 'COMMERCIAL SOFFITLINE'
 FINISH:
 DULUX LEXICON QUARTER
 PAINTED FINISH

WF1

WINDOW FRAME
 ALUMINIUM WINDOW FRAMING
 FINISH:
 DULUX MONUMENT GREY
 POWDER COAT FINISH
 ESD:
 Material and finish aims to address:
 - Reduction of thermal transmission to outside.

LO1

VERTICAL LOUVRES
 PREFABRICATED ALUMINIUM ELEMENTS
 FINISH:
 DULUX MONUMENT GREY
 POWDER COAT FINISH
 ESD:
 Material and finish aims to address:
 - Reduction of glare, solar heat gain, light pollution.

LO2

HORIZONTAL LOUVRES
 PREFABRICATED ALUMINIUM ELEMENTS
 FINISH:
 DULUX MONUMENT GREY
 POWDER COAT FINISH
 ESD:
 Material and finish aims to address:
 - Reduction of glare, solar heat gain, light pollution.

GL1

PERFORMANCE GLAZING - CLEAR
 NATURAL BLACK HUE
 ESD:
 Material and finish aims to address:
 - Reduction of internal noise levels, acoustic reverberation, glare reduction, solar heat gain, light pollution.
 - Maximises incorporation of cell shading technologies, indoor air quality, ventilation.

GL2

GLASS BALUSTRADE - CLEAR
 NATURAL BLACK HUE
 ESD:
 - Toughened glass balustrade with SHS top rail.

CL1

NON-STRUCTURAL FACADE CLADDING
 SANDSTONE CLADDING PANELS
 SIMILAR TO:
 ARMSTONE LANCASTER WALL CLADDING
 FINISH:
 GANGSAW FINISH

CL2

NON-STRUCTURAL FACADE CLADDING
 FIBRE CEMENT SHEETING
 SIMILAR TO:
 COMTEX CLADDING PANEL BY JAMES HARDY
 FLUSH PANEL BUTT JOINT TO MANUFACTURER
 FINISH:
 DULUX LEXICON QUARTER
 PAINTED FINISH

CL3

FASCIA AND COLUMN CLADDING
 FIBRE CEMENT SHEETING
 SIMILAR TO:
 CEMINTEL 'COMMERCIAL EXPRESSPANEL'
 FINISH:
 DULUX MONUMENT GREY
 PAINTED FINISH

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Rev	Description	Date
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B	AMENDED PLANS	01/11/2021
C	AMENDED PLANS	09/12/2021

Project Name
63-71 Waterloo Road ,Macquarie Park
 Client Name
UT 65 Pty Ltd

Drawing Title			
FACADE ILLUSTRATIONS - BUILDING B			
SCALE	Date	Drawing no:	Project No.
	2021.10.29	A5.13	A21005
			ISSUE
			C

WT1



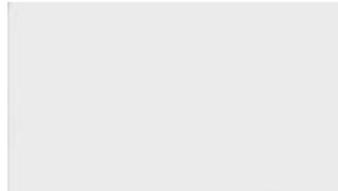
LANDSCAPE ELEMENTS

IN-SITU CONCRETE

FINISH:
OFF-FORMED SMOOTH FINISH

NOTE: All concrete pour batches to match same colour tone.

SF1



SOFFIT

FIBRE CEMENT SHEETING

SIMILAR TO:
CEMINTEL 'COMMERCIAL SOFFITLINE'

FINISH:
DULUX LEXICON QUARTER
PAINTED FINISH

WF1



WINDOW FRAME

ALUMINIUM WINDOW FRAMING

FINISH:
DULUX MONUMENT GREY
POWDER COAT FINISH

ESD:
Material and finish aims to address:
- Reduction of thermal transmission to outside.

LO1



VERTICAL LOUVRES

PREFABRICATED ALUMINIUM ELEMENTS

FINISH:
DULUX MONUMENT GREY
POWDER COAT FINISH

ESD:
Material and finish aims to address:
- Reduction of glare, solar heat gain,
light pollution.

LO2



HORIZONTAL LOUVRES

PREFABRICATED ALUMINIUM ELEMENTS

FINISH:
DULUX MONUMENT GREY
POWDER COAT FINISH

ESD:
Material and finish aims to address:
- Reduction of glare, solar heat gain,
light pollution.

CL1



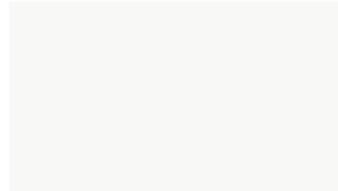
NON-STRUCTURAL FACADE CLADDING

SANDSTONE CLADDING PANELS

SIMILAR TO:
ARMSTONE LANCASTER WALL CLADDING

FINISH:
GANGSAW FINISH

CL2



NON-STRUCTURAL FACADE CLADDING

FIBRE CEMENT SHEETING

SIMILAR TO:
COMTEX CLADDING PANEL BY JAMES HARDY
FLUSH PANEL BUTT JOINT TO MANUFACTURER

FINISH:
DULUX LEXICON QUARTER
PAINTED FINISH

CL3



FASCIA AND COLUMN CLADDING

FIBRE CEMENT SHEETING

SIMILAR TO:
CEMINTEL 'COMMERCIAL EXPRESSPANEL'

FINISH:
DULUX MONUMENT GREY
PAINTED FINISH

GL1



PERFORMANCE GLAZING - CLEAR

NATURAL BLACK HUE

ESD:
Material and finish aims to address:
- Reduction of internal noise levels, acoustic
reverberation, glare reduction, solar heat gain,
light pollution.
- Maximises incorporation of cell shading technologies,
indoor air quality, ventilation.

GL2



GLASS BALUSTRADE - CLEAR

NATURAL BLACK HUE

ESD:
- Toughened glass balustrade with SHS top rail.



SUMMARY OF CHANGES

1. Vehicular Access & Parking – Extension of existing driveway and verge condition to create Private Road along western boundary to connect with Road 1. Relocation of basement access off private road.

2. Waterloo Road Interface / Response – Buildings setback from Sydney Metro 1st Reserve and Entry Plaza to enhance visual response from Waterloo Road. This is further enhanced by retail areas at the double height lobby; Basement adjusted to be clear of Sydney Metro 2nd Reserve.

3. Staging – Staging revised to be 2 phases only. Stage 1: Road One, Stage Two: Remaining Works.

4. DDA Accessibility – DDA compliant ramp added alongside the stairs in the 'central spine'; Accessible pathway added to reach entrances; Accessible car spaces relocated adjacent to lift cores.

5. Road 1 Design Levels and Overland Flow Crossing – Culvert under Road 1 for lower flows. Safety screens over culvert entry points.

6. Landscape / Trees / Amenity Shading – Building replanned at upper levels to provide covered walkway over the 'central spine' for weather protection; Depth of deep soil areas shown on sections to demonstrate compliance; Communal Open Space areas within north-western portions of the site providing min. of 3 hours of winter sun. New pad mounted kiosk relocated for ease of access for maintenance. Enhancement of existing driveway and verge condition to create Private Road design to provide retention of Trees 39-44.

7. Retail Uses – Sections and plans revised to clarify retail location. Upper ground floor retail orientated to promote activation to the Waterloo Road frontage; Provision of direct street access into both Building A and B retail tenancies via sliding doors.

8. ESD – Solar façade louvres added; Development commits to achieving 4 Star Green Star rating to comply with DCP.

9. Deep Soil – 'Central Spine' sections updated to demonstrate deep soil compliance with additional deep soil landscape provided at the North/West edge. Total deep soil landscape is over min. 20% DCP requirement. achieve a 4 storey podium character.

10. End of Trip Facilities – Bicycle spaces and EOT facilities located on Basement 1 with direct access to lift and stairs.

11. Sydney Metro Reserve – 1st and 2nd Reserve boundaries shown on sections and plans. Basement footprint setback from the 2nd Reserve.

12. Architectural Detail – Additional 3D façade sections added to documentation set to illustrate building façade articulation, materiality, and ESD strategy; Additional dimensions and information added, shadow diagrams updated.

13. Development Summary - GFA maintained at 59,289sqm and height below the height plane.

14. Building A - 2 storey colonnade added to the north and east of Building A.

15. Building B - Relocation of Building B to the east so that it matches setback of the existing building from the western boundary, resulting in a reduction in the separation between Building A and B from 20m to 17m for the 4 storey podium.

16. Building B Void and Lower Ground Level Connection - Relocation of void in Building B. Lowering of building height of 2 storeys above the void; New public access between Building B lobby atrium and new private road. Deletion of screens previously shown covering the lower ground level atrium facade to maximise visual connection.

17. Column positions at transfer floor from podium to towers – Setback of the line of columns located on the building edge to the west on Building A Level 3 and 4 and Building B Level 4, from the external facade to create a cantilever form at the building edges to reinforce the podium scale of both buildings; Re-distribution of floor space to Building A to maintain overall GFA of 59,289sqm.

18. Substation - Relocation of originally proposed substation kiosk to be within Building B.

19. Tanked Basement – New tanked basement shoring detail provided.



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NOMINATED ARCHITECT-TONY LEUNG NSW 7133

Rev	Description	Date
A	DA ISSUE	05/05/2021
B	S34 CONFERENCE	01/10/2021
C	AMENDED PLANS	29/10/2021
D	AMENDED PLANS	01/11/2021
E	AMENDED PLANS	09/12/2021

Project Name	63-71 Waterloo Road ,Macquarie Park
Client Name	UT 65 Pty Ltd

Drawing Title
CGI - WATERLOO ROAD

SCALE
Date
2021.10.29

Drawing no:
A7.01

Project No.
A21005

ISSUE
E



SUMMARY OF CHANGES

1. Vehicular Access & Parking – Extension of existing driveway and verge condition to create Private Road along western boundary to connect with Road 1. Relocation of basement access off private road.

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A	S34 CONFERENCE	01/10/2021
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Project Name
63-71 Waterloo Road ,Macquarie Park

Client Name
UT 65 Pty Ltd

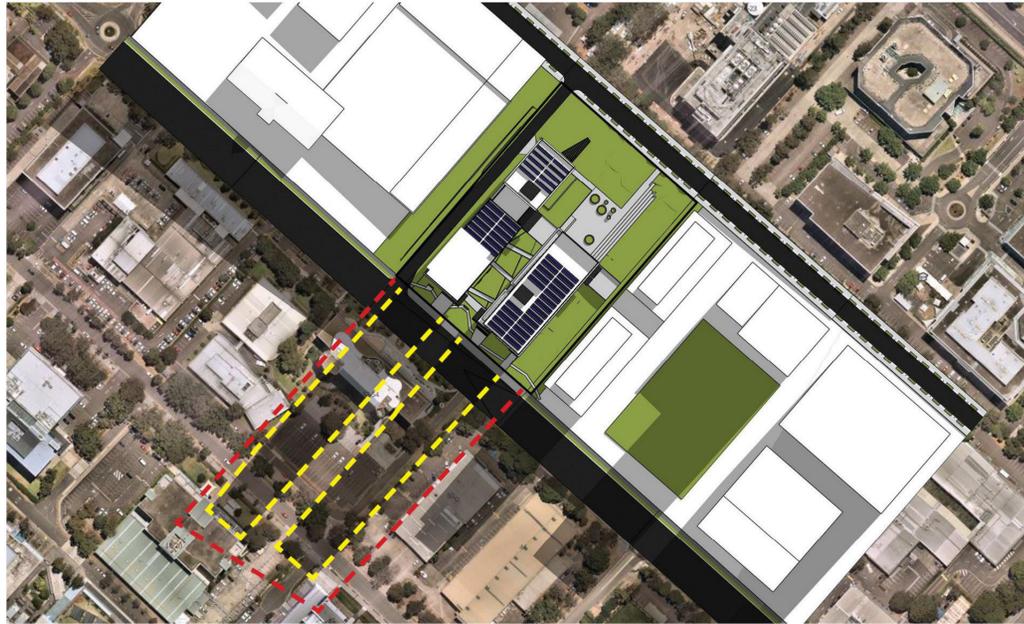
Drawing Title
CGI - 'CENTRAL PARK'

SCALE
Date
2021.10.29

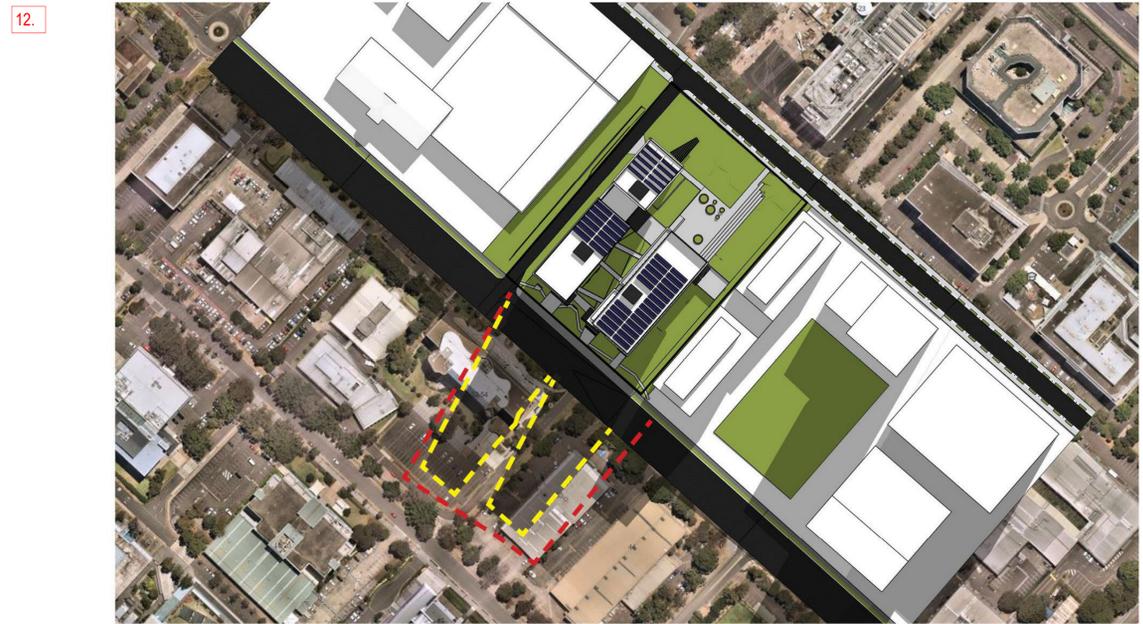
Drawing no:
A7.02

Project No.
A21005

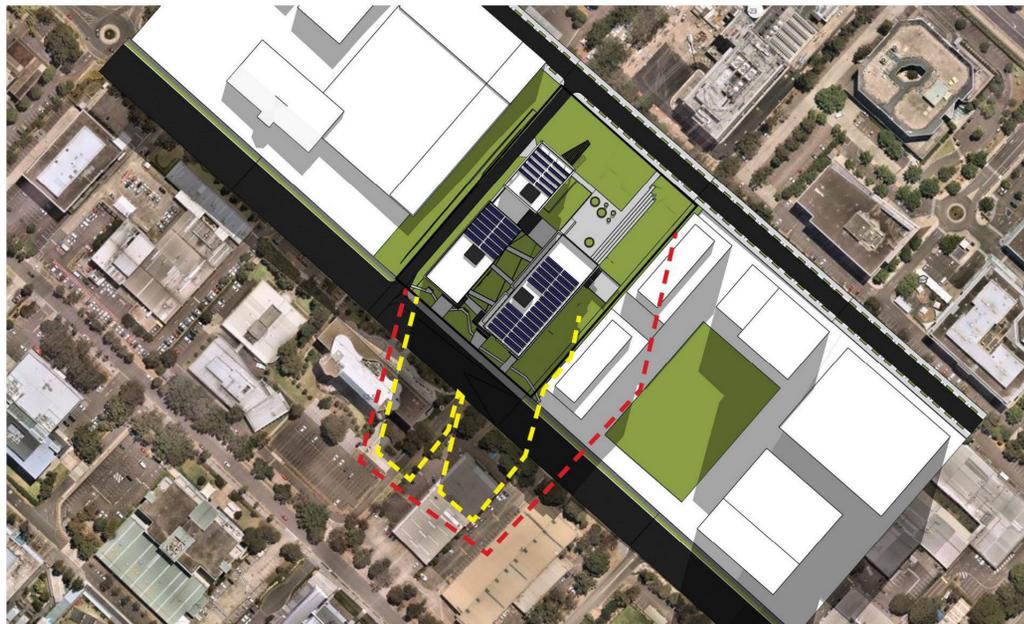
ISSUE
D



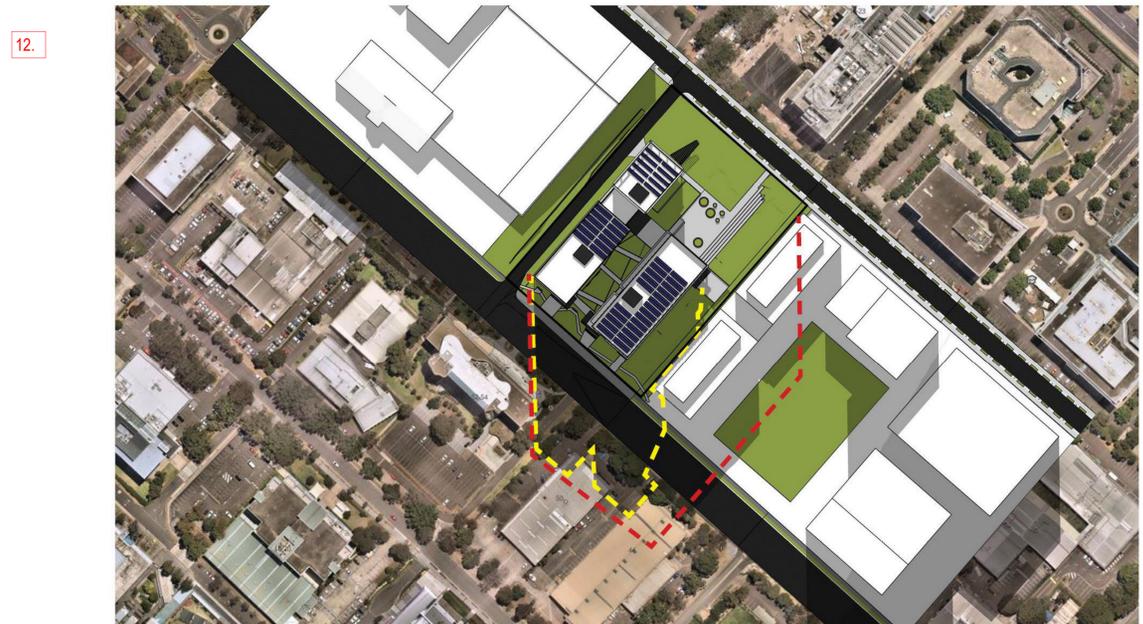
JUNE 21 ST - PROPOSED BUILDING - 9 AM



JUNE 21 ST - PROPOSED BUILDING - 10 AM



JUNE 21 ST - PROPOSED BUILDING - 11 AM



JUNE 21 ST - PROPOSED BUILDING - 12 PM

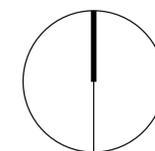
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- - - - - DCP COMPLIANT ENVELOPE SHADOW OUTLINE
- - - - - PROPOSED BUILDING SHADOW OUTLINE

THE PROPOSED BUILDING IS WITHIN THE COUNCIL ENVELOPE, AS ILLUSTRATED AND DOES NOT CREATE ADDITIONAL OVERSHADOWING BEYOND WHAT IS ANTICIPATED AS THE COUNCIL LEP CONTROL

Rev	Description	Date
A	DA ISSUE	05/05/2021
B	S34 CONFERENCE	01/10/2021
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D	AMENDED PLANS	01/11/2021
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Project Name
63-71 Waterloo Road ,Macquarie Park
 Client Name
UT 65 Pty Ltd



Drawing Title
SHADOW DIAGRAMS - 21st JUNE

SCALE
 Date
 2021.10.29

Drawing no:
 A8.02

Project No.
 A21005
 ISSUE
 E



JUNE 21 ST - PROPOSED BUILDING - 01 PM



JUNE 21 ST - PROPOSED BUILDING - 02 PM



JUNE 21 ST - PROPOSED BUILDING - 03 PM

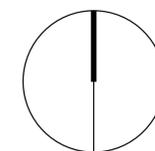
LEGEND

- - - - -
DCP COMPLIANT ENVELOPE SHADOW OUTLINE
- - - - -
PROPOSED BUILDING SHADOW OUTLINE

THE PROPOSED BUILDING IS WITHIN THE COUNCIL ENVELOPE, AS ILLUSTRATED AND DOES NOT CREATE ADDITIONAL OVERSHADOWING BEYOND WHAT IS ANTICIPATED AS THE COUNCIL LEP CONTROL

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Project Name
63-71 Waterloo Road ,Macquarie Park
 Client Name
UT 65 Pty Ltd



Drawing Title
SHADOW DIAGRAMS - 21st JUNE

SCALE
 Date
 2021.10.29
 Drawing no:
 A8.03

Project No.
 A21005
 ISSUE
 E