



SHEPHERDS BAY URBAN RENEWAL, MEADOWBANK

Concept Approval MP09_0216 - MOD 1
DA STAGE 2 & 3

ROBERTSON + MARKS

FOR HOLDMARK PROPERTY GROUP PTY LTD
December 2014

 **HOLDMARK**

ground floor 11-17 buckingham st. surry hills sydney australia 2010
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HOM.ARCH: DAVID MAYES 3190 JOHN RYAN 3181 BRIAN MANN 3975 ANDREW SCARVELD

SCHEDULE 2 & 3	
Type	Count
Single Disable	19
Single Space	207
Tandem Front	12
Tandem Rear	12
Grand total	250
03 BASEMENT	
Single Disable	15
Single Space	93
Visitor Space	91
Grand total	199
02 UPPER BASEMENT	
Single Disable	11
Single Space	145
Grand total	156
Grand total	605

P2&3 PARKING SCHEDULE	
Type	Count
04 Lower BASEMENT	
Single Disable	19
Single Space	207
Tandem Front	12
Tandem Rear	12
Grand total	250
03 BASEMENT	
Single Disable	15
Single Space	93
Visitor Space	91
Grand total	199
02 UPPER BASEMENT	
Single Disable	11
Single Space	145
Grand total	156
Grand total	605

P2&3 PARKING SCHEDULE - No....	
Type	Count
04 Lower BASEMENT	
Single Disable	19
Single Space	207
Tandem Front	12
Tandem Rear	12
Grand total	238
03 BASEMENT	
Single Disable	15
Single Space	93
Visitor Space	91
Grand total	199
02 UPPER BASEMENT	
Single Disable	11
Single Space	145
Grand total	156
Grand total	593

Unit MIX - Stage 2	
TYPE	Count
1B	114
2B	98
3B	11
LOFT	8
STUDIO	1
Grand total	232

Unit MIX - Stage 3	
TYPE	Count
1B	113
2B	96
3B	6
LOFT	4
STUDIO	2
Grand total	221

Unit MIX - Stage 2 & 3	
TYPE	Count
1B	227
2B	194
3B	17
LOFT	12
STUDIO	3
Grand total	453



DA Submission

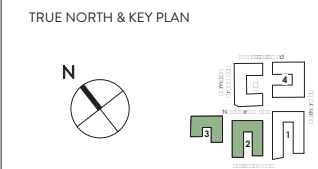
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 Concept Plan Approval
 (MP 09_0216)
 STAGE 2 & 3

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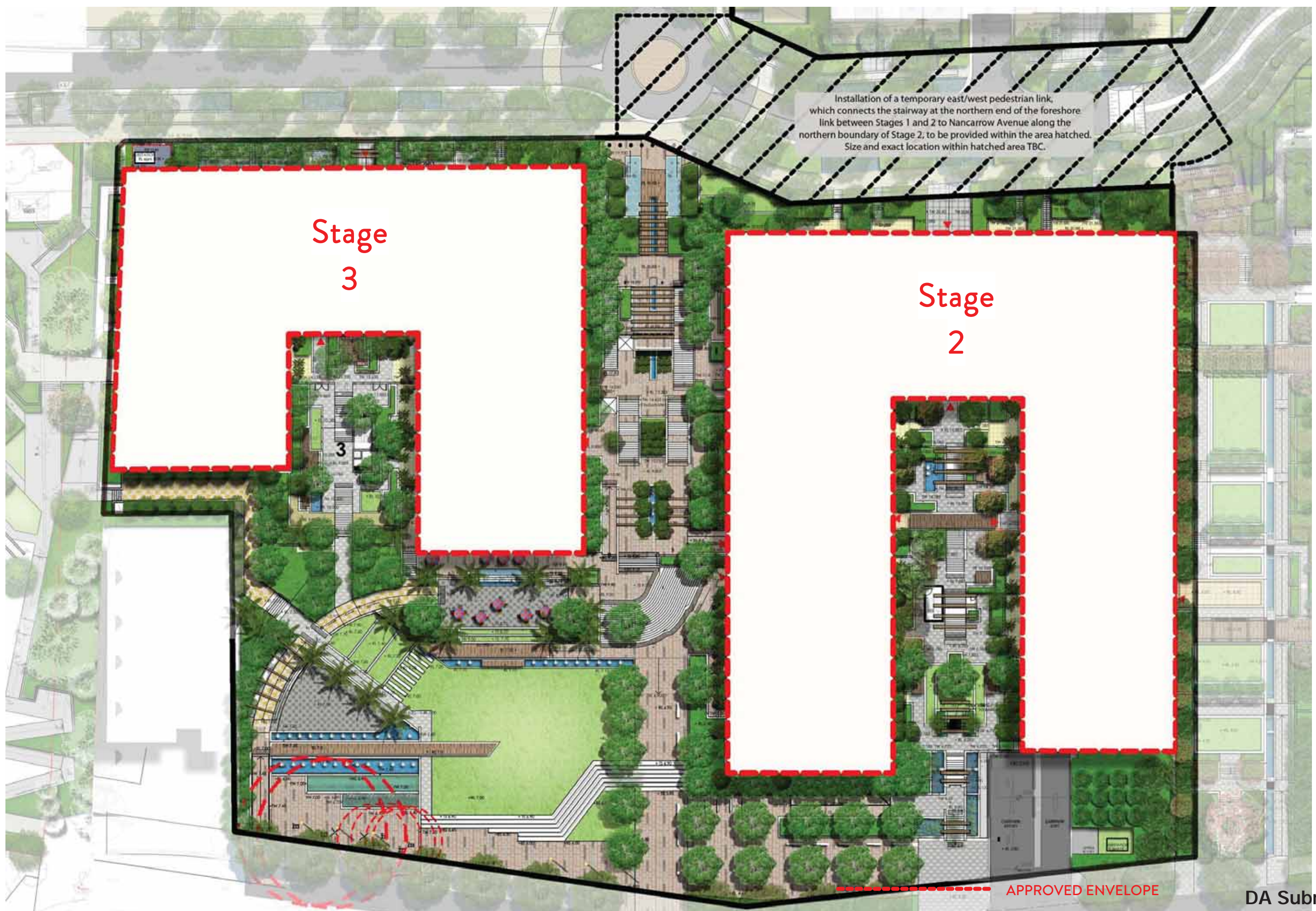
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 Storage allocations and areas are not necessarily shown on the drawings and are subject to change

Issue	Date	Description	By
1	19/12/2014	D: 11/20/2014	GO



DRAWING TITLE
STAGE 2&3 - Cover Sheet
 SCALE : @B1 Drawing Number
 DATE : 19th December 2014 DA-23-000/A
 PROJECT # 10068-3

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DA Submission

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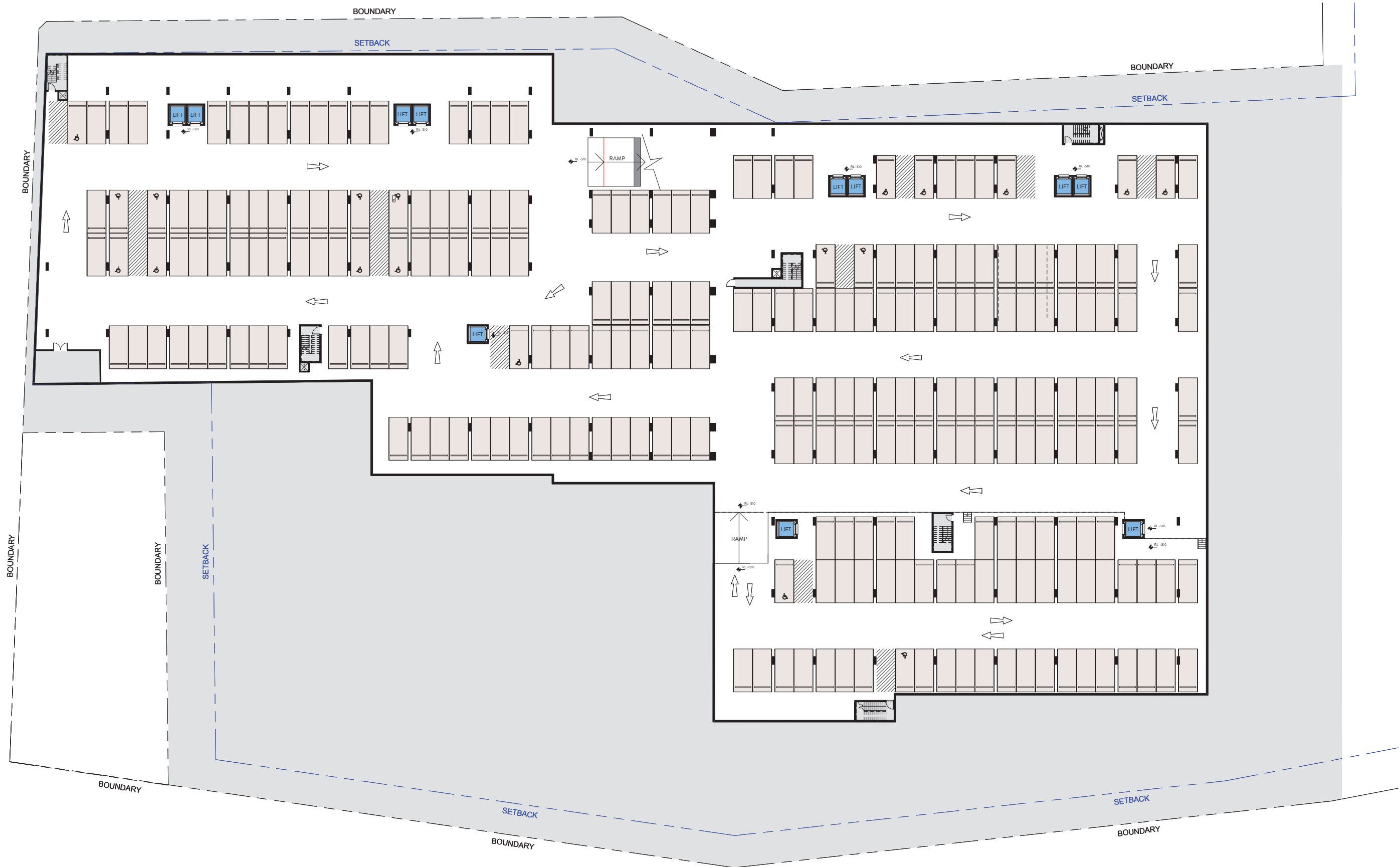
REVISED	DATE	DESCRIPTION	BY
1	19/12/2014	D: 11/20/2014	GO

TRUE NORTH & KEY PLAN



DRAWING TITLE
STAGE 2&3 - SITE PLAN
 SCALE: 1:200 @B1
 DATE: 19th December 2014
 PROJECT # 10068-3
 Drawing Number
DA-23-001/A

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DA Submission

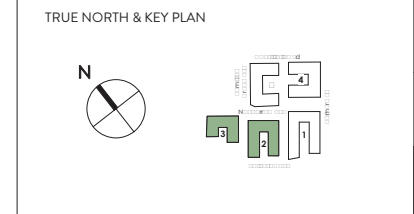
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1	19/12/2014	D: 11.20.12014	LO



DRAWING TITLE
STAGE 2&3 - LOWER BASEMENT
 SCALE : 1:200 @B1
 DATE : 19th December 2014
 PROJECT # 10068-3
 Drawing Number
DA-23-100/A
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= VISITOR PARKING

DA Submission

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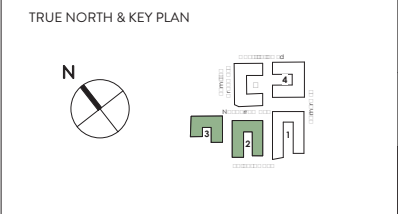
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REVISIONS

Issue	Date	Description	By
1	19/12/2014	D: 11.2m (2014)	CO



DRAWING TITLE
STAGE 2&3 - BASEMENT
 SCALE: 1: 200 @B1
 DATE: 19th December 2014
 PROJECT # 10068-3
 Drawing Number
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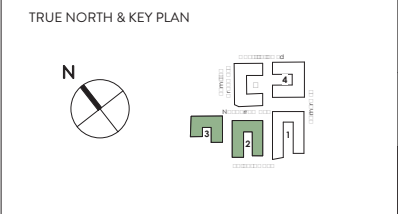
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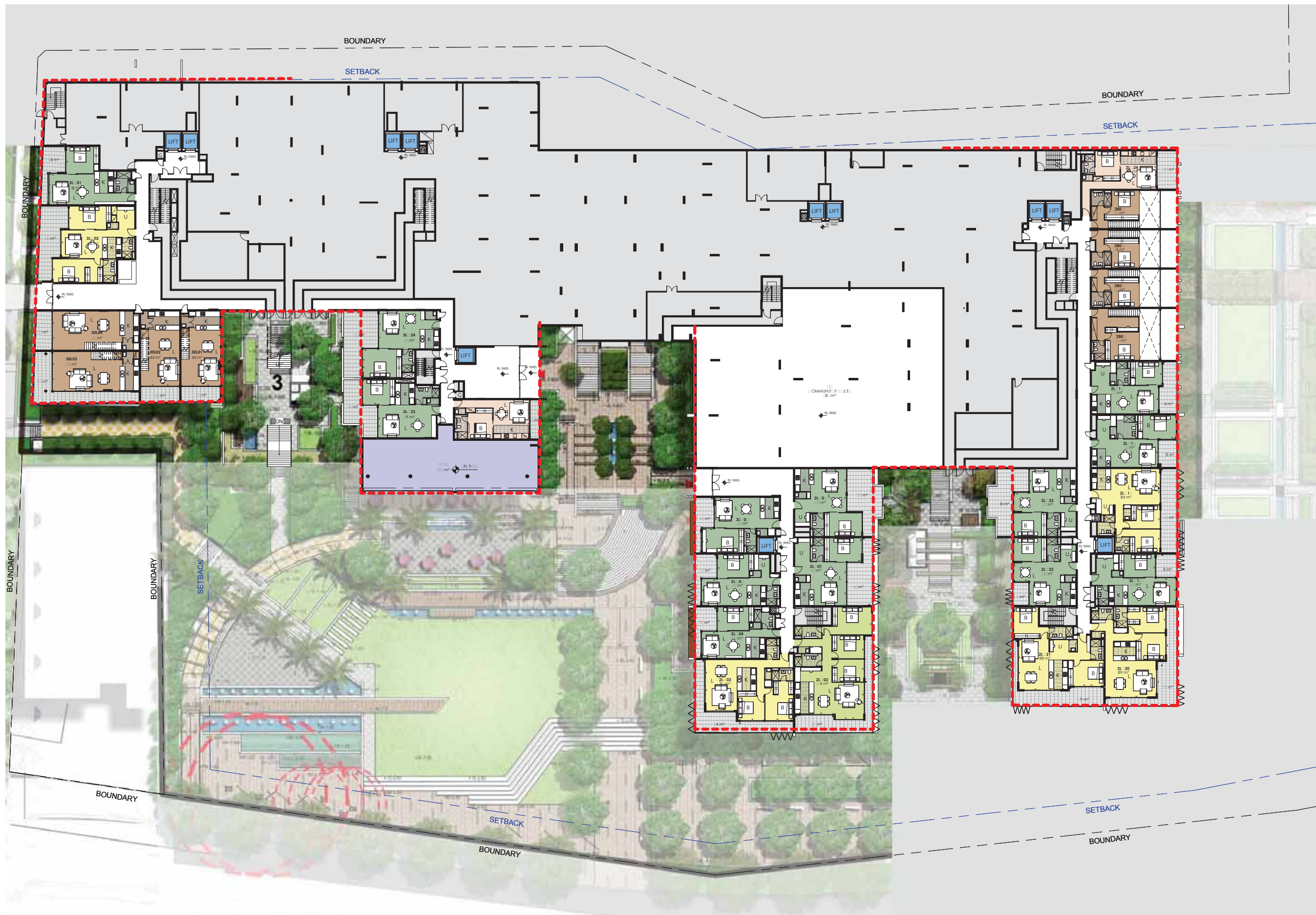
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1	19/12/2014	D: 11/20/2014	LO



DRAWING TITLE
STAGE 2&3 - UPPER BASEMENT
 SCALE: 1: 200 @B1
 DATE: 19th December 2014
 PROJECT # 10068-3
 Drawing Number
DA-23-102/A
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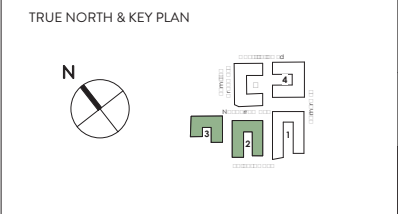
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1	19/12/2014	D: 11.2M.2014	CO



DRAWING TITLE
STAGE 2&3 - LOWER GROUND
 SCALE: 1: 200 @B1
 DATE: 19th December 2014
 PROJECT # 10068-3
 Drawing Number
DA-23-103/A
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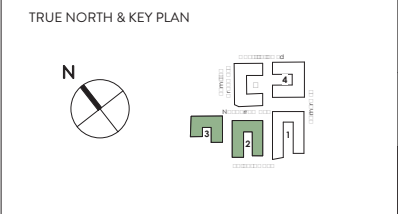
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1	19/12/2014	D: 11.2014	CO



DRAWING TITLE
STAGE 2&3 - GROUND LEVEL

SCALE : 1: 200 @B1
 DATE : 19th December 2014
 PROJECT # 10068-3

Drawing Number
DA-23-104/A

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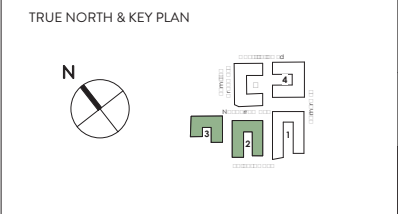
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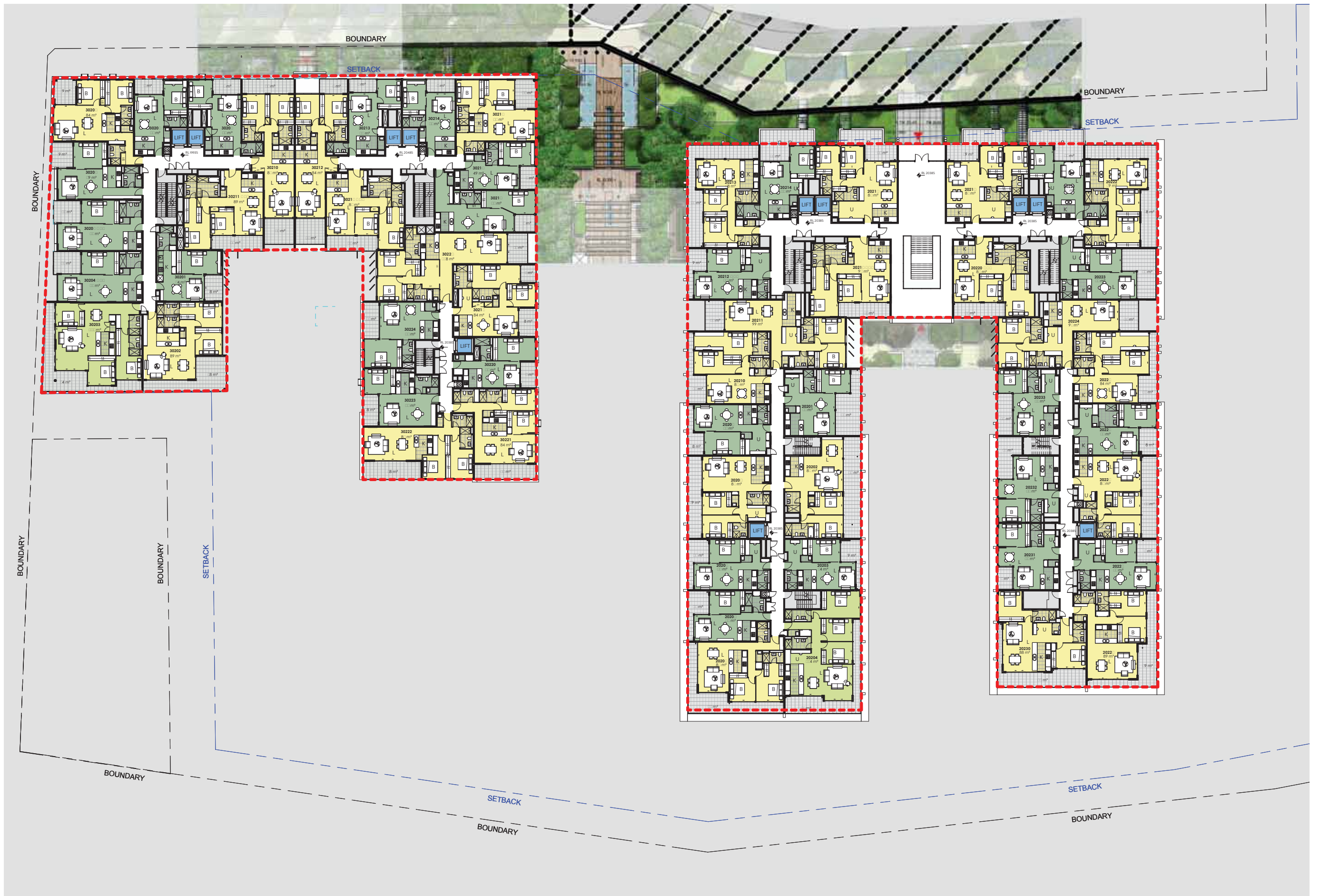
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1	19/12/2014	D: 11.20.2014	CO



DRAWING TITLE
STAGE 2&3 - LEVEL 1
SCALE: 1:200 @B1
DATE: 19th December 2014
PROJECT # 10068-3
Drawing Number
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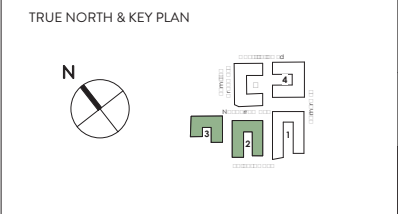
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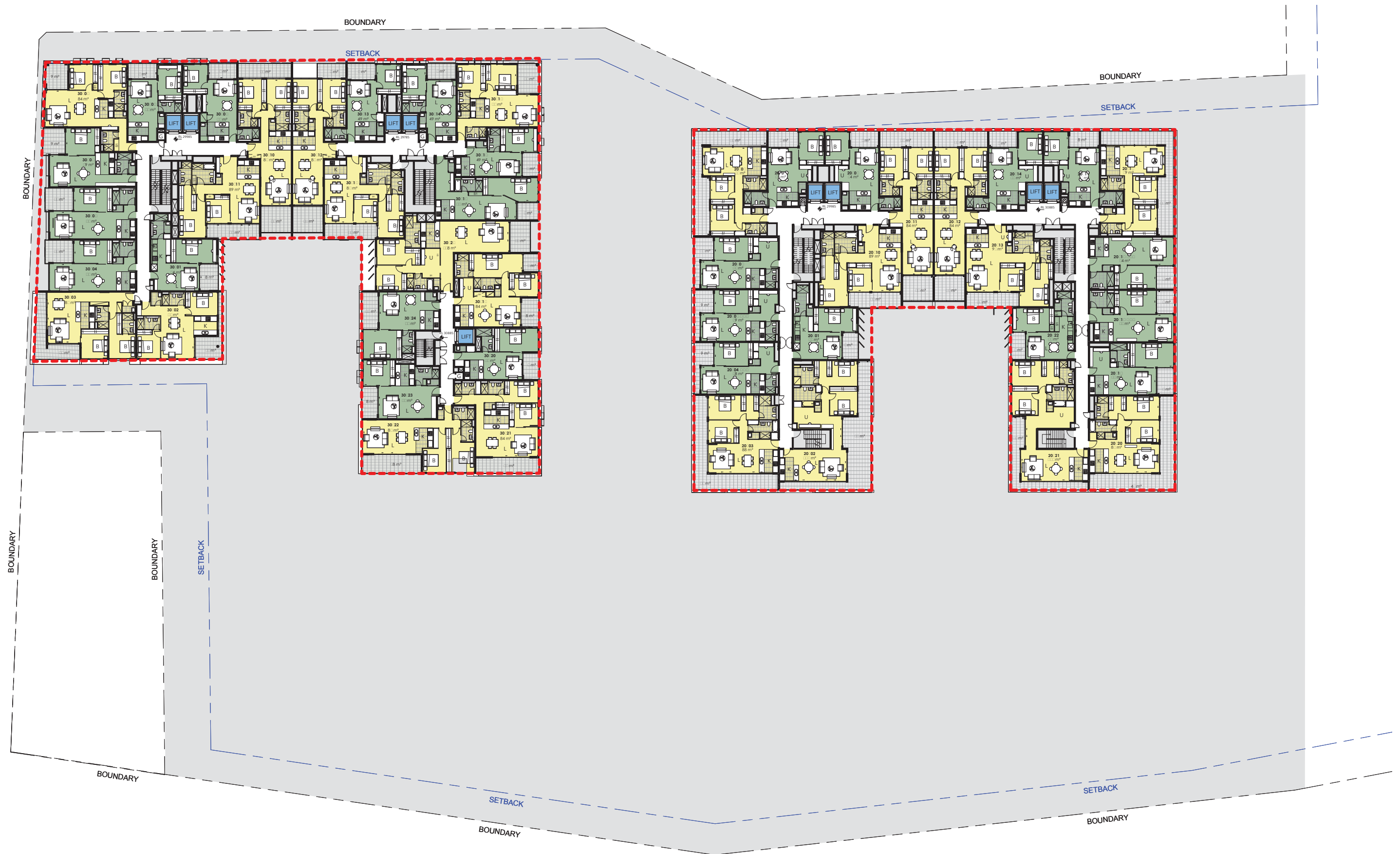
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REVISED	DATE	DESCRIPTION	BY
U	19/12/2014	D: 11.2014	CO



DRAWING TITLE
STAGE 2&3 - LEVEL 2
SCALE : 1:200 @B1
DATE : 19th December 2014
PROJECT # 10068-3
Drawing Number
DA-23-106/A
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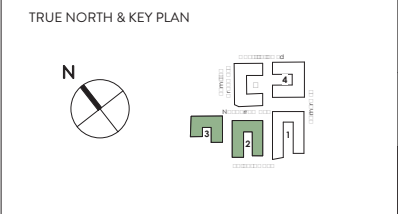
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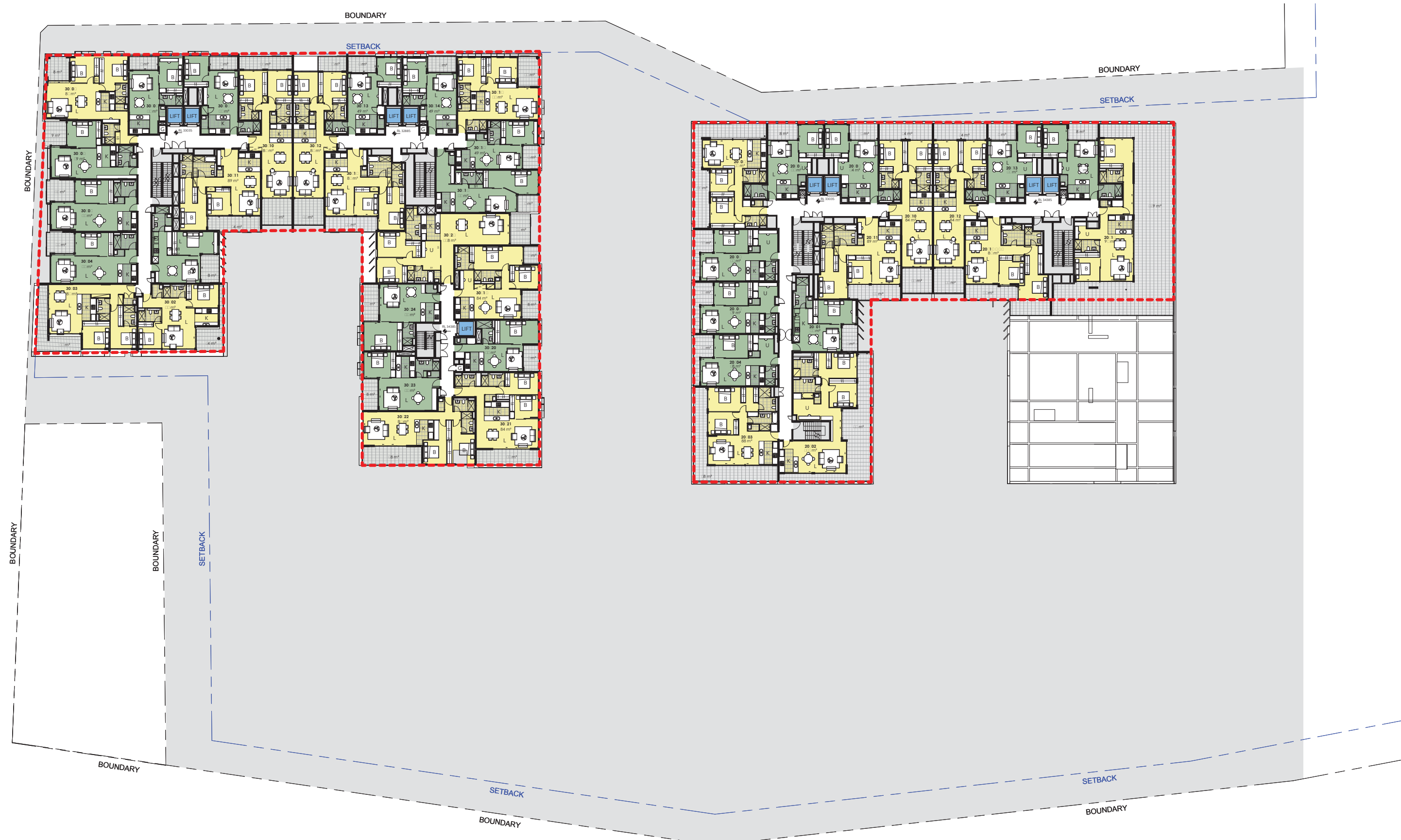
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REVISONS	Issue	Date	Description	By
1	9/10/14	10/11/14		CO



DRAWING TITLE
STAGE 2&3 - LEVEL 5
SCALE : 1: 200 @B1
DATE : 19th December 2014
PROJECT # 10068-3
Drawing Number
DA-23-109/A
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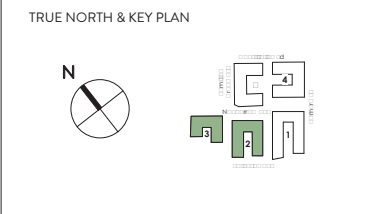
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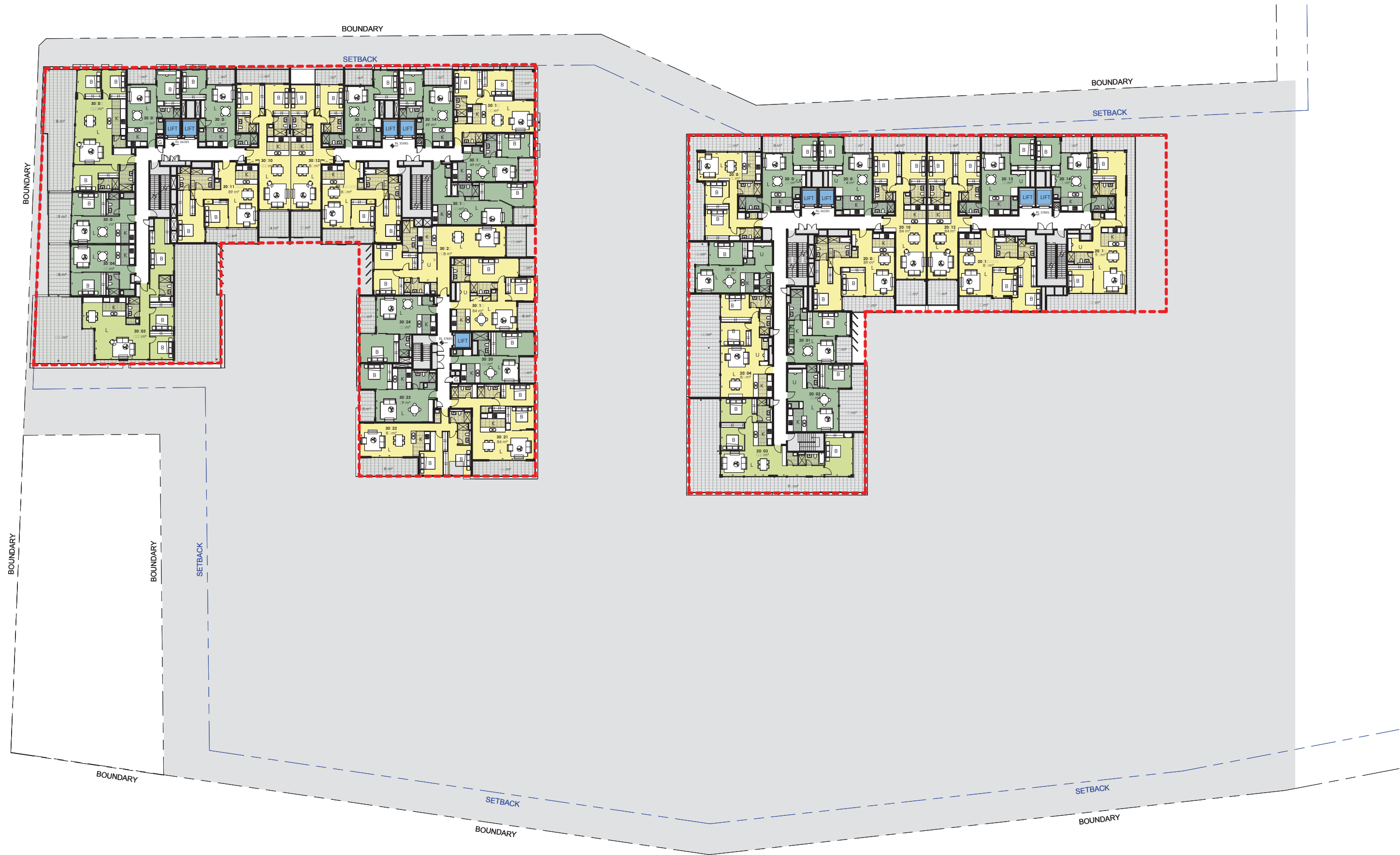
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1	19/12/2014	D: 11/2014		CO



DRAWING TITLE
STAGE 2&3 - LEVEL 6
 SCALE : 1: 200 @B1
 DATE : 19th December 2014
 PROJECT # 10068-3
 Drawing Number
DA-23-110/A
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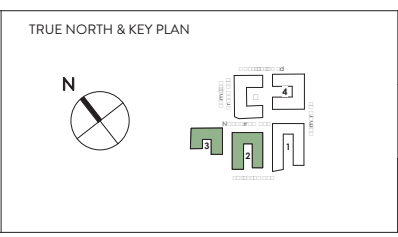
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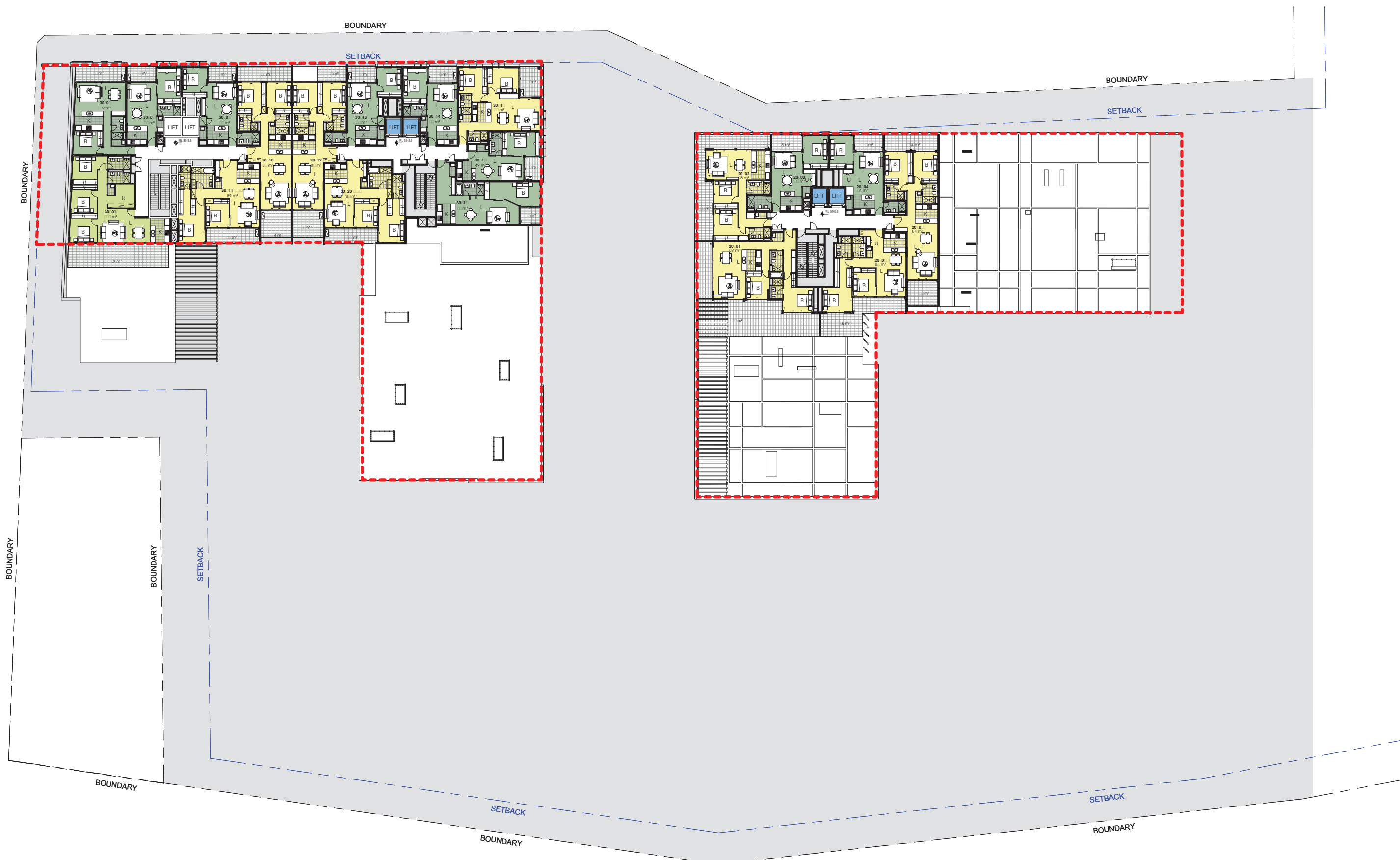
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REVISONS	Issue	Date	Description	By	IO
1	SPD	11/12/14	D: 11/20/2014		



DRAWING TITLE
STAGE 2&3 - LEVEL 7
 SCALE: 1: 200 @B1 Drawing Number
 DATE: 19th December 2014 DA-23-111/A
 PROJECT # 10068-3
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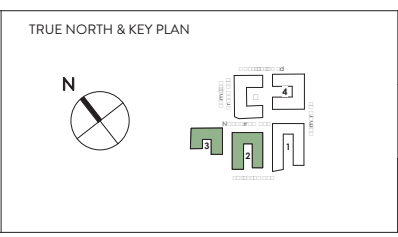
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Issue	Date	Description	By
1	19/12/2014	DATE ISSUED	

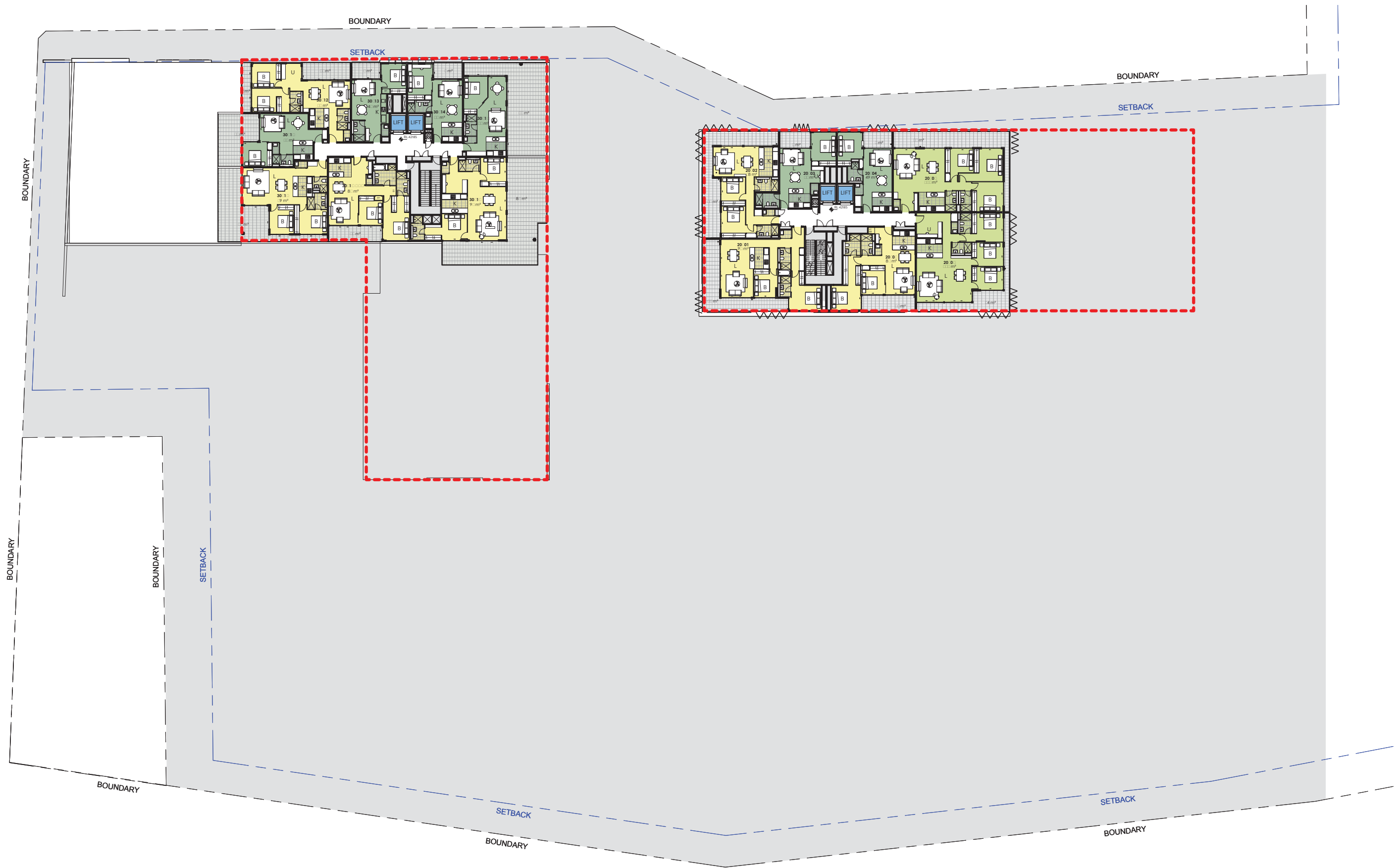


DRAWING TITLE
STAGE 2&3 - LEVEL 8

SCALE: 1: 200 @B1
 DATE: 19th December 2014
 PROJECT # 10068-3

Drawing Number
DA-23-112/A

ROBERTSON+MARKS



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DA Submission

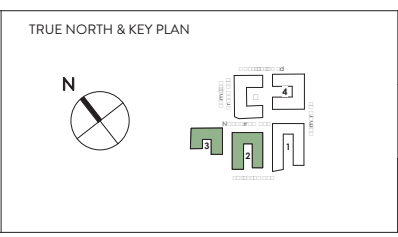
DEVELOPMENT APPLICATION
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 STAGE 2 & 3

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1	19/12/2014	D: 11/2015			



DRAWING TITLE
STAGE 2&3 - LEVEL 9
 SCALE: 1: 200 @B1
 DATE: 19th December 2014
 PROJECT # 10068-3
 Drawing Number
DA-23-113/A
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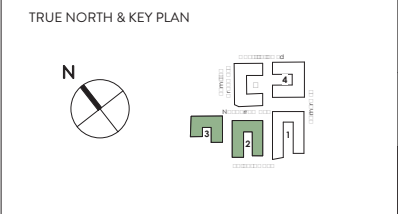
DEVELOPMENT
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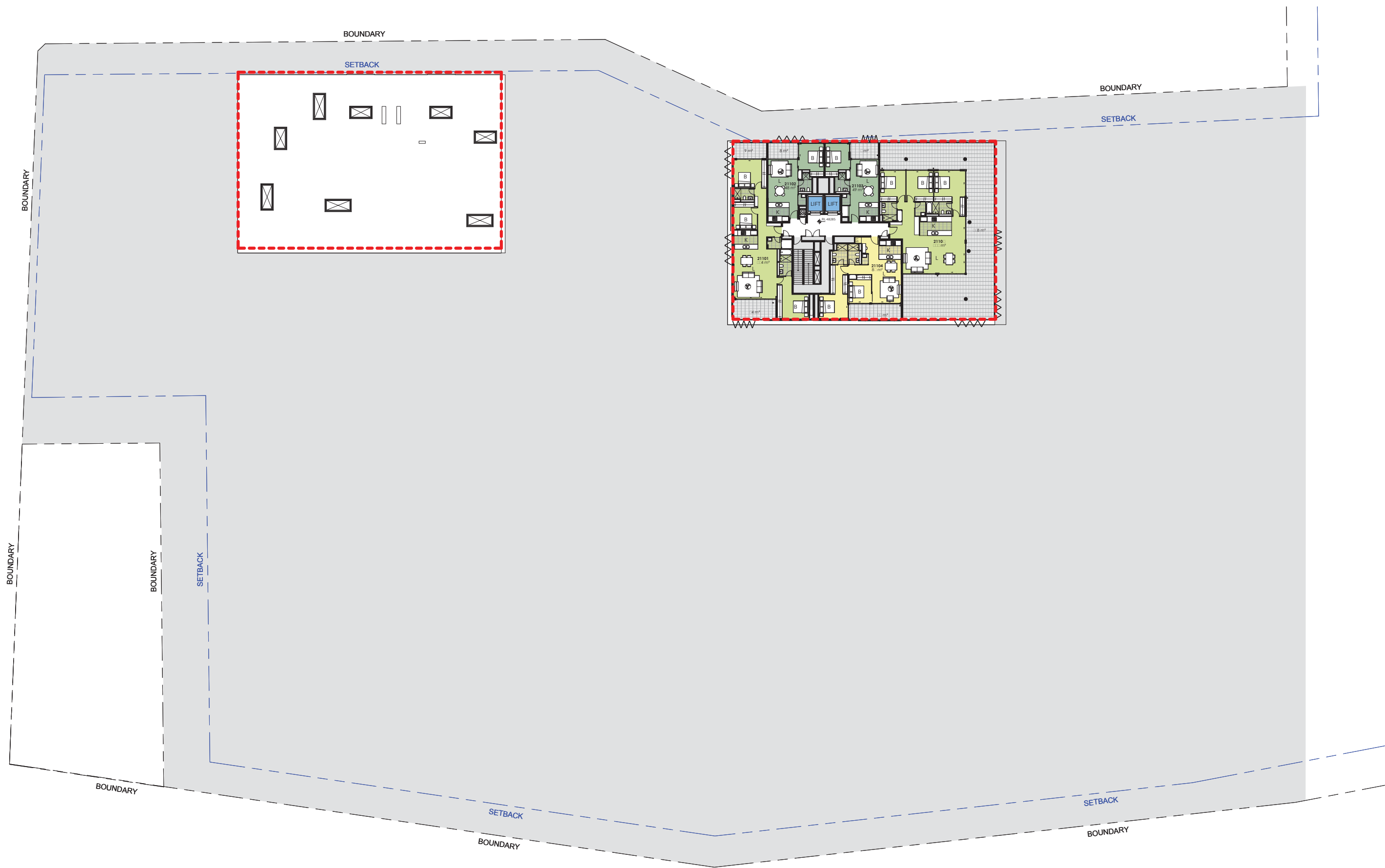
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1	19/12/2014	D: 11.2014	CO



DRAWING TITLE
STAGE 2&3 - LEVEL 10
SCALE: 1:200 @B1
DATE: 19th December 2014
PROJECT # 10068-3
Drawing Number
DA-23-114/A
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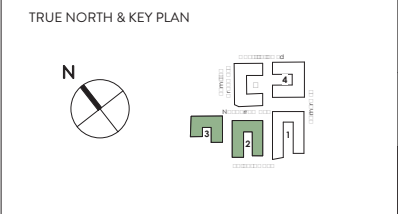
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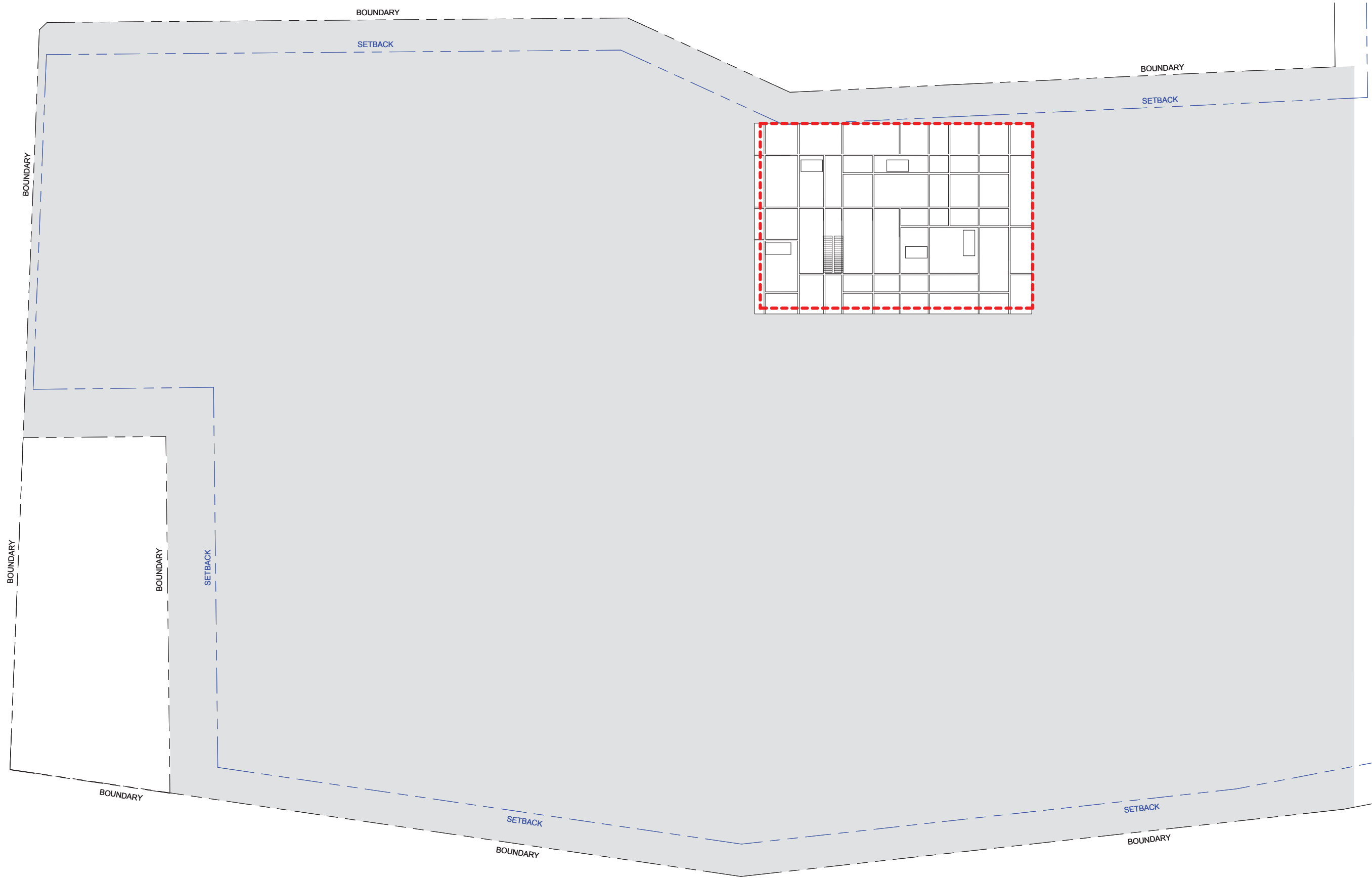
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Issue	Date	Description	By
1	19/12/2014	D: 11.2m (2014)	LO



DRAWING TITLE
STAGE 2&3 - LEVEL 11
SCALE: 1:200 @B1 Drawing Number
DATE: 19th December 2014 DA-23-115/A
PROJECT # 10068-3
ROBERTSON+MARKS



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DA Submission

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 STAGE 2 & 3

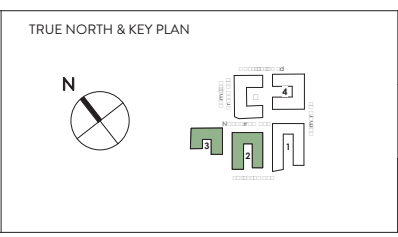
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REVISIONS

Issue	Date	Description	By
1	19/12/2014	D: 11.29.2014	L:O



DRAWING TITLE
STAGE 2&3 - ROOF

SCALE: 1: 200 @B1
 DATE: 19th December 2014
 PROJECT # 10068-3

Drawing Number
DA-23-116/A

ROBERTSON+MARKS

NORTH ELEVATION



STAGE 2

STAGE 3

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DA Submission

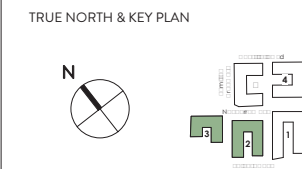
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STAGE 2 & 3

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Issue	Date	Description	By
1	19/12/2014	D: 11:20:00	LO



DRAWING TITLE
NORTH ELEVATIONS
SCALE: 1: 200 @B1
DATE: 19th December 2014
PROJECT # 10068-3
Drawing Number
DA-23-201/A

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EAST ELEVATION



STAGE 2

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DA Submission

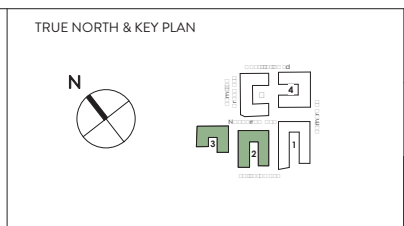
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 STAGE 2 & 3

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REVISED	DATE	DESCRIPTION	BY
1	19/12/2014	D: 11.2014	LO



DRAWING TITLE
 EAST ELEVATIONS - 1
 SCALE : 1: 200 @B1
 DATE : 19th December 2014
 PROJECT # 10068-3
 Drawing Number
 DA-23-202/A
ROBERTSON+MARKS

EAST ELEVATION



STAGE 3

----- APPROVED ENVELOPE

DA Submission

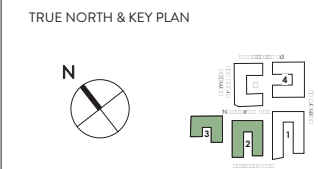
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STAGE 2 & 3

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REV	DATE	DESCRIPTION	BY
1	19/12/2014	D: 11:20:00	LO



DRAWING TITLE
EAST ELEVATIONS - 2
SCALE : 1: 200 @B1 Drawing Number
DATE : 19th December 2014 DA-23-203/A
PROJECT # 10068-3

ROBERTSON+MARKS

SOUTH ELEVATION



STAGE 3

STAGE 2

----- APPROVED ENVELOPE

DA Submission

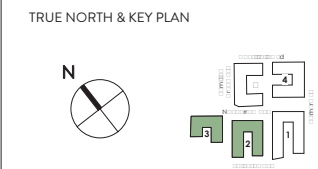
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 STAGE 2 & 3

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1	19/12/2014	DATE: 19/12/2014	LO



DRAWING TITLE
 SOUTH ELEVATIONS
 SCALE: 1: 200 @B1
 DATE: 19th December 2014
 PROJECT # 10068-3
 Drawing Number
 DA-23-204/A

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WEST ELEVATION



STAGE 2

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DA Submission

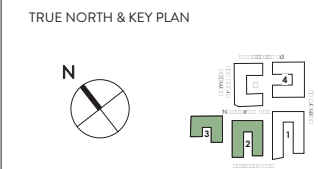
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REVISED	DATE	DESCRIPTION	BY
1	19/12/2014	D: 11.2014	LO



DRAWING TITLE
WEST ELEVATIONS - 1
SCALE : 1: 200 @B1 Drawing Number
DATE : 19th December 2014 DA-23-205/A
PROJECT # 10068-3

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WEST ELEVATION



STAGE 3

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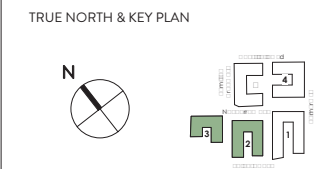
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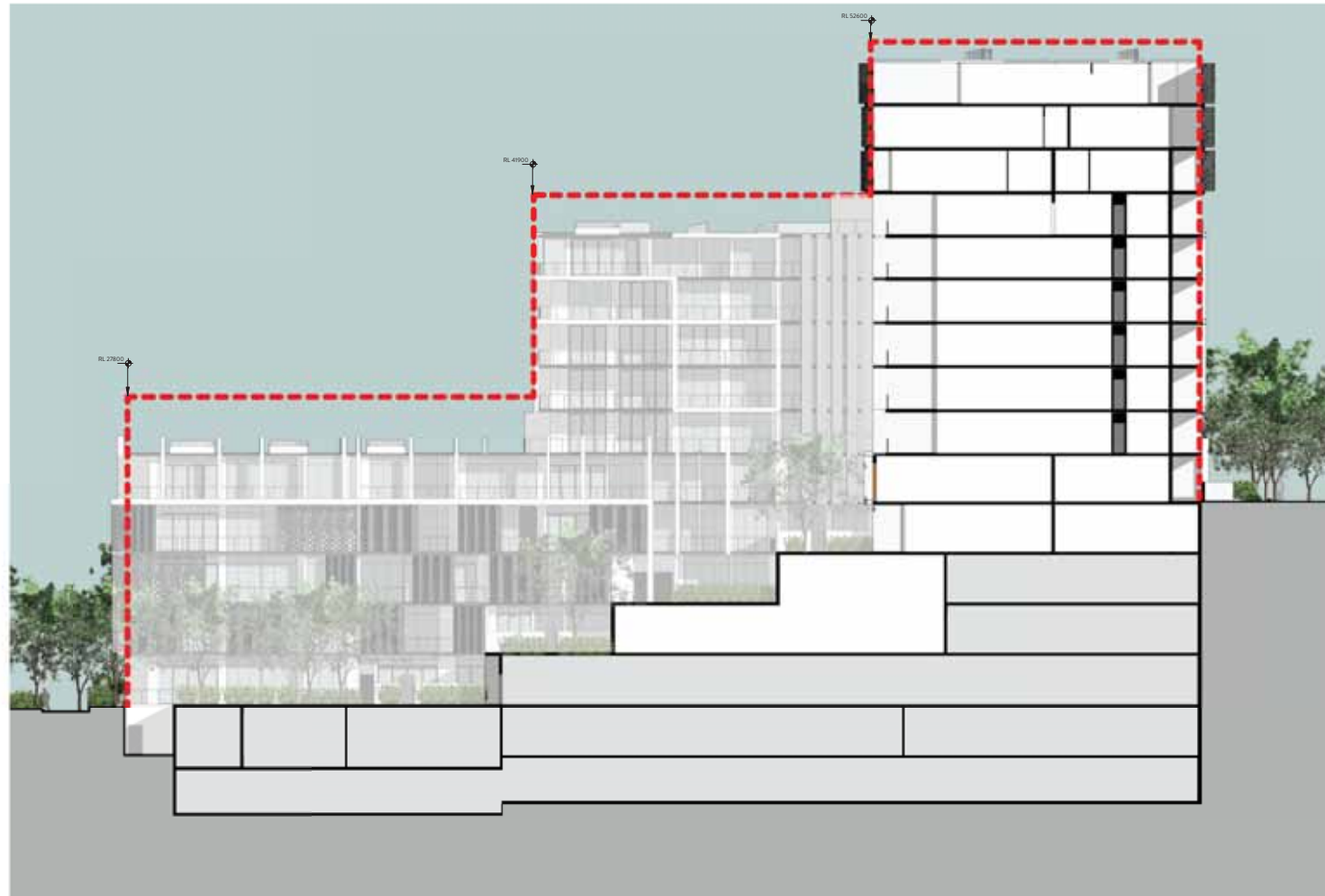
REVISED	DATE	DESCRIPTION	BY
1	19/12/2014	D: 11.2014	LO



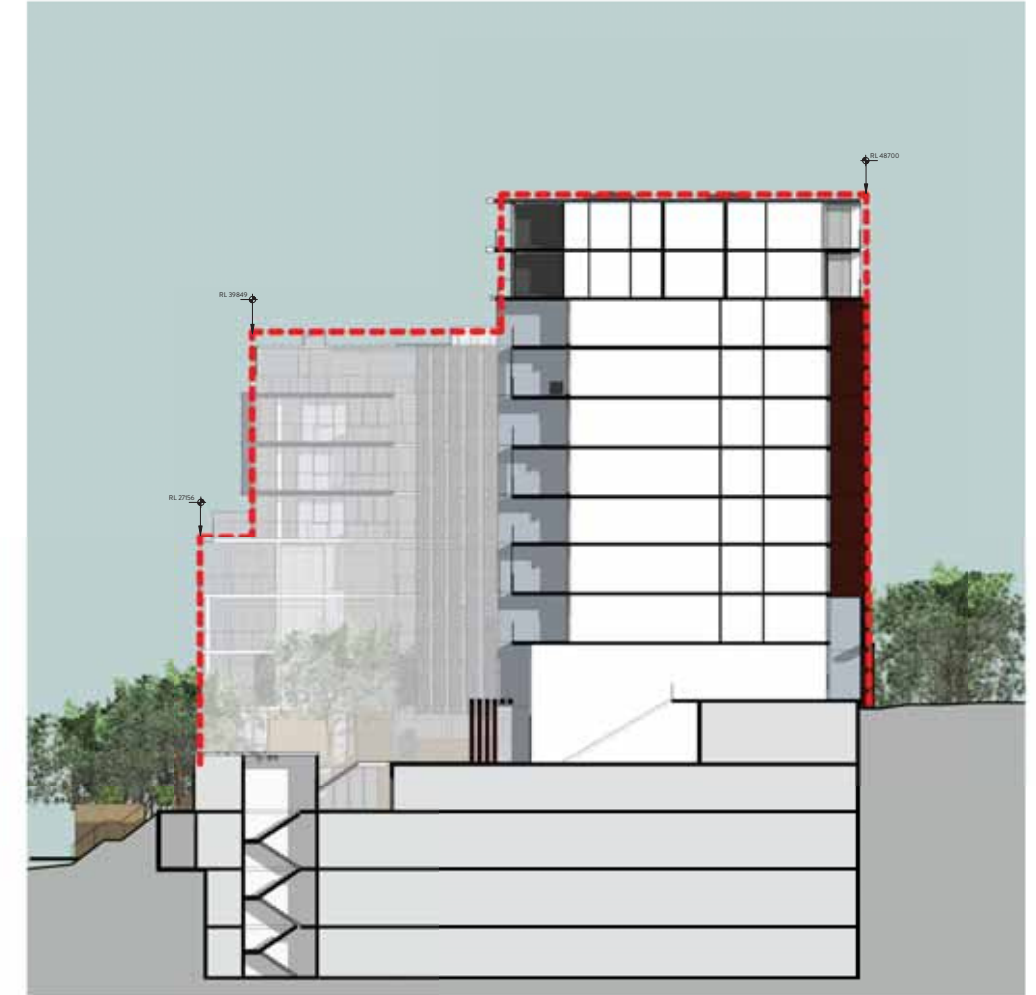
DRAWING TITLE
WEST ELEVATIONS - 2
SCALE : 1: 200 @B1 Drawing Number
DATE : 19th December 2014 DA-23-206/A
PROJECT # 10068-3

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EAST SECTION



STAGE 2



STAGE 3

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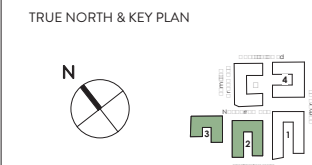
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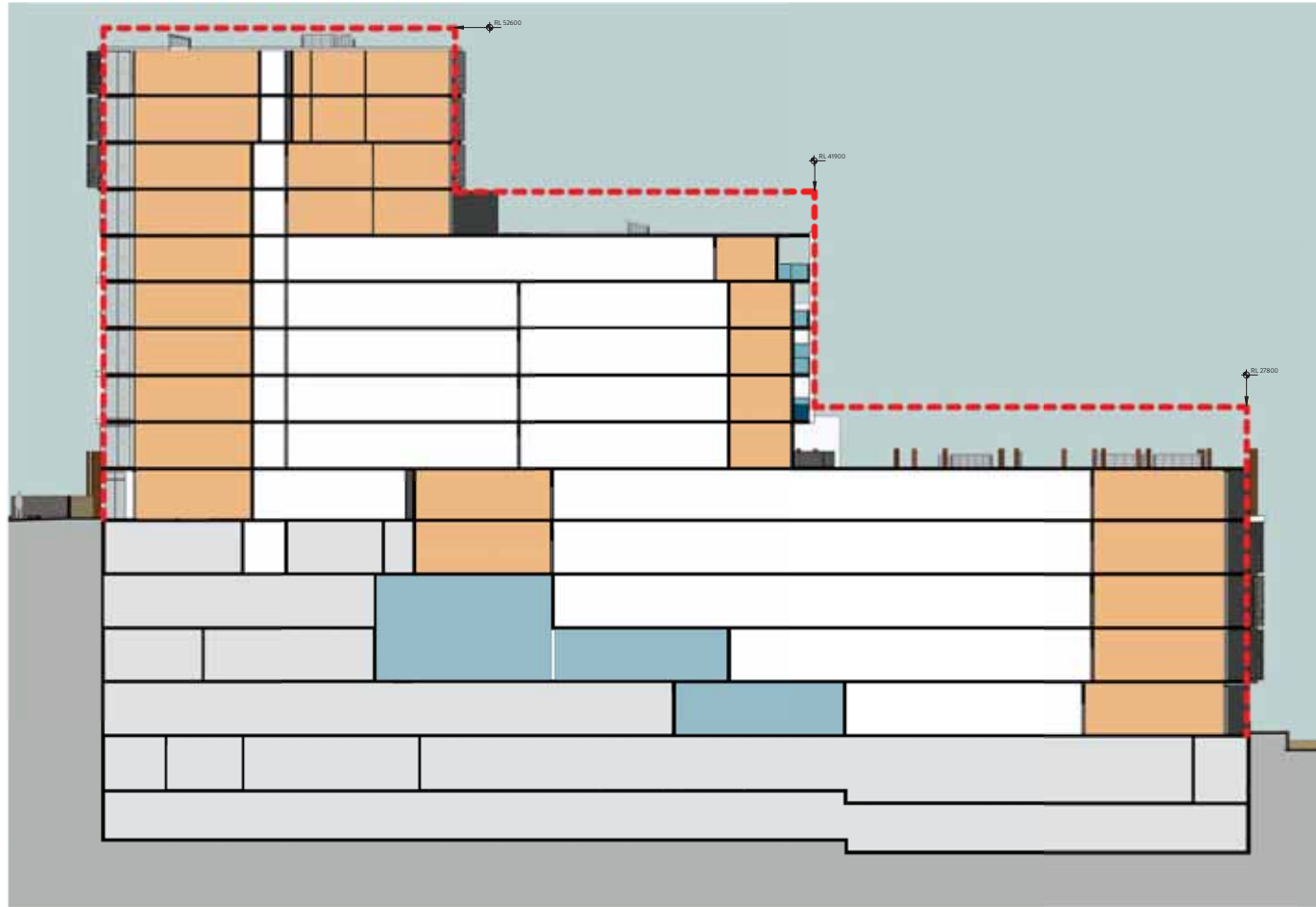
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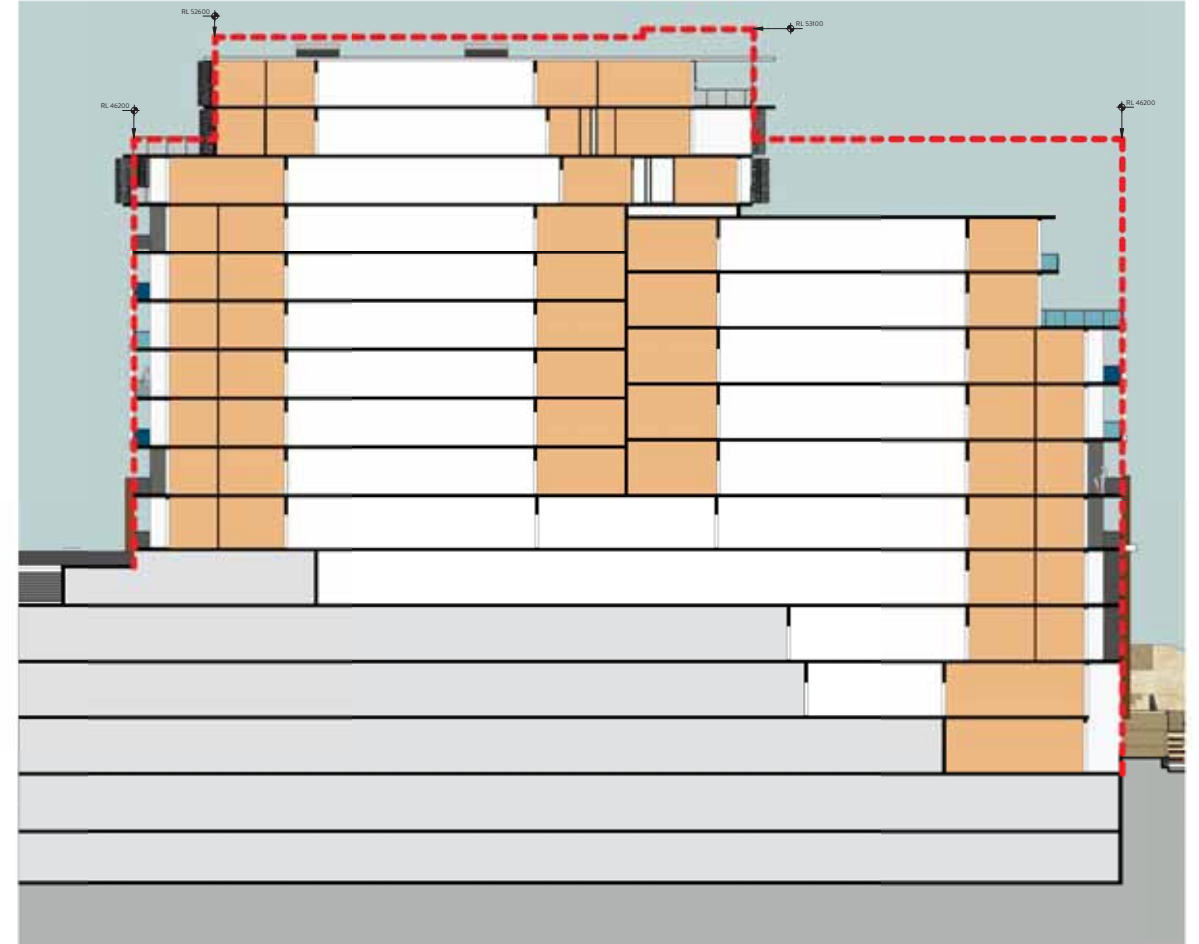
DRAWING TITLE
SECTIONS STAGE 2 & 3
SCALE : 1: 200 @B1
DATE : 19th December 2014
PROJECT # 10068-3
Drawing Number
DA-23-301/A

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STAGE 2



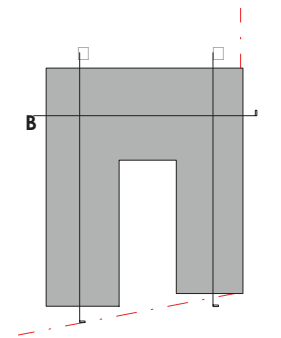
SECTION A



SECTION B

RESIDENTIAL
 CORRIDORS
 COMMUNITY
 CAFE
 CAR PARKING, STORAGE, PLANT

APPROVED ENVELOPE



DA Submission

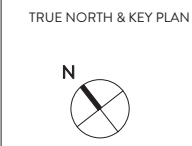
DEVELOPMENT
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 STAGE 2 & 3

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1	19/12/2014	D: 11:20:00	L:O

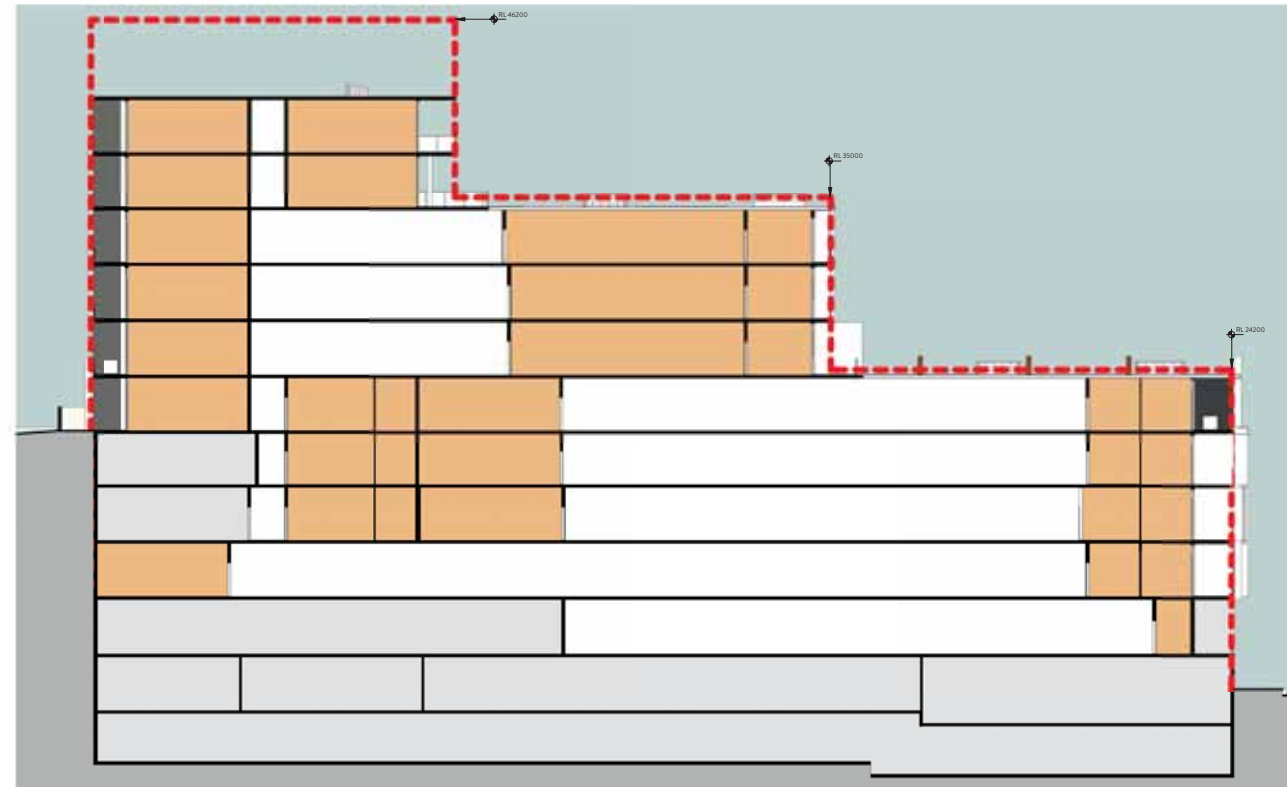


DRAWING TITLE
 STAGE 2 SECTIONS - 1
 SCALE : As indicated @B1
 DATE : 19th December 2014
 PROJECT # 10068-3

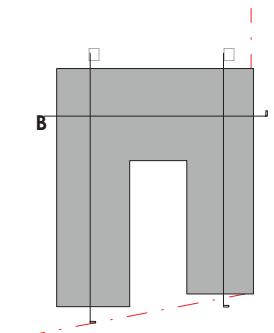
Drawing Number
DA-23-302/A

ROBERTSON+MARKS

STAGE 2



SECTION C



RESIDENTIAL
 CORRIDORS
 COMMUNITY
 CAR PARKING, STORAGE, PLANT

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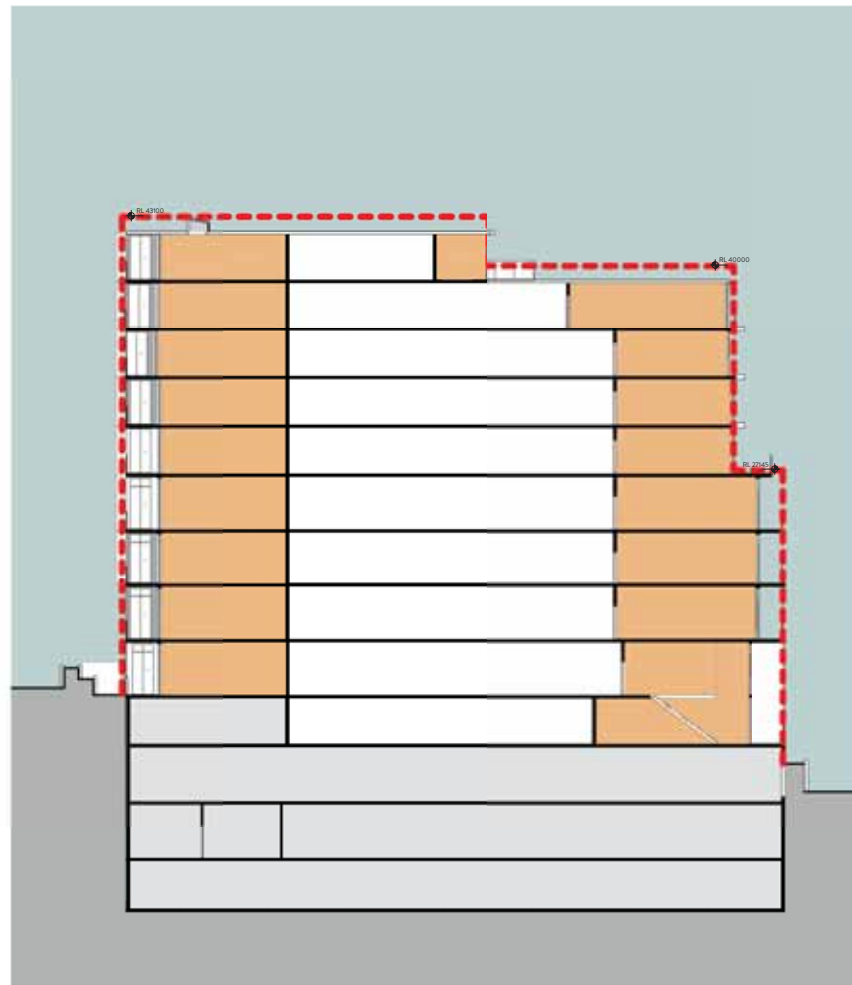
Issue	Date	Description	By
1	19/12/2014	D: 11/2014	L:O

TRUE NORTH & KEY PLAN

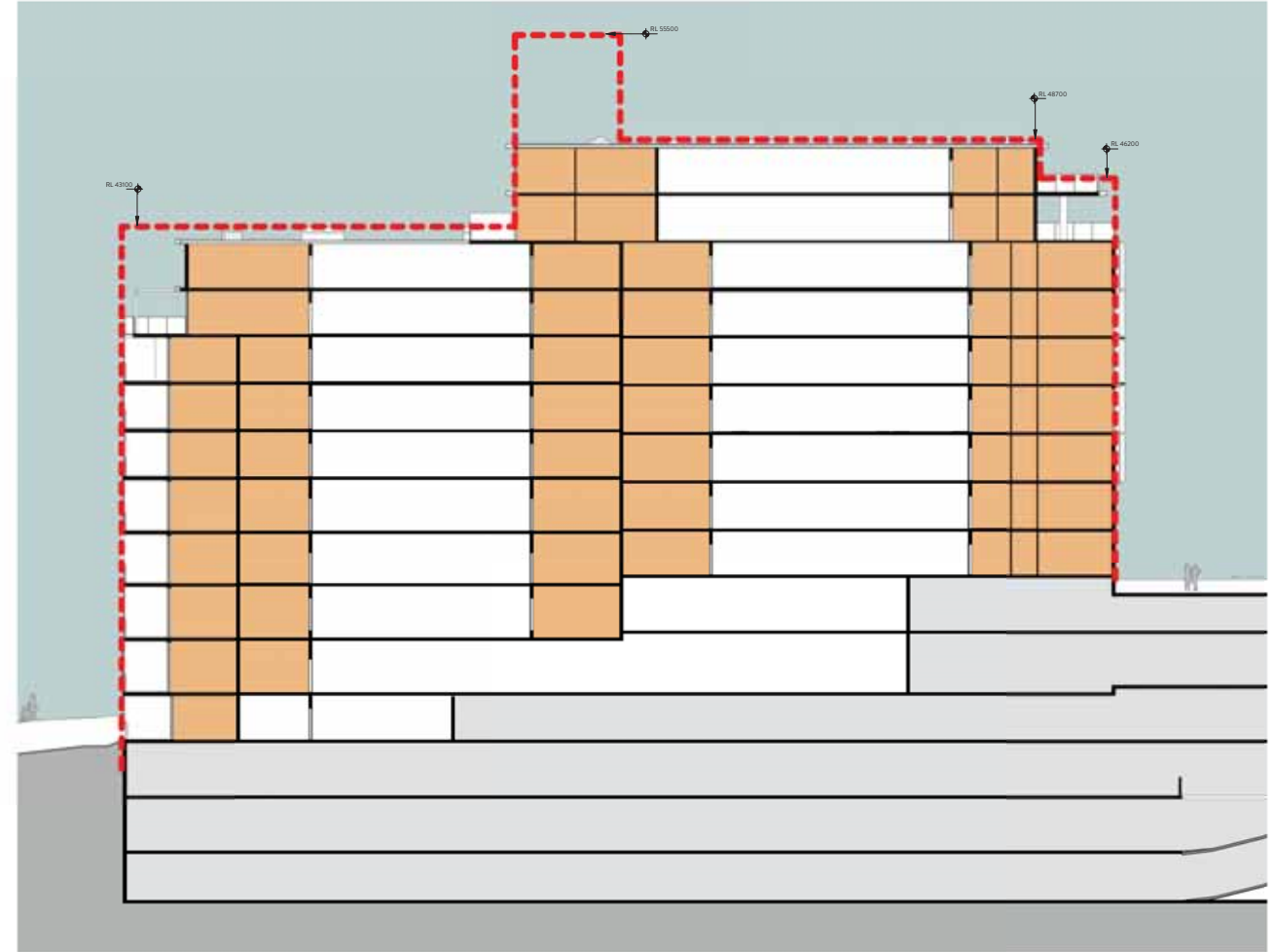
DRAWING TITLE
 STAGE 2 SECTIONS - 2
 SCALE : As indicated @B1
 DATE : 19th December 2014
 PROJECT # 10068-3

Drawing Number
DA-23-303/A
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STAGE 3



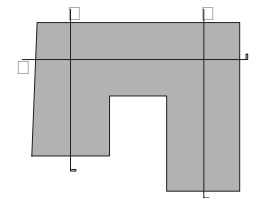
SECTION D



SECTION E

RESIDENTIAL
 CORRIDORS
 COMMUNITY
 CAFE
 CAR PARKING, STORAGE, PLANT

APPROVED ENVELOPE



DA Submission

DEVELOPMENT
 APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 2 & 3

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NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction.
 Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
 Internal layouts shown are indicative only for information purposes and are subject to further design development and change
 Window mullions, if shown, are indicative only
 Louvre panels, if shown, are indicative only
 All dimensions and levels shown are approximate
 Any finishes nominated are indicative only and subject to change
 Articulations shown on the façade are indicative only and are subject to further design development and change
 Storage allocations and areas are not necessarily shown on the drawings and are subject to change

Issue	Date	Description	By
1	19/12/2014	D: 11/2014	LO



DRAWING TITLE
 STAGE 3 SECTIONS - 1
 SCALE : As indicated @B1
 DATE : 19th December 2014
 PROJECT # 10068-3

Drawing Number
DA-23-304/A

ROBERTSON+MARKS

Report - Stage 2 - Unit Schedule

APT #	TYPE	ORIENTATION	SOLAR	VENTILATION	EXTENSIVE GLAZING	INCREASED CEILING HEIGHT	INCREASED APARTMENT AREA	CONDITION 21 - ENHANCED AMENITY	Internal Area	External Area	Apartment #
2B01	LOFT		0	1	1	0	1	0	70 m ²	9 m ²	2B01
2B02	LOFT		0	0	1	0	1	0	66 m ²	9 m ²	2B02
2B03	LOFT		0	0	1	0	1	0	66 m ²	9 m ²	2B03
2B04	LOFT		0	0	1	0	1	0	59 m ²	8 m ²	2B04
2B05	LOFT		0	0	1	1	1	0	13 m ²	13 m ²	2B05
2B06	LOFT		0	0	1	1	1	0	64 m ²	10 m ²	2B06
2B07	LOFT		0	0	1	1	1	0	63 m ²	10 m ²	2B07
2B08	LOFT		0	0	1	1	1	0	64 m ²	10 m ²	2B08
2LG01	1B	SE	0	1	1	1	1	1	62 m ²	22 m ²	2LG01
2LG02	3B	SE&SW	0	1	1	1	1	1	114 m ²	30 m ²	2LG02
2LG03	2B	NW & SW	1	1	1	1	1	1	87 m ²	34 m ²	2LG03
2LG04	1B	NW	1	0	1	1	1	0	51 m ²	10 m ²	2LG04
2LG05	1B	NW	0	0	1	1	1	0	55 m ²	11 m ²	2LG05
2LG06	1B	NW	0	0	1	1	1	0	56 m ²	12 m ²	2LG06
2LG07	1B	SE	0	1	1	1	1	1	40 m ²	27 m ²	2LG07
2LG08	1B	SE	0	0	1	1	1	0	57 m ²	14 m ²	2LG08
2LG09	1B	SE	0	1	1	1	1	1	61 m ²	8 m ²	2LG09
2LG10	2B	SE	0	1	1	1	1	1	84 m ²	22 m ²	2LG10
2LG11	1B	SE	0	1	1	1	1	1	60 m ²	8 m ²	2LG11
2LG12	2B	SE&SW	0	1	1	1	1	1	89 m ²	31 m ²	2LG12
2LG13	2B	NW & SW	0	1	1	1	1	1	29 m ²	11 m ²	2LG13
2LG14	1B	NW	0	1	1	1	1	1	40 m ²	4 m ²	2LG14
2LG15	1B	NW	0	1	1	1	1	1	40 m ²	28 m ²	2LG15
2LG24	STUDIO	SE	0	0	1	1	1	0	49 m ²	12 m ²	2LG24
2UB01	1B	SE	0	1	1	1	1	0	64 m ²	19 m ²	2UB01
2UB02	3B	SE&SW	0	1	1	1	1	0	114 m ²	30 m ²	2UB02
2UB03	2B	NW & SW	1	1	1	1	1	0	88 m ²	34 m ²	2UB03
2UB04	1B	NW	0	0	1	1	1	0	51 m ²	11 m ²	2UB04
2UB05	1B	NW	0	0	1	1	1	0	54 m ²	11 m ²	2UB05
2UB06	1B	SE	0	0	1	1	1	0	57 m ²	14 m ²	2UB06
2UB07	1B	SE	0	1	1	1	1	0	61 m ²	8 m ²	2UB07
2UB08	1B	SE	0	0	1	1	1	0	55 m ²	14 m ²	2UB08
2UB09	1B	NW & SW	0	1	1	1	1	0	66 m ²	25 m ²	2UB09
2UB10	1B	NW	0	1	1	1	1	0	53 m ²	16 m ²	2UB10
20001	1B	SE	0	1	1	1	1	1	60 m ²	22 m ²	20001
20002	ADA	SE	0	1	1	1	1	1	62 m ²	22 m ²	20002
20003	3B	SE&SW	0	1	1	1	1	1	114 m ²	30 m ²	20003
20004	2B	NW & SW	1	1	1	1	1	1	87 m ²	33 m ²	20004
20005	1B	NW	1	0	1	1	1	0	51 m ²	10 m ²	20005
20006	1B	NW	0	1	1	1	1	0	55 m ²	11 m ²	20006
20007	1B	NW	0	0	1	1	1	0	56 m ²	11 m ²	20007
20008	ADA	NW	0	0	1	1	1	0	60 m ²	9 m ²	20008
20009	ADA	NW	0	0	1	1	1	0	84 m ²	14 m ²	20009
20010	1B	SE	0	1	1	1	1	0	51 m ²	14 m ²	20010
20011	2B	SE	0	0	1	1	1	0	93 m ²	29 m ²	20011
20012	2B	SE	0	0	1	1	1	0	86 m ²	32 m ²	20012
20013	2B	SE	0	0	1	1	1	0	85 m ²	33 m ²	20013
20014	1B	SE	0	1	1	1	1	0	61 m ²	8 m ²	20014
20015	2B	SE	0	1	1	1	1	0	83 m ²	21 m ²	20015
20016	1B	SE	0	1	1	1	1	0	60 m ²	7 m ²	20016
20017	2B	SE&SW	0	1	1	1	1	0	89 m ²	29 m ²	20017
20018	2B	NW & SW	0	1	1	1	1	0	88 m ²	27 m ²	20018
20019	1B	NW	0	1	1	1	1	0	60 m ²	4 m ²	20019
20020	1B	NW	0	1	1	1	1	0	61 m ²	4 m ²	20020
20021	1B	NW	0	0	1	1	1	0	50 m ²	17 m ²	20021
20022	1B	SE	0	1	1	1	1	0	63 m ²	20 m ²	20022
20023	1B	SE	0	1	1	1	1	0	86 m ²	15 m ²	20023
20024	1B	SE	0	0	1	1	1	0	54 m ²	9 m ²	20024
20025	2B	SE&SW	0	1	1	1	1	0	114 m ²	30 m ²	20025
20026	1B	NW	1	0	1	1	1	0	67 m ²	14 m ²	20026
20027	1B	NW	0	1	1	1	1	0	60 m ²	4 m ²	20027
20028	1B	NW	0	0	1	1	1	0	61 m ²	4 m ²	20028
20029	1B	NW	0	0	1	1	1	0	50 m ²	17 m ²	20029
20030	1B	SE	0	1	1	1	1	0	63 m ²	20 m ²	20030
20031	1B	SE	0	1	1	1	1	0	86 m ²	15 m ²	20031
20032	1B	SE	0	0	1	1	1	0	54 m ²	9 m ²	20032
20033	3B	SE&SW	0	1	1	1	1	0	114 m ²	30 m ²	20033
20034	2B	NW & SW	1	1	1	1	1	0	87 m ²	33 m ²	20034
20035	1B	NW	0	1	1	1	1	0	51 m ²	10 m ²	20035
20036	1B	NW	0	0	1	1	1	0	54 m ²	11 m ²	20036
20037	1B	NW	0	0	1	1	1	0	57 m ²	11 m ²	20037
20038	1B	SE	0	1	1	1	1	0	60 m ²	9 m ²	20038
20039	1B	SE	0	1	1	1	1	0	85 m ²	13 m ²	20039
20040	2B	SE	0	1	1	1	1	0	85 m ²	21 m ²	20040
20041	2B	SE	0	1	1	1	1	0	99 m ²	10 m ²	20041
20042	ADA	NW	1	0	1	1	1	0	9 m ²	20210	20042
20043	1B	NE&NW	1	1	1	1	1	0	78 m ²	36 m ²	20043
20044	1B	NE	1	1	1	1	1	0	53 m ²	22 m ²	20044
20045	2B	NE	1	1	1	1	1	0	87 m ²	20 m ²	20045
20046	ADA	SW	0	1	1	1	1	0	90 m ²	13 m ²	20046
20047	2B	NE	0	1	1	1	1	0	87 m ²	19 m ²	20047
20048	2B	SW	0	1	1	1	1	0	85 m ²	12 m ²	20048
20049	1B	NE	1	1	1	1	1	0	78 m ²	35 m ²	20049
20050	1B	NE	1	1	1	1	1	0	53 m ²	8 m ²	20050
20051	1B	NE	1	1	1	1	1	0	54 m ²	7 m ²	20051
20052	2B	SE&SW	0	1	1	1	1	0	81 m ²	28 m ²	20052
20053	2B	NW & SW	0	1	1	1	1	0	81 m ²	28 m ²	20053
20054	ADA	NW	1	1	1	1	1	0	84 m ²	26 m ²	20054
20055	ADA	NW	1	0	1	1	1	0	90 m ²	32 m ²	20055
20056	1B	NW	1	0	1	1	1	0	78 m ²	37 m ²	20056
20057	1B	NE	1	1	1	1	1	0	53 m ²	7 m ²	20057
20058	1B	NE	1	1	1	1	1	0	53 m ²	7 m ²	20058
20059	1B	NE	1	1	1	1	1	0	54 m ²	7 m ²	20059
20060	2B	SW	0	1	1	1	1	0	89 m ²	12 m ²	20060
20061	1B	NE	0	1	1	1	1	0	84 m ²	24 m ²	20061
20062	2B	NE	0	1	1	1	1	0	84 m ²	26 m ²	20062
20063	2B	NE&SW	0	1	1	1	1	0	92 m ²	12 m ²	20063
20064	1B	NE	1	1	1	1	1	0	55 m ²	7 m ²	20064
20065	1B	NE	1	1	1	1	1	0	52 m ²	8 m ²	20065
20066	2B	NE	1	1	1	1	1	0	79 m ²	35 m ²	20066
20067	ADA	SE	0	1	1	1	1	0	6 m ²	6 m ²	20067
20068	ADA	SE	0	1	1	1	1	0	62 m ²	6 m ²	20068
20069	1B	SE	0	1	1	1	1	0	61 m ²	7 m ²	20069
20070	1B	SE	0	0	1	1	1	0	85 m ²	40 m ²	20070
20071	2B	SE&SW	1	1	1	1	1	0	85 m ²	40 m ²	20071
20072	2B	NW & SW	1	1	1	1	1	0	102 m ²	21 m ²	20072
20073	1B	NW	0	0	1	1	1	0	51 m ²	6 m ²	20073
20074	1B	SE	0	1	1	1	1	0	52 m ²	58 m ²	20074
20075	2B	SE&SW	0	1	1	1	1	0	103 m ²	50 m ²	20075
20076	2B	NW & SW	1	1	1	1	1	0	88 m ²	38 m ²	20076
20077	1B	NW	1	1	1	1	1	0	58 m ²	10 m ²	20077
20078	1B	NW	0	1	1	1	1	0	59 m ²	10 m ²	20078
20079	2B	NW	1	0	1	1	1	0	60 m ²	10 m ²	20079
20080	2B	NW	1	0	1	1	1	0	60 m ²	10 m ²	20080
20081	2B	NE&NW	1	1	1	1	1	0	77 m ²	36 m ²	20081
20082	1B	NE	1	1	1	1	1	0	53 m ²	8 m ²	20082
20083	1B	NE	1	1	1	1	1	0	54 m ²	7 m ²	20083
20084	1B	NE	1	1	1	1	1	0	54 m ²	7 m ²	20084
20085	2B	SW	0	1	1	1	1	0	81 m ²	28 m ²	20085
20086	2B	NE	0	1	1	1	1	0	84 m ²		

Report - Stage 3 - Unit Schedule

APT #	TYPE	ORIENTATION	SOLAR	VENTILATION	EXTENSIVE GLAZING	INCREASED CEILING HEIGHT	INCREASED APARTMENT AREA	CONDITION 21 - ENHANCED AMENITY	Internal Area	External Area	Apartment #
3L001	IB	NW	1	0	1	0	0	0	58 m ²	14 m ²	3L001
3L002	2B	NW	0	0	1	0	0	0	84 m ²	27 m ²	3L002
3L021	STUDIO	SE	0	0	1	0	0	0	47 m ²	6 m ²	3L021
3L023	IB	NW	0	1	1	1	1	1	59 m ²	21 m ²	3L023
3L024	IB	NW	0	1	1	1	1	1	60 m ²	30 m ²	3L024
30L01	LOFT		0	1	1	1	1	1	77 m ²	10 m ²	30L01
30L02	LOFT		0	0	1	1	1	1	68 m ²	10 m ²	30L02
30L03	LOFT		0	1	1	1	1	1	82 m ²	33 m ²	30L03
30L04	LOFT	NW	0	0	1	1	1	1	75 m ²	11 m ²	30L04
30001	IB	SE	0	1	1	1	0	0	63 m ²	17 m ²	30001
30004 ADA	IB	NW	1	1	1	1	1	1	62 m ²	10 m ²	30004ADA
30005 ADA	IB	NW	1	0	1	1	1	1	62 m ²	10 m ²	30005ADA
30006	IB	NW	1	0	1	1	1	1	60 m ²	9 m ²	30006
30007	2B	NEANW	1	1	1	1	0	0	83 m ²	9 m ²	30007
30008	IB	NE	1	1	1	1	0	0	50 m ²	7 m ²	30008
30009	IB	NE	1	1	1	1	0	0	50 m ²	23 m ²	30009
30011 ADA	2B	SW	0	1	1	1	1	1	89 m ²	12 m ²	30011
30018 ADA	2B	SW	0	1	1	1	1	1	86 m ²	11 m ²	30018 ADA
30019	IB	SE	0	1	1	1	1	1	60 m ²	8 m ²	30019
30020	IB	SE	0	1	1	1	1	1	53 m ²	7 m ²	30020
30021	2B	SW & SE	0	1	1	1	1	1	84 m ²	16 m ²	30021
30022	2B	NW & SW	0	1	1	1	1	1	85 m ²	18 m ²	30022
30023	IB	NW	0	1	1	1	1	1	59 m ²	8 m ²	30023
30024	IB	NW	0	1	1	1	1	1	60 m ²	10 m ²	30024
30025	IB	NW	0	0	1	1	1	1	50 m ²	26 m ²	30025
30027	IB	SE	0	1	1	1	1	1	54 m ²	8 m ²	30027
30028	2B	SE&SW	0	1	1	1	1	1	90 m ²	28 m ²	30028
30031	IB	NW & SW	1	1	1	1	0	0	109 m ²	36 m ²	30031
30034 ADA	IB	NW	1	0	1	1	1	1	63 m ²	10 m ²	30034ADA
30035 ADA	IB	NW	1	0	1	1	1	1	62 m ²	10 m ²	30035ADA
30036	IB	NW	1	0	1	1	0	0	59 m ²	9 m ²	30036
30037	2B	NEANW	1	1	1	1	0	0	83 m ²	9 m ²	30037
30038	IB	NE	1	1	1	1	0	0	50 m ²	7 m ²	30038
30039	IB	NE	1	1	1	1	0	0	50 m ²	7 m ²	30039
30040	2B	NE&SW	0	1	1	1	0	0	83 m ²	30 m ²	30040
30041 ADA	2B	SW	0	1	1	1	1	1	89 m ²	13 m ²	30041
30043	2B	NE	1	0	1	1	0	0	76 m ²	7 m ²	30043
30044 ADA	2B	SW	0	0	1	1	1	1	86 m ²	13 m ²	30044
30045	IB	SE	0	1	1	1	1	1	84 m ²	13 m ²	30045
30046	IB	SW & SE	0	1	1	1	1	1	53 m ²	7 m ²	30046
30047	IB	NE	1	1	1	1	0	0	50 m ²	7 m ²	30047
30048	IB	NE	1	1	1	1	0	0	50 m ²	7 m ²	30048
30049	IB	NE	1	1	1	1	0	0	50 m ²	7 m ²	30049
30050	2B	SW&NE	0	1	1	1	0	0	83 m ²	25 m ²	30050
30051 ADA	2B	SW	0	1	1	1	1	1	89 m ²	13 m ²	30051
30052	IB	SW	0	1	1	1	1	1	89 m ²	13 m ²	30052
30053	IB	SW	0	1	1	1	1	1	89 m ²	13 m ²	30053
30054	IB	SW	0	1	1	1	1	1	89 m ²	13 m ²	30054
30055	IB	SW	0	1	1	1	1	1	89 m ²	13 m ²	30055
30056	IB	SW	0	1	1	1	1	1	89 m ²	13 m ²	30056
30057	2B	NE & NW	1	1	1	1	0	0	84 m ²	9 m ²	30057
30058	IB	N	1	0	1	1	0	0	50 m ²	7 m ²	30058
30059	IB	NE	1	0	1	1	0	0	51 m ²	7 m ²	30059

Report - Stage 3 - Unit Schedule

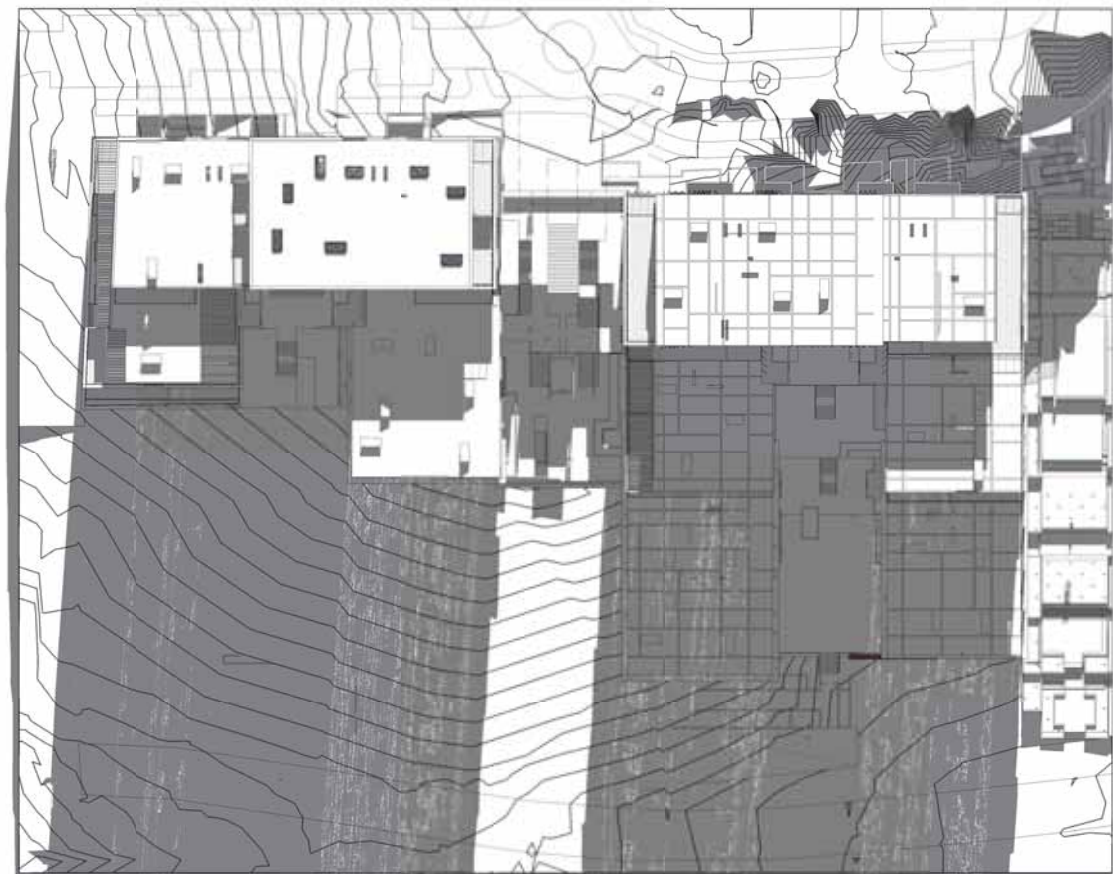
APT #	TYPE	ORIENTATION	SOLAR	VENTILATION	EXTENSIVE GLAZING	INCREASED CEILING HEIGHT	INCREASED APARTMENT AREA	CONDITION 21 - ENHANCED AMENITY	Internal Area	External Area	Apartment #
30500	2B	NE & SW	0	1	1	1	0	0	83 m ²	26 m ²	30500
30501	2B	NE & SW	0	1	1	1	0	0	89 m ²	13 m ²	30501
30502	2B	NE & SW	0	1	1	1	0	0	83 m ²	19 m ²	30502
30503	IB	NE	1	1	1	1	0	0	49 m ²	7 m ²	30503
30504	IB	NE	1	1	1	1	0	0	49 m ²	7 m ²	30504
30505	2B	NE & SE	1	1	1	1	0	0	77 m ²	11 m ²	30505
30506	IB	SE	0	1	1	1	0	0	49 m ²	6 m ²	30506
30507	IB	SE	0	1	1	1	0	0	70 m ²	6 m ²	30507
30508	2B	SW	0	0	1	1	0	0	86 m ²	13 m ²	30508
30509	2B	SE	0	1	1	1	0	0	84 m ²	13 m ²	30509
30510	IB	SE	0	1	1	1	0	0	53 m ²	6 m ²	30510
30511	2B	SW & SE	0	1	1	1	1	1	84 m ²	16 m ²	30511
30512	2B	SW & NW	1	1	1	1	1	1	85 m ²	18 m ²	30512
30513	IB	NW	1	1	1	1	1	1	60 m ²	8 m ²	30513
30514	IB	NW	1	1	1	1	1	1	60 m ²	10 m ²	30514
30515	2B	NW & SE	0	1	1	1	1	1	108 m ²	10 m ²	30515
30516	IB	SW	0	1	1	1	1	1	54 m ²	8 m ²	30516
30517	2B	SW & SE	0	1	1	1	1	1	72 m ²	14 m ²	30517
30518	2B	SW & NW	1	1	1	1	1	1	83 m ²	21 m ²	30518
30519	IB	NW	1	0	1	1	0	0	63 m ²	10 m ²	30519
30520	IB	NW	1	0	1	1	0	0	62 m ²	10 m ²	30520
30521	IB	NW	1	0	1	1	0	0	59 m ²	9 m ²	30521
30522	IB	NW	1	0	1	1	0	0	59 m ²	9 m ²	30522
30523	IB	NW	1	1	1	1	1	1	60 m ²	8 m ²	30523
30524	IB	NW	0	1	1	1	1	1	60 m ²	10 m ²	30524
30525	2B	NW & SE	0	1	1	1	1	1	108 m ²	10 m ²	30525
30526	IB	SW	0	1	1	1	1	1	54 m ²	8 m ²	30526
30527	2B	SW & SE	0	1	1	1	1	1	72 m ²	14 m ²	30527
30528	2B	SW & NW	1	1	1	1	1	1	83 m ²	21 m ²	30528
30529	IB	NW	1	0	1	1	0	0	63 m ²	10 m ²	30529
30530	IB	NW	1	0	1	1	0	0	62 m ²	10 m ²	30530
30531	IB	NW	1	0	1	1	0	0	59 m ²	9 m ²	30531
30532	2B	NE & NW	1	1	1	1	0	0	85 m ²	8 m ²	30532
30533	IB	NE	1	1	1	1	0	0	51 m ²	6 m ²	30533
30534	IB	NE	1	1	1	1	0	0	52 m ²	6 m ²	30534
30535	2B	NE & SW	0	1	1	1	0	0	85 m ²	25 m ²	30535
30536	2B	SW	0	1	1	1	0	0	89 m ²	14 m ²	30536
30537	2B	NE & SW	0	1	1	1	0	0	83 m ²	19 m ²	30537
30538	IB	NE	1	1	1	1	0	0	49 m ²	7 m ²	30538
30539	IB	NE & SE	1	1	1	1	0	0	77 m ²	11 m ²	30539
30540	IB	SE	0	0	1	1	0	0	49 m ²	6 m ²	30540
30541	IB	SE	0	0	1	1	0	0	70 m ²	6 m ²	30541
30542	IB	SE	0	0	1	1	0	0	86 m ²	13 m ²	30542
30543	IB	SE	0	0	1	1	0	0	84 m ²	13 m ²	30543
30544	IB	SE	0	0	1	1	0	0	53 m ²	7 m ²	30544
30545	2B	SE & SW	0	1	1	1	1	1	84 m ²	16 m ²	30545
30546	2B	NW & SW	1	1	1	1	1	1	85 m ²	18 m ²	30546
30547	IB	NW	1	1	1	1	1	1	60 m ²	8 m ²	30547
30548	IB	NW	1	1	1	1	1	1	60 m ²	10 m ²	30548
30549	2B	NW & SE	0	1	1	1	1	1	108 m ²	10 m ²	30549
30550	IB	SW	0	1	1	1	1	1	54 m ²	8 m ²	30550
30551	IB	SW	0	1	1	1	1	1	75 m ²	13 m ²	30551
30552	2B	SW & SE	0	1	1	1	0	0	86 m ²	20 m ²	30552
30553	IB	NW	1	0	1	1	0	0	62 m ²	10 m ²	30553
30554	IB	NW	1	0	1	1	0	0	62 m ²	10 m ²	30554
30555	IB	NW	1	0	1	1	0	0	62 m ²	10 m ²	30555
30556	IB	NW	1	0	1	1	0	0	59 m ²	9 m ²	30556
30557	2B	NE & NW	1	1	1	1	0	0	84 m ²	9 m ²	30557
30558	IB	N	1	0	1	1	0	0	50 m ²	7 m ²	30558
30559	IB	NE	1	0	1	1	0	0	51 m ²	7 m ²	30559

Unit MIX - Stage 3

TYPE	Count
1B	113
2B	96
3B	6
LOFT	4
STUDIO	2
221	

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 STAGE 2 & 3

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① Shadow June 21 - 0900Hrs



② Shadow June 21 - 1200Hrs



③ Shadow June 21 - 1500Hrs

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Issue	Date	Description	By
1	19/12/2014	D: 11.20.2014	LO

TRUE NORTH & KEY PLAN



DRAWING TITLE

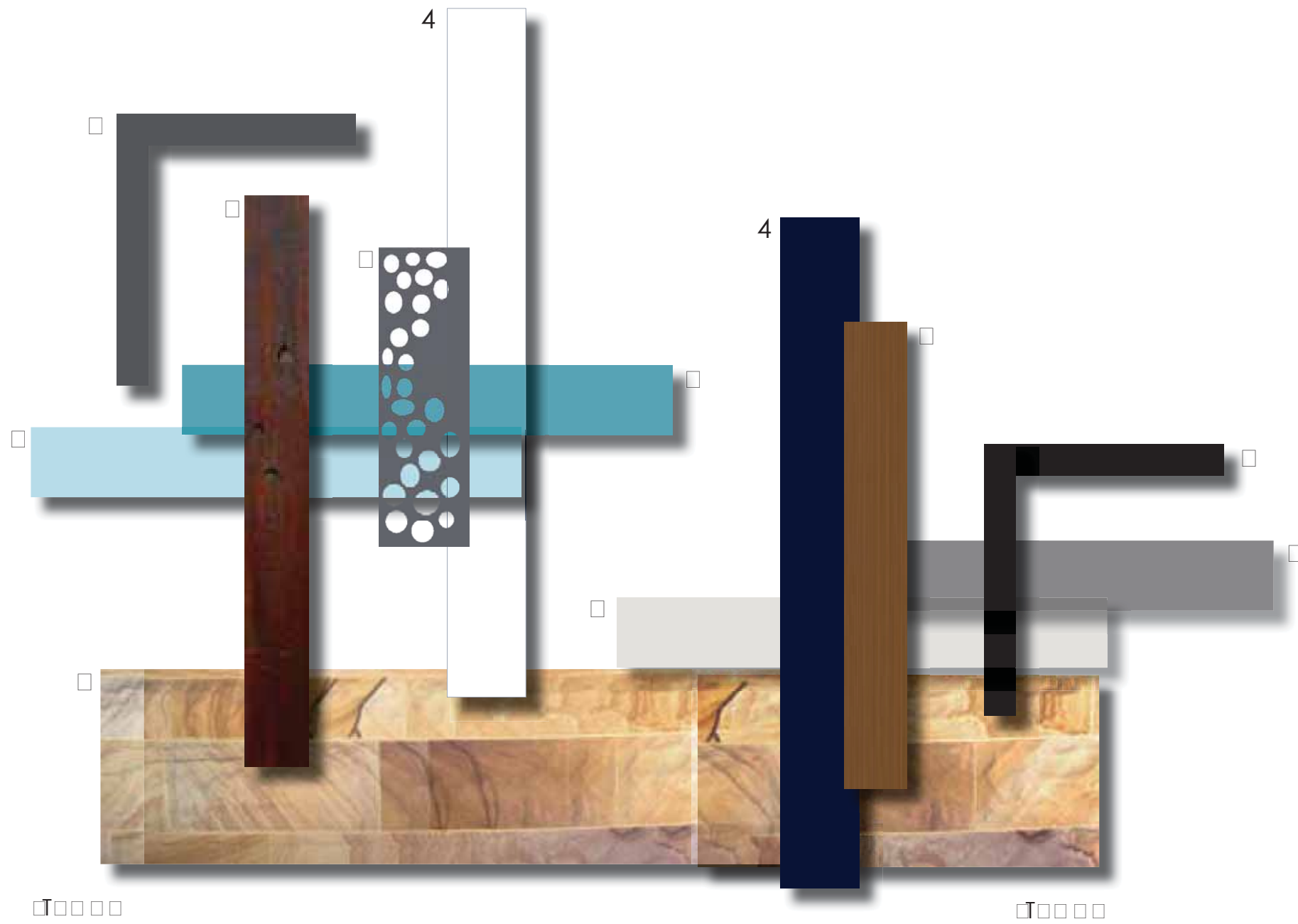
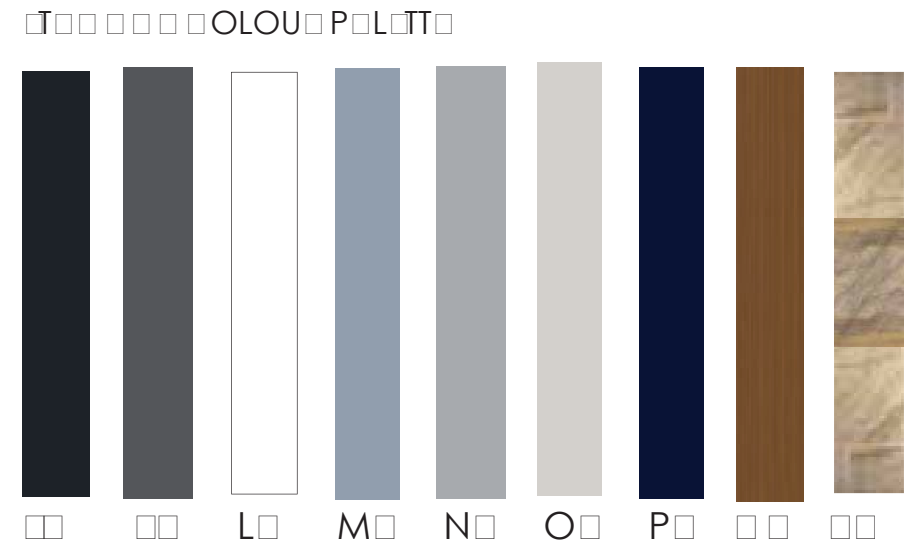
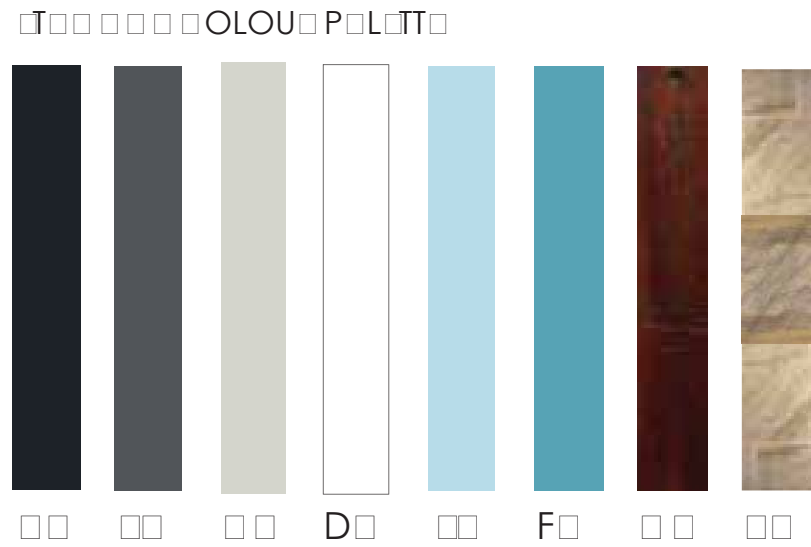
STAGE 2&3 - SHADOW DIAGRAMS

SCALE : @B1
DATE : 19th December 2014
PROJECT # 10068-3

Drawing Number
DA-23-600/A

ROBERTSON+MARKS

TYPICAL FINISHES
 INTERIOR WALLS
 INTERIOR FLOORS
 INTERIOR CEILING
 INTERIOR DOORS
 INTERIOR WINDOWS
 INTERIOR STAIRS
 INTERIOR BALCONIES
 INTERIOR ROOFS
 INTERIOR LIGHTING
 INTERIOR FURNITURE
 INTERIOR PLANTING
 INTERIOR PAINT



4 BALCONY PAINT FINISH

4



4



4



4



4

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 (MP 09_0216)
 STAGE 2 & 3

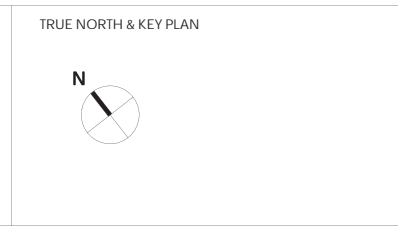
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REVISIONS

Issue	Date	Description	By
1	12/10/14	ISSUED	BM



DRAWING TITLE
STAGE 2&3 - EXTERIOR FINISHES
 SCALE: @B1
 DATE: 12/10/14
 PROJECT # 10068-3
 Drawing Number
DA-23-701/A
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1 BASEMENT
1 : 325



2 UPPER BASEMENT
1 : 325

Legend

-  Daylight Access
-  Natural Ventilation
-  SEPP65 Enhanced Amenity*
-  Cond 21 - SEPP65 Enhanced Amenity* + Natural Ventilation

Stage 2 & 3 - SEPP65 Enhanced Amenity Schedule

Stage 2 & 3 - MP 09_0216		Stage 2		Stage 3		Total	
	Total Apartments	232	%	221	%	453	%
Daylight Access	94	40.52%	107	48.42%	201	44.37%	
Natural Ventilation	181	78.02%	177	80.09%	358	79.03%	
SEPP65 Enhanced Amenity*	95	40.95%	73	33.03%	168	37.09%	
Cond 21 - SEPP65 Enhanced Amenity* + Natural Ventilation	69	29.74%	48	21.72%	117	25.83%	
Cond 21 - SEPP65 Enhanced Amenity* + Natural Ventilation + Daylight Access	163	70.26%	155	70.14%	318	70.20%	

*SEPP65 Enhanced Amenity Conditions
 -Extensive Glazing (minimum 70% of the external façade) to living rooms.
 -20% Increase to floor to ceiling height.
 -20% Increase to floor to apartment areas.

DA Submission

DEVELOPMENT APPLICATION
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 (MP 09_0216)
 STAGE 2 & 3

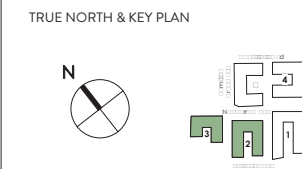
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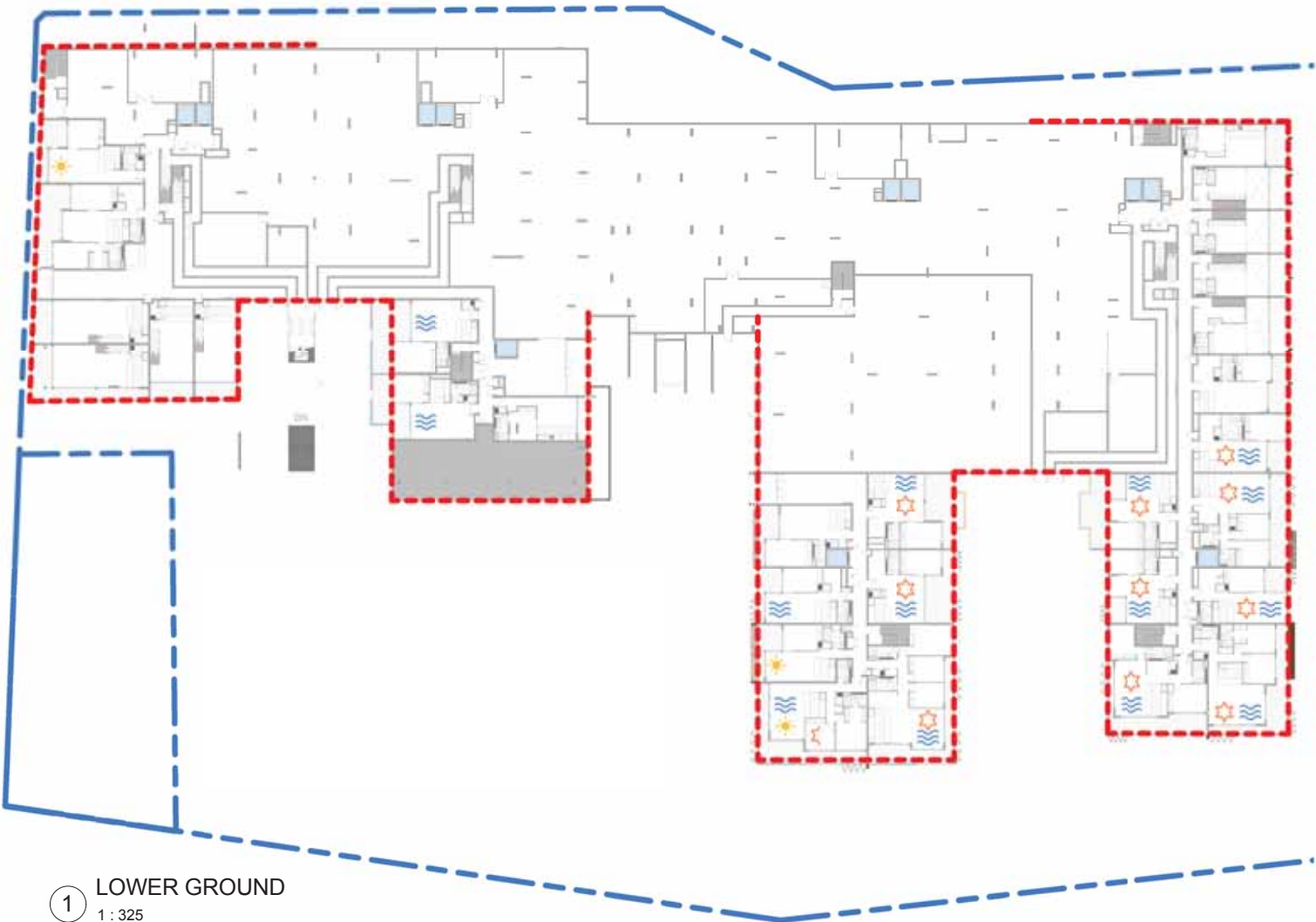
REVISIONS

Issue	Date	Description	By
1	19/12/2014	D: 11/20/2014	LO



DRAWING TITLE
STAGE 2&3 - Amenities Sheet 1
 SCALE : As indicated @B1 Drawing Number
 DATE : 19th December 2014 DA-23-801/A
 PROJECT # 10068-3

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1 LOWER GROUND
1 : 325



2 GROUND
1 : 325

Legend

-  Daylight Access
-  Natural Ventilation
-  SEPP65 Enhanced Amenity*
-  Cond 21 - SEPP65 Enhanced Amenity* + Natural Ventilation

Stage 2 & 3 - SEPP65 Enhanced Amenity Schedule

Stage 2 & 3 - MP 09_0216		Stage 2		Stage 3		Total	
Total Apartments		232	%	221	%	453	%
Daylight Access		94	40.52%	107	48.42%	201	44.37%
Natural Ventilation		181	78.02%	177	80.09%	358	79.03%
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Cond 21 - SEPP65 Enhanced Amenity* + Natural Ventilation		69	29.74%	48	21.72%	117	25.83%
Cond 21 - SEPP65 Enhanced Amenity* + Natural Ventilation + Daylight Access		163	70.26%	155	70.14%	318	70.20%

*SEPP65 Enhanced Amenity Conditions
 -Extensive Glazing (minimum 70% of the external façade) to living rooms.
 -20% Increase to floor to ceiling height.
 -20% Increase to floor to apartment areas.

DA Submission

DEVELOPMENT APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 2 & 3

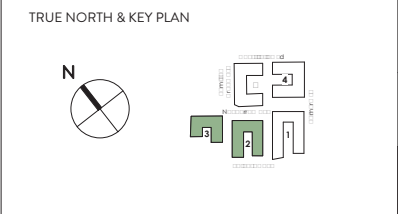
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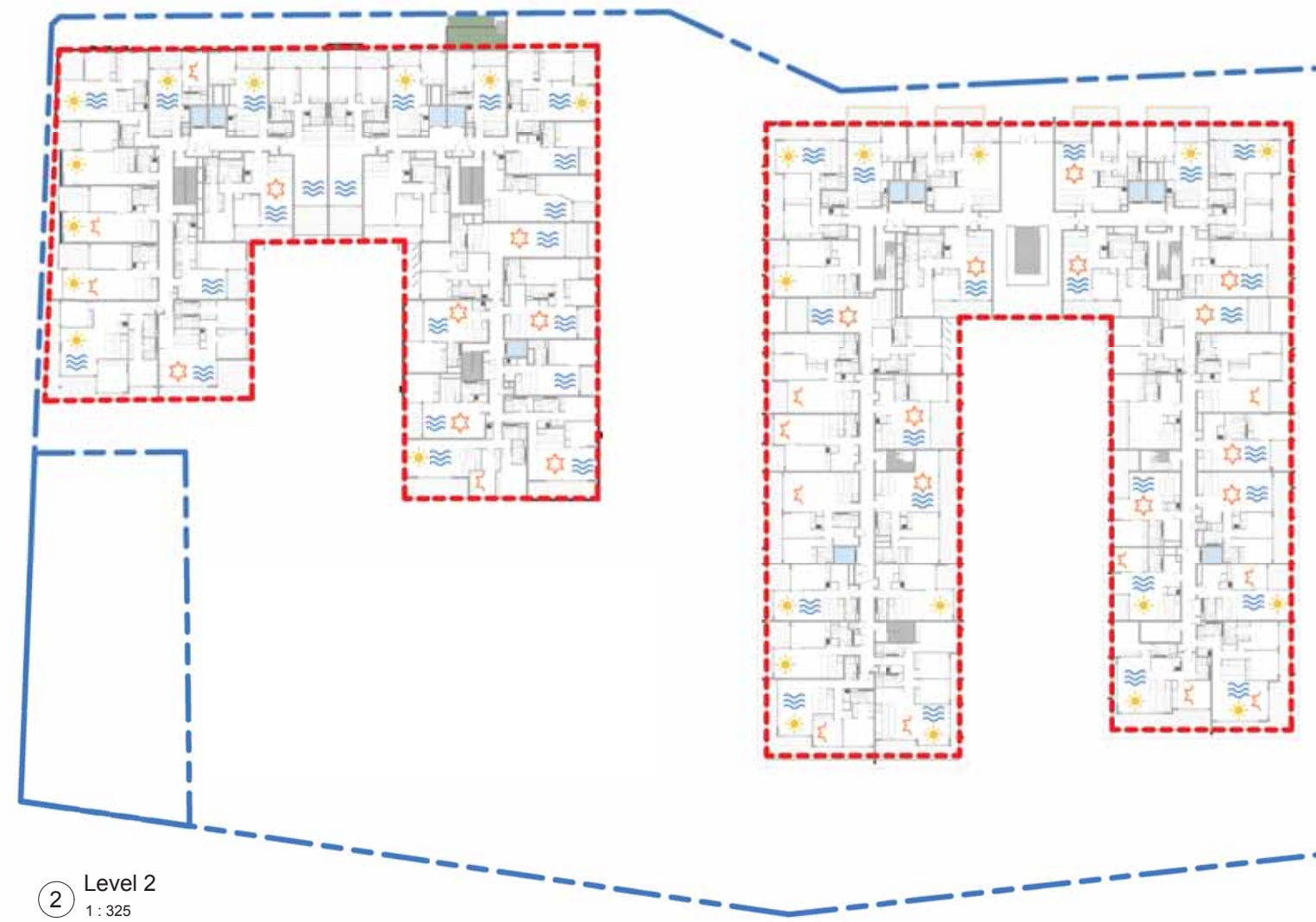
Issue	Date	Description	By
1	19/12/2014	D: 11.20.2014	LO



DRAWING TITLE
STAGE 2&3 - Amenities Sheet 2
 SCALE : As indicated @B1 Drawing Number
 DATE : 19th December 2014 DA-23-802/A
 PROJECT # 10068-3
ROBERTSON + MARKS







① Level 1
1: 325



② Level 2
1: 325

Legend

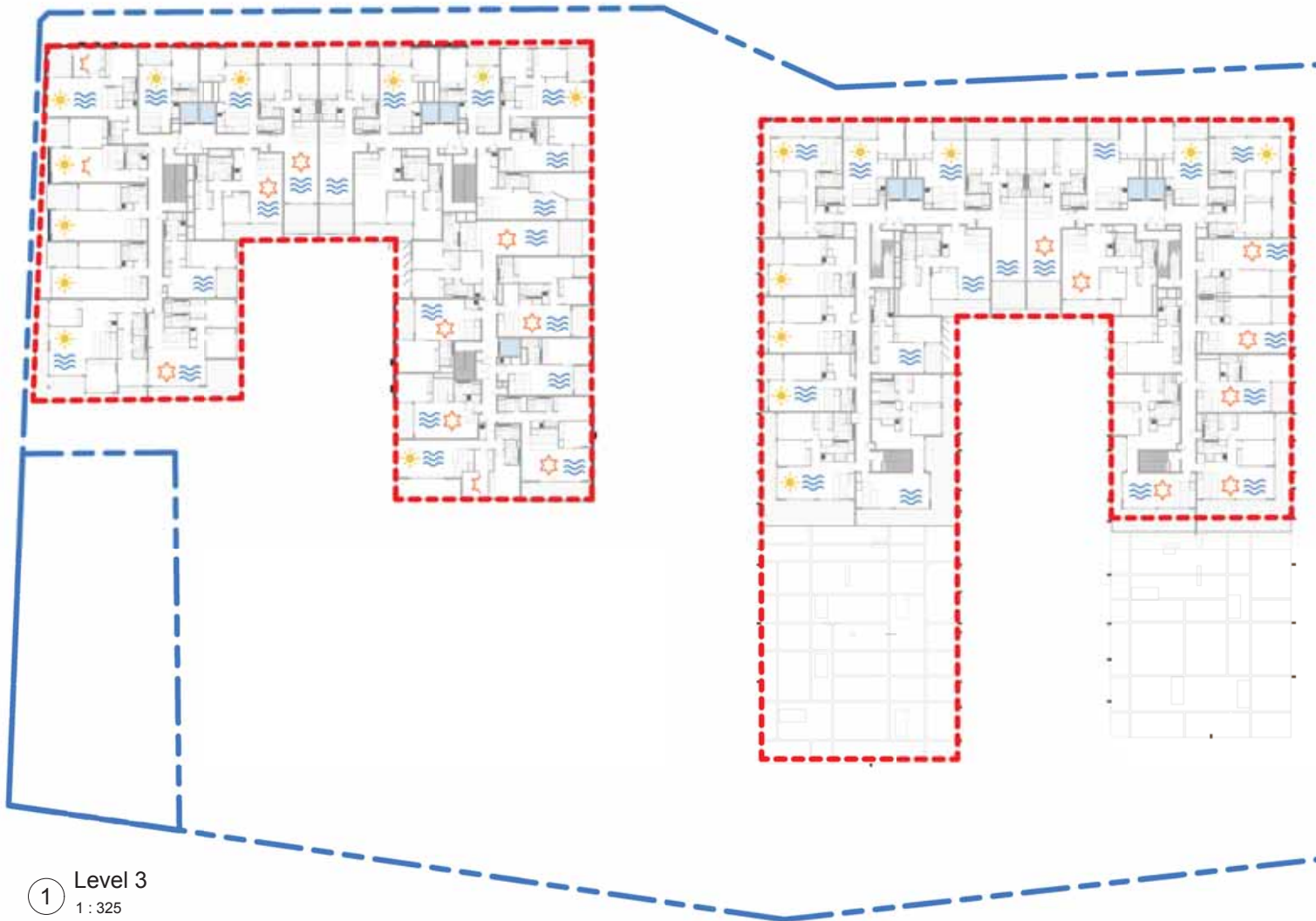
-  Daylight Access
-  Natural Ventilation
-  SEPP65 Enhanced Amenity*
-  Cond 21 - SEPP65 Enhanced Amenity* + Natural Ventilation

Stage 2 & 3 - SEPP65 Enhanced Amenity Schedule

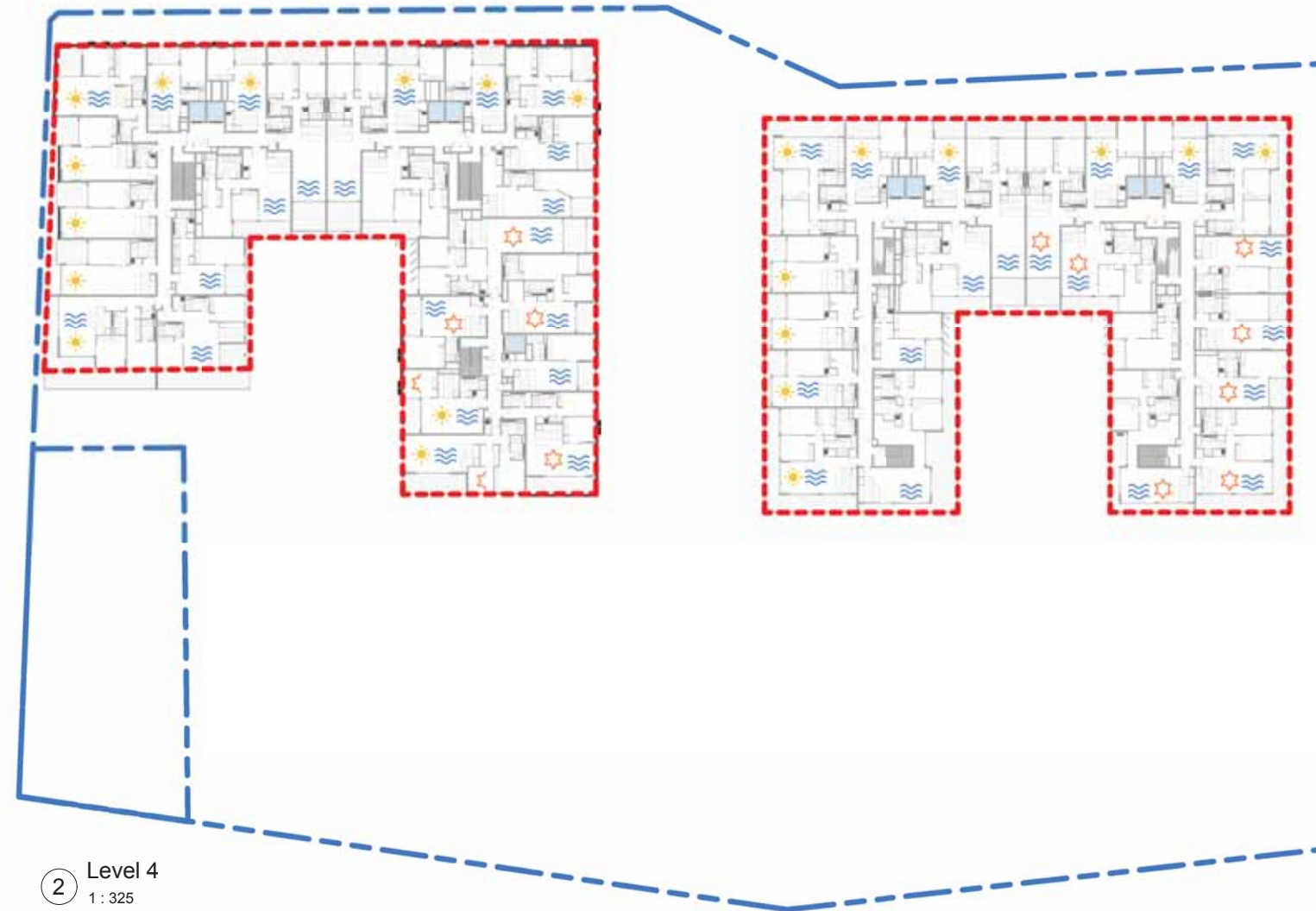
Stage 2 & 3 - MP 09_0216		Stage 2		Stage 3		Total	
Total Apartments		232	%	221	%	453	%
Daylight Access		94	40.52%	107	48.42%	201	44.37%
Natural Ventilation		181	78.02%	177	80.09%	358	79.03%
SEPP65 Enhanced Amenity*		95	40.95%	73	33.03%	168	37.09%
Cond 21 - SEPP65 Enhanced Amenity* + Natural Ventilation		69	29.74%	48	21.72%	117	25.83%
Cond 21 - SEPP65 Enhanced Amenity* + Natural Ventilation + Daylight Access		163	70.26%	155	70.14%	318	70.20%

*SEPP65 Enhanced Amenity Conditions
 -Extensive Glazing (minimum 70% of the external façade) to living rooms.
 -20% Increase to floor to ceiling height.
 -20% Increase to floor to apartment areas.

DA Submission



1 Level 3
1 : 325



2 Level 4
1 : 325

Legend

- Daylight Access
- Natural Ventilation
- SEPP65 Enhanced Amenity*
- Cond 21 - SEPP65 Enhanced Amenity* + Natural Ventilation

Stage 2 & 3 - SEPP65 Enhanced Amenity Schedule

Stage 2 & 3 - MP 09_0216		Stage 2		Stage 3		Total	
Total Apartments		232	%	221	%	453	%
Daylight Access		94	40.52%	107	48.42%	201	44.37%
Natural Ventilation		181	78.02%	177	80.09%	358	79.03%
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 -20% Increase to floor to apartment areas.

DA Submission

DEVELOPMENT APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 2 & 3

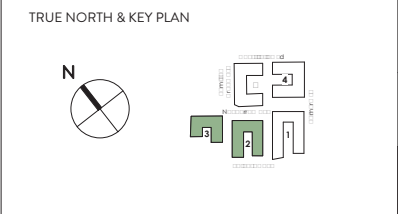
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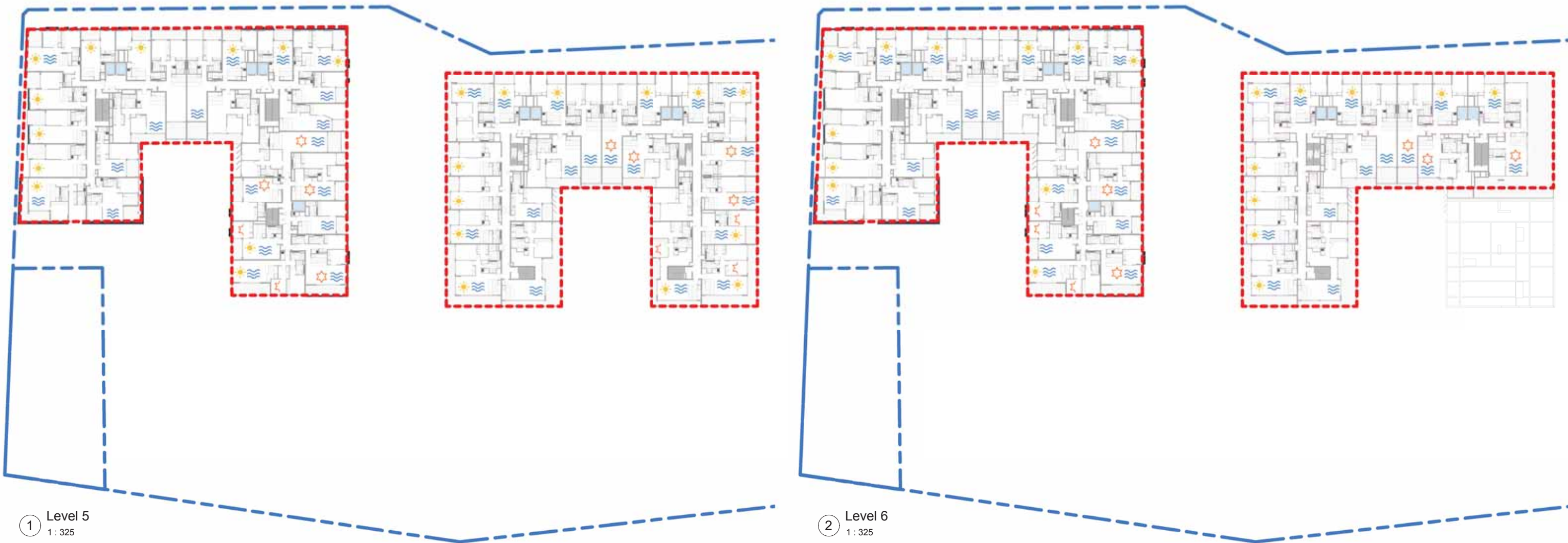
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Issue	Date	Description	By
1	19/12/2014	D: 11/20/2014	LO







DRAWING TITLE
STAGE 2&3 - Amenities Sheet 4
 SCALE : As indicated @B1
 DATE : 19th December 2014
 PROJECT # 10068-3
 Drawing Number
DA-23-804/A
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① Level 5
1 : 325

② Level 6
1 : 325

Legend

-  Daylight Access
-  Natural Ventilation
-  SEPP65 Enhanced Amenity*
-  Cond 21 - SEPP65 Enhanced Amenity* + Natural Ventilation

Stage 2 & 3 - SEPP65 Enhanced Amenity Schedule

Stage 2 & 3 - MP 09_0216		Stage 2	Stage 3	Total	
Total Apartments		232	221	453	
Daylight Access	%	94	107	201	44.37%
Natural Ventilation	%	181	177	358	79.03%
SEPP65 Enhanced Amenity*	%	95	73	168	37.09%
Cond 21 - SEPP65 Enhanced Amenity* + Natural Ventilation	%	69	48	117	25.83%
Cond 21 - SEPP65 Enhanced Amenity* + Natural Ventilation + Daylight Access	%	163	155	318	70.20%

*SEPP65 Enhanced Amenity Conditions
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DEVELOPMENT APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 2 & 3

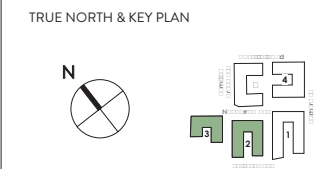
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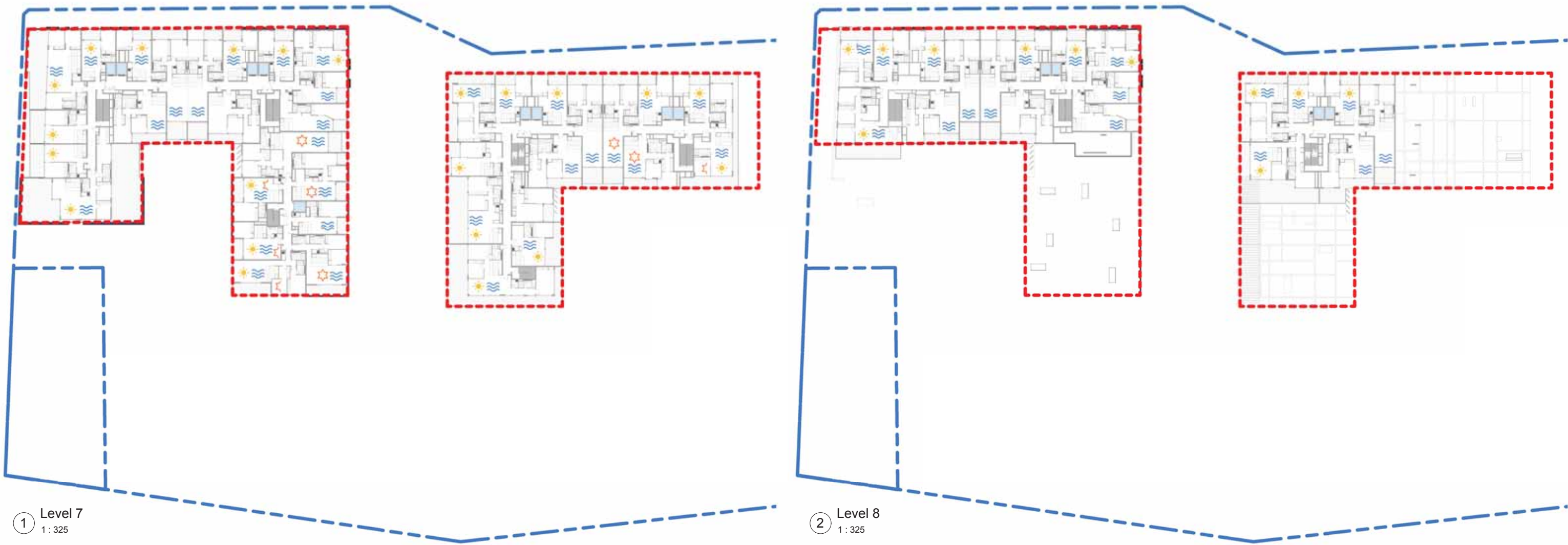
REVISIONS

Issue	Date	Description	By



DRAWING TITLE
STAGE 2&3 - Amenities Sheet 5
 SCALE : As indicated @B1
 DATE : 19th December 2014
 PROJECT # 10068-3
 Drawing Number
DA-23-805/A





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1 Level 7
1 : 325

2 Level 8
1 : 325

Legend

-  Daylight Access
-  Natural Ventilation
-  SEPP65 Enhanced Amenity*
-  Cond 21 - SEPP65 Enhanced Amenity* + Natural Ventilation

Stage 2 & 3 - SEPP65 Enhanced Amenity Schedule

Stage 2 & 3 - MP 09_0216		Stage 2		Stage 3		Total	
	Total Apartments	232	%	221	%	453	%
Daylight Access	94	40.52%	107	48.42%	201	44.37%	
Natural Ventilation	181	78.02%	177	80.09%	358	79.03%	
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*SEPP65 Enhanced Amenity Conditions
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 -20% Increase to floor to apartment areas.

DA Submission

DEVELOPMENT APPLICATION
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 (MP 09_0216)
 STAGE 2 & 3

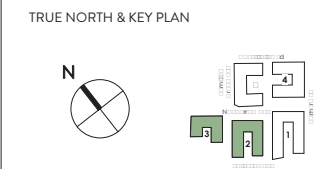
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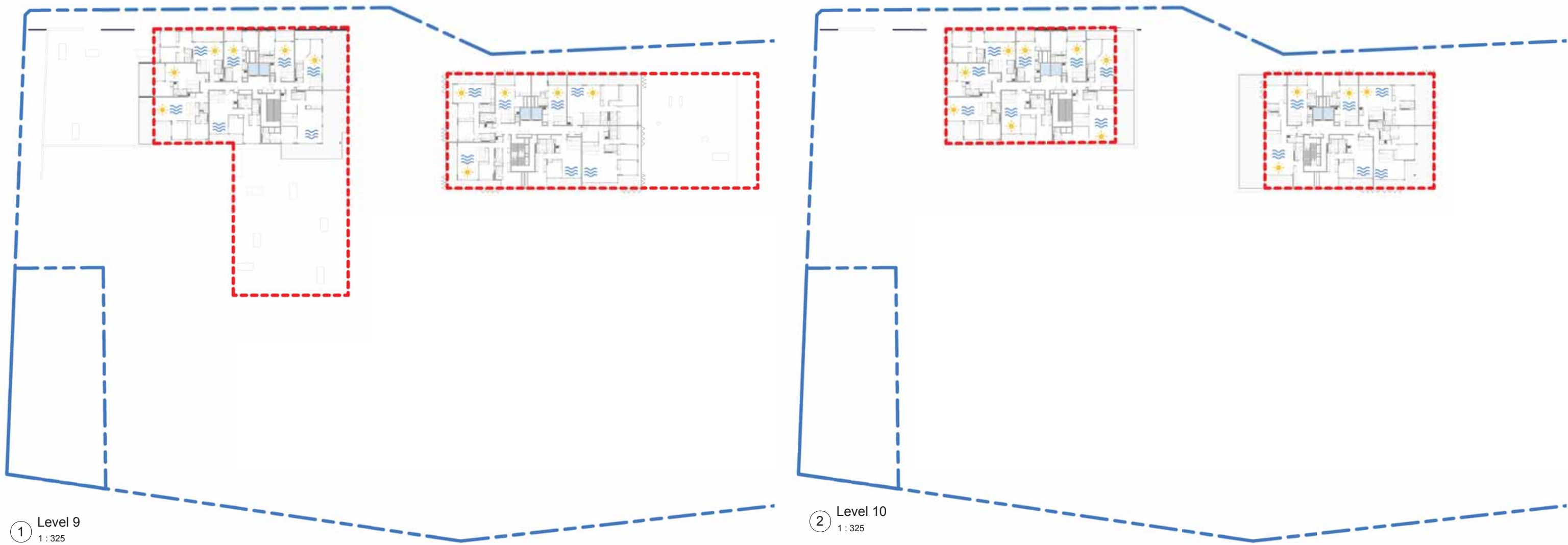
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Issue	Date	Description	By







DRAWING TITLE
STAGE 2&3 - Amenities Sheet 6
 SCALE : As indicated @B1 Drawing Number
 DATE : 19th December 2014 DA-23-806/A
 PROJECT # 10068-3



① Level 9
1 : 325

② Level 10
1 : 325

Legend

-  Daylight Access
-  Natural Ventilation
-  SEPP65 Enhanced Amenity*
-  Cond 21 - SEPP65 Enhanced Amenity* + Natural Ventilation

Stage 2 & 3 - SEPP65 Enhanced Amenity Schedule

Stage 2 & 3 - MP 09_0216		Stage 2		Stage 3		Total	
	Total Apartments	232	%	221	%	453	%
Daylight Access		94	40.52%	107	48.42%	201	44.37%
Natural Ventilation		181	78.02%	177	80.09%	358	79.03%
SEPP65 Enhanced Amenity*		95	40.95%	73	33.03%	168	37.09%
Cond 21 - SEPP65 Enhanced Amenity* + Natural Ventilation		69	29.74%	48	21.72%	117	25.83%
Cond 21 - SEPP65 Enhanced Amenity* + Natural Ventilation + Daylight Access		163	70.26%	155	70.14%	318	70.20%

*SEPP65 Enhanced Amenity Conditions
 -Extensive Glazing (minimum 70% of the external façade) to living rooms.
 -20% Increase to floor to ceiling height.
 -20% Increase to floor to apartment areas.

DA Submission

DEVELOPMENT APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 2 & 3

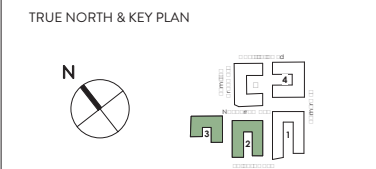
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 t: (+61) 2 9319 4388 e: mail@marks.net.au www.marks.net.au
 BRIAN MANN 5975 • ANDREW SCARVELIS • MARCO O. ABBONDANZA

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NOTES
 Dimensions - Contractors to check all dimensions on site prior to commencing construction.
 Do not scale from this drawing. Use given dimensions. Copyright. This document is copyright. All rights reserved.
 Internal layouts shown are indicative only for information purposes and are subject to further design development and change
 Window mullions, if shown, are indicative only
 Louvre panels, if shown, are indicative only
 All dimensions and levels shown are approximate
 Any finishes nominated are indicative only and subject to change
 Articulations shown on the façade are indicative only and are subject to further design development and change
 Storage allocations and areas are not necessarily shown on the drawings and are subject to change

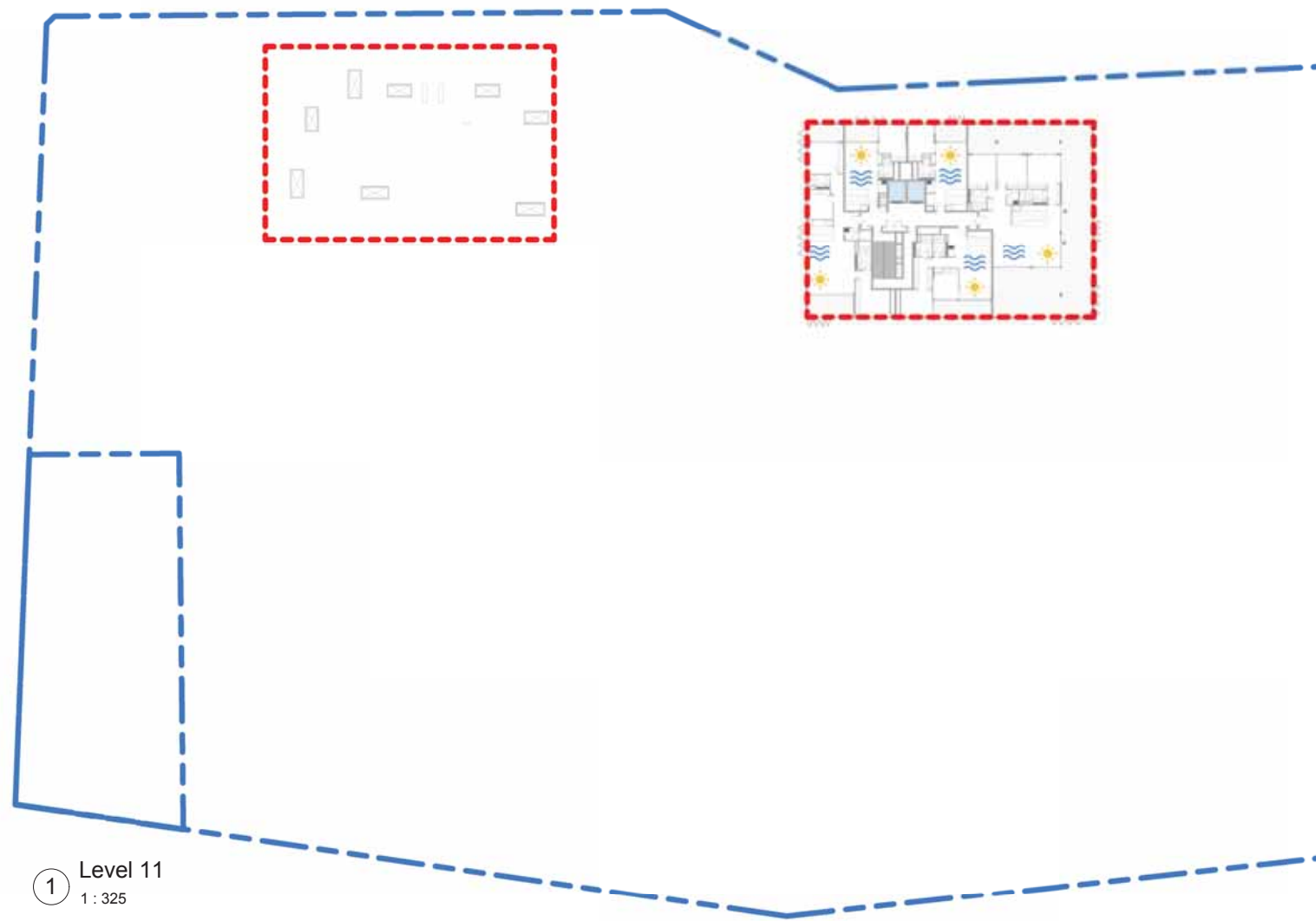
REVISIONS

Issue	Date	Description	By







DRAWING TITLE
STAGE 2&3 - Amenities Sheet 7
 SCALE : As indicated @B1 Drawing Number
 DATE : 19th December 2014 DA-23-807/A
 PROJECT # 10068-3

ROBERTSON + MARKS



① Level 11
1 : 325

Legend

-  Daylight Access
-  Natural Ventilation
-  SEPP65 Enhanced Amenity*
-  Cond 21 - SEPP65 Enhanced Amenity* + Natural Ventilation

Stage 2 & 3 - SEPP65 Enhanced Amenity Schedule

Stage 2 & 3 - MP 09_0216		Stage 2		Stage 3		Total	
Total Apartments		232	%	221	%	453	%
Daylight Access		94	40.52%	107	48.42%	201	44.37%
Natural Ventilation		181	78.02%	177	80.09%	358	79.03%
SEPP65 Enhanced Amenity*		95	40.95%	73	33.03%	168	37.09%
Cond 21 - SEPP65 Enhanced Amenity* + Natural Ventilation		69	29.74%	48	21.72%	117	25.83%
Cond 21 - SEPP65 Enhanced Amenity* + Natural Ventilation + Daylight Access		163	70.26%	155	70.14%	318	70.20%

*SEPP65 Enhanced Amenity Conditions
 -Extensive Glazing (minimum 70% of the external façade) to living rooms.
 -20% Increase to floor to ceiling height.
 -20% Increase to floor to apartment areas.

DA Submission

1. SHEPHERDS BAY URBAN RENEWAL

CONSTRAINTS AND OPPORTUNITIES

LEGEND:

-  Disconnected road links
-  Existing/approved new high density residential development adjacent to site.
-  Noise Pollution
-  Increased vehicular traffic onto site
-  Maintaining views to water from neighbouring residential properties.
-  Existing buildings blocking views.
-  Lowering of Constitution Road to prevent future potential road failure due to stormwater banking to the north (Ann Thorn Park).
-  Site

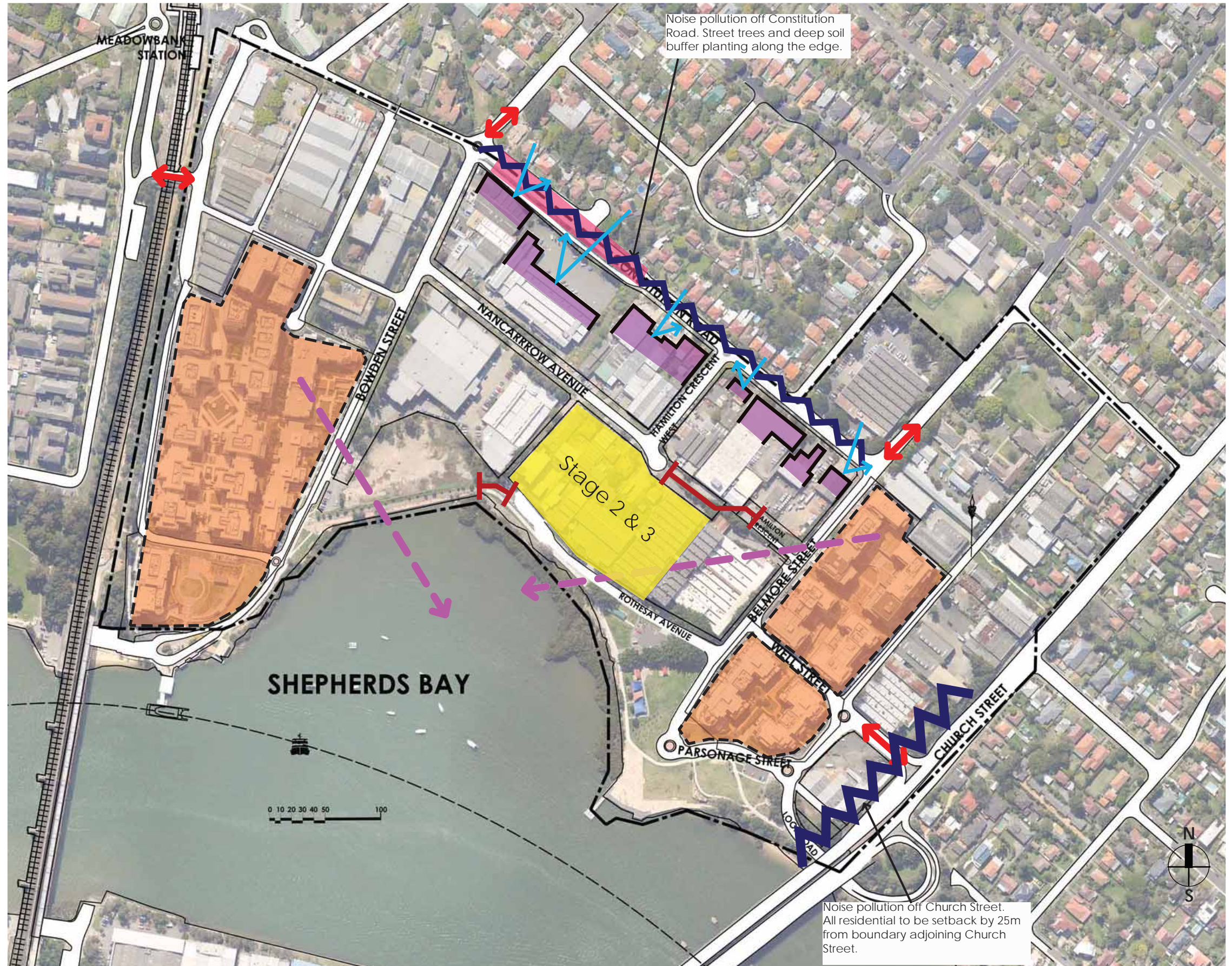


FIGURE 1. CONTRAINTS ANALYSIS

2. SHEPHERDS BAY URBAN RENEWAL

CONSTRAINTS AND OPPORTUNITIES

LEGEND:

-  Main Public Square at topmost ridge on site
-  Extension and completion of Foreshore public park
-  Pedestrian access
-  Foreshore pedestrian access
-  Foreshore bicycle link
-  New Through roads
-  Public Transport: Buses network
-  Bus Stop
-  Public Transport: Train line/Meadowbank Railway Station
-  Public Transport: Ferry line on Parramatta River
-  Prevailing winds from South West - cooler winds
-  Prevailing winds from North West - warmer winds
-  Site

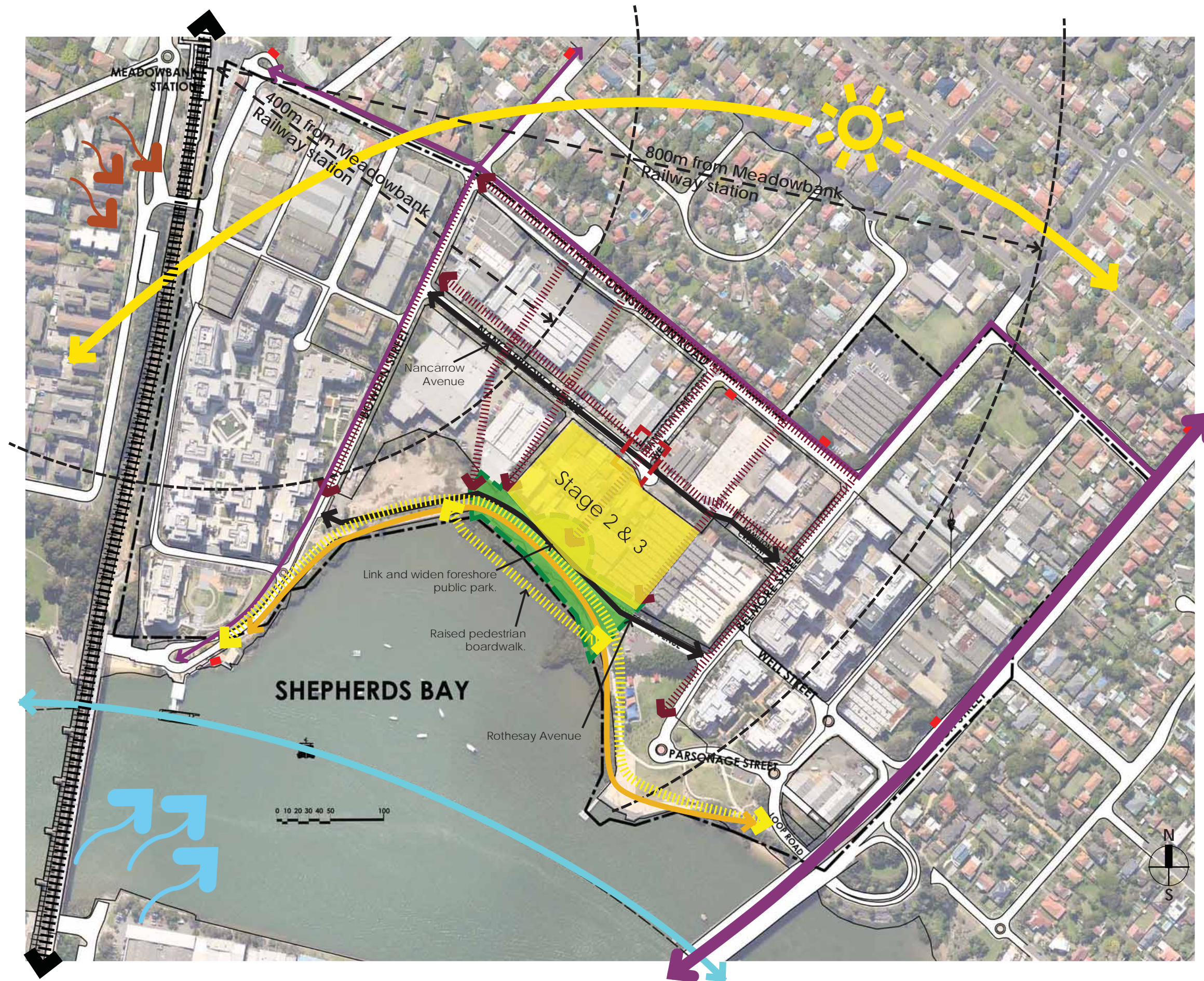





FIGURE 2. OPPORTUNITIES ANALYSIS

| 10 December 2014 | REV A

3. SHEPHERDS BAY URBAN RENEWAL

TOPOGRAPHY

LEGEND:

-  Valley line
-  Ridge line
-  Site

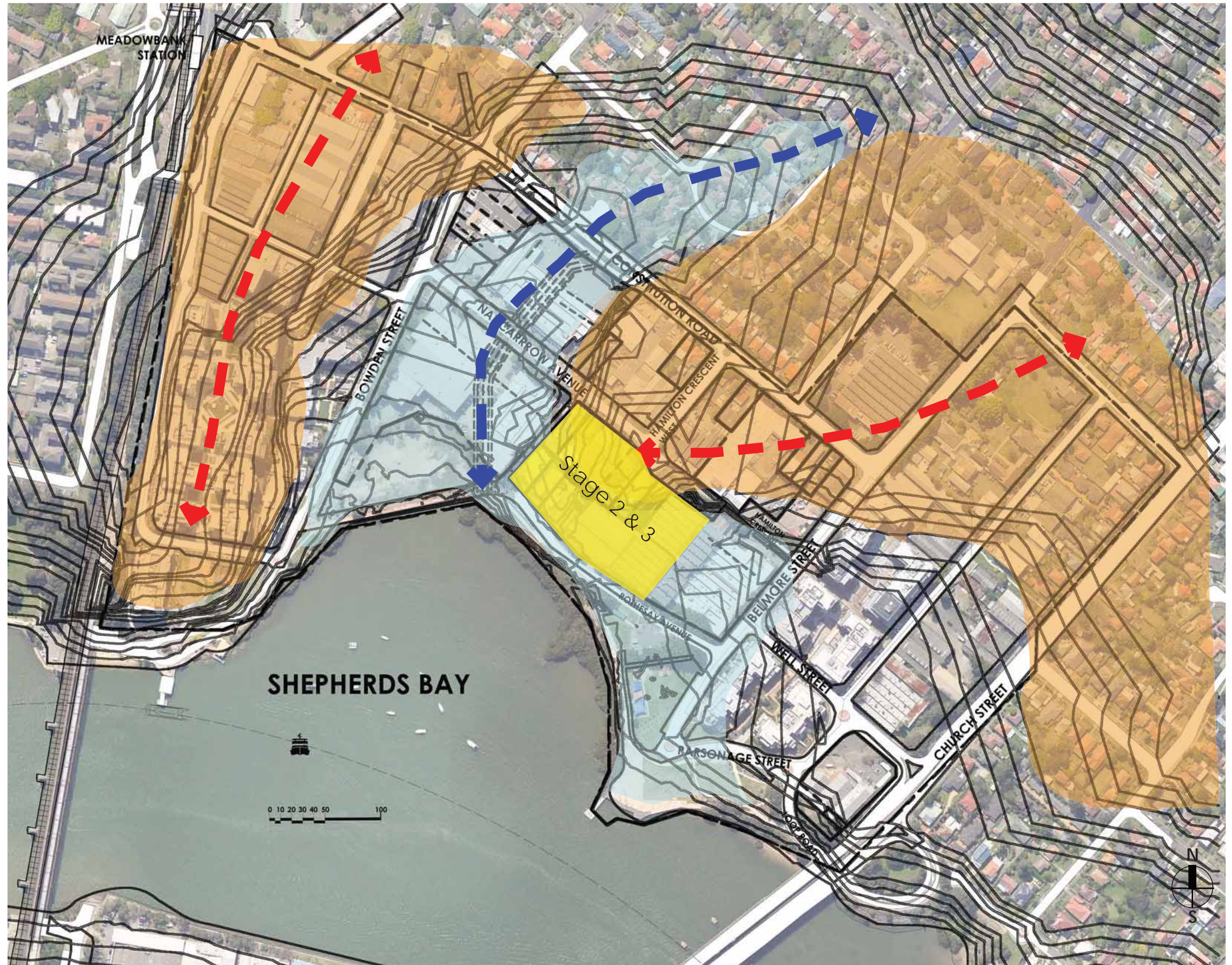


FIGURE 3. EXISTING LANDFORM

4. SHEPHERDS BAY URBAN RENEWAL

SIGNIFICANT VIEWS

LEGEND:









-  Existing View corridors
-  Potential Vista
-  Neighbours Views
-  DCP - Panoramic Views
-  DCP - Vista
-  DCP - Partially obscured vista
-  DCP - Vista to Olympic Park
-  Site






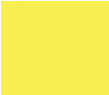


FIGURE 4. SIGNIFICANT VIEWS MAP

5. SHEPHERDS BAY URBAN RENEWAL

ACCESS AND TRANSPORT

LEGEND:

-  East west vehicular access
-  No through road
-  North south vehicular access
-  Bus stops
-  Ferry Terminal
-  Site

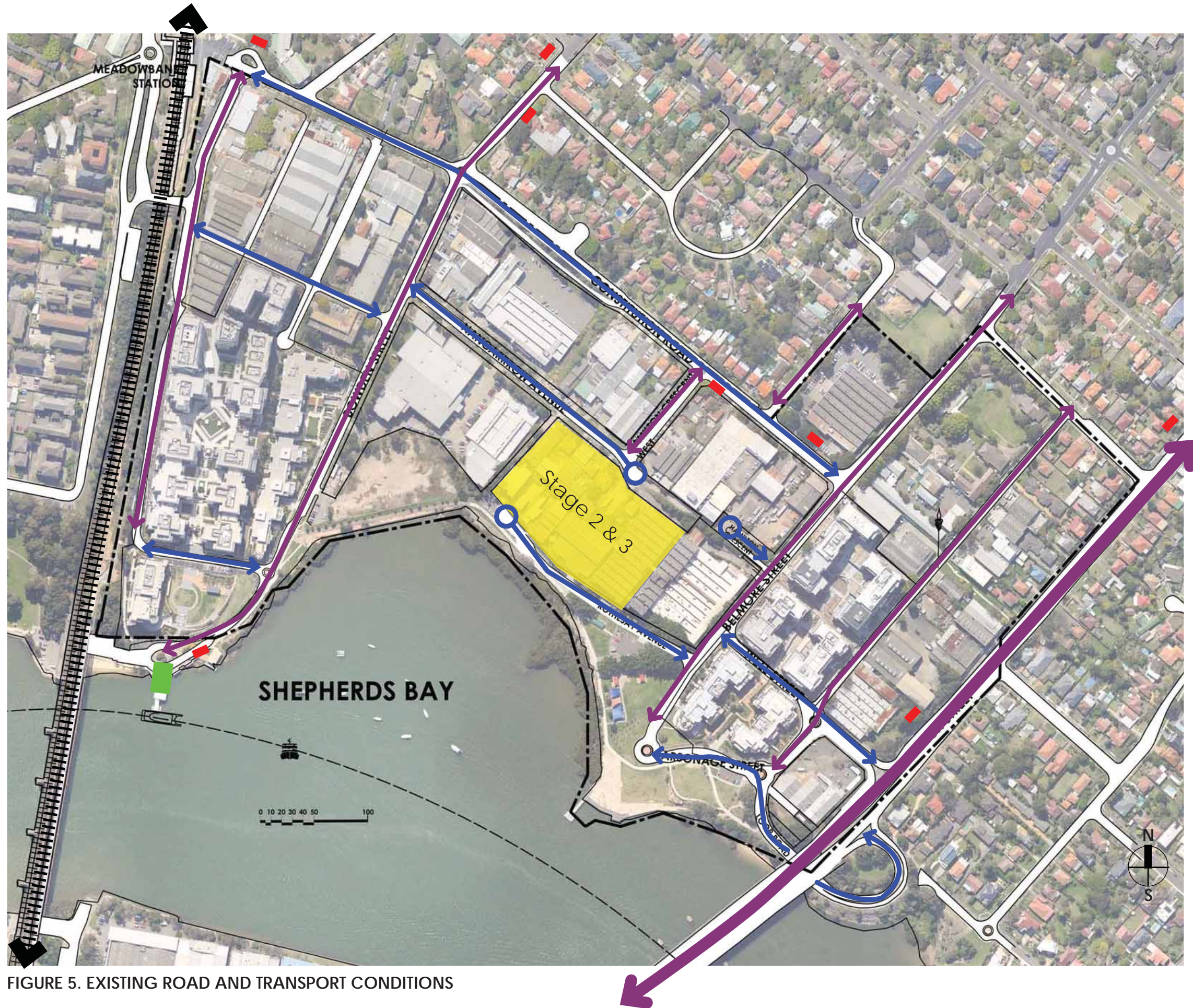


FIGURE 5. EXISTING ROAD AND TRANSPORT CONDITIONS

6. SHEPHERDS BAY URBAN RENEWAL

EXISTING USES AND BUILT FORMS

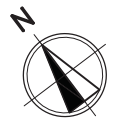
LEGEND:



FIGURE 6. EXISTING HEIGHTS MAP - EQUIVALENT STOREY HEIGHTS

MATCH JOINS

LINE C-0014 MATCH JOINS



LEGEND

	EXISTING ROAD BOUNDARY
	PROPOSED ROAD BOUNDARY
	PROPOSED KERB AND GUTTER
	PROPOSED MOUNTABLE KERB
	PROPOSED KERB ONLY
	PROPOSED DISH DRAIN
	PROPOSED STORMWATER PIT AND LINE
	EXISTING STORMWATER LINE
	EXISTING STORMWATER TO BE REMOVED
	OVERLAND FLOW PATH
	SUBSOIL DRAIN WITH FLUSHING POINT
	NEW ROAD PAVEMENT CONSTRUCTION TO GEOTECH ENGINEERS SPECIFICATION
	CONCRETE ISLAND INFILL
	FOOTPATH TO LANDSCAPE ARCHITECTS SPECIFICATION
	MILL AND RESHEET 30mm AC10
	BIO-RETENTION AREA

NOTE:

- FOR SURFACE LEVELS AND FINISHES REFER TO LANDSCAPE ARCHITECTS PLANS.
- THE ORIGINAL OF THIS DRAWING WAS PRODUCED USING COLOUR SEPARATION FOR GREATER CLARITY. WORKING WITH BLACK AND WHITE COPY MAY CAUSE ERRORS

WARNING
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DIAL 1100 BEFORE YOU DIG

REV	DATE	DESCRIPTION	RVD
G	03.11.14	ISSUED FOR ROAD APPLICATION	CB
F	24.07.14	ISSUED FOR ROAD APPLICATION	TB
E	24.06.14	ISSUED FOR ROAD APPLICATION	CB
D	20.06.14	ISSUED FOR ROAD APPLICATION	CB
C	10.06.14	ISSUED FOR ROAD APPLICATION	TB
B	23.05.14	ISSUED FOR ROAD APPLICATION	CB
A	17.04.14	ISSUED FOR ROAD APPLICATION	TB

REVISIONS

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BG & E

PROJECT

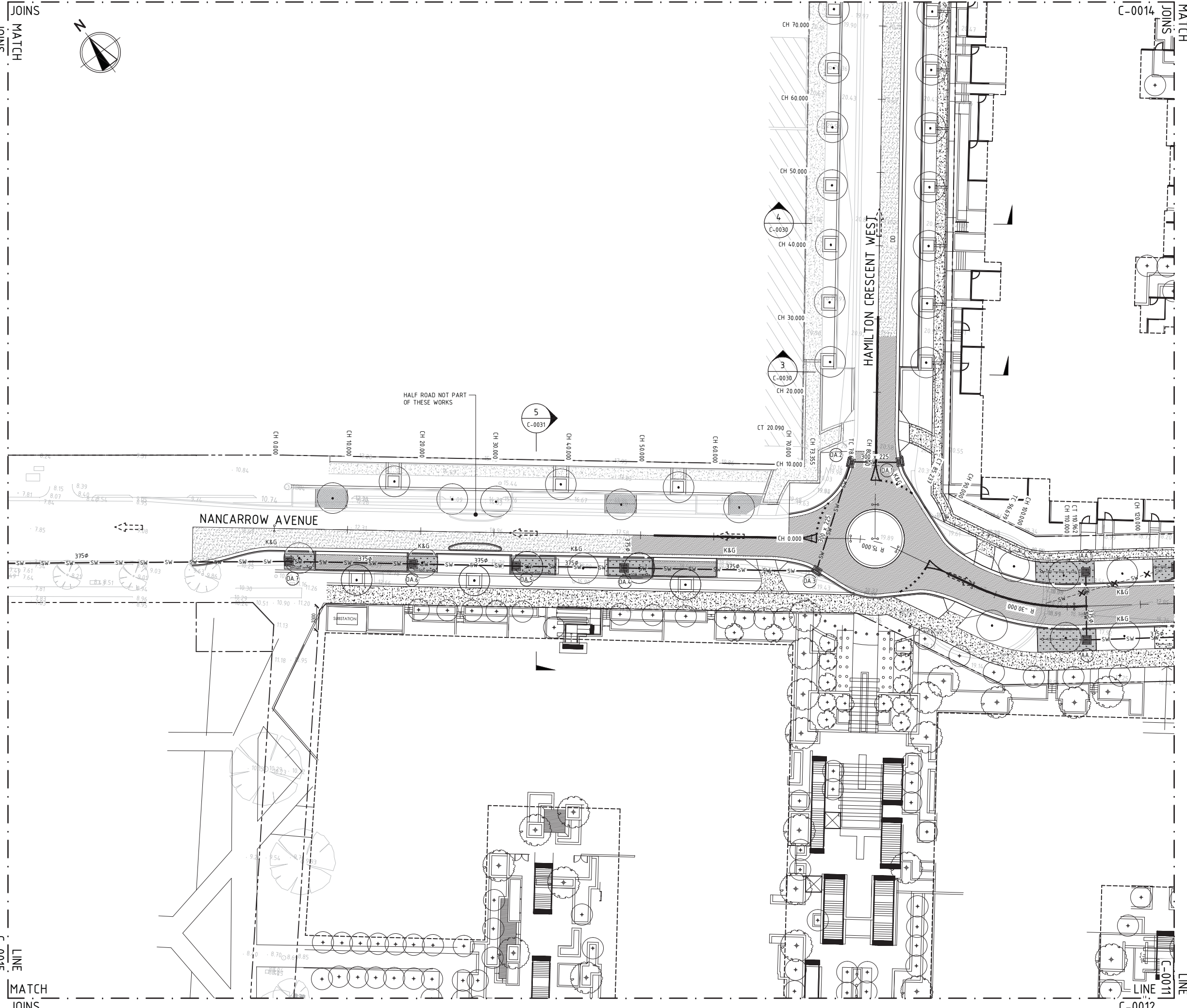
SHEPHERDS BAY MEADOWBANK

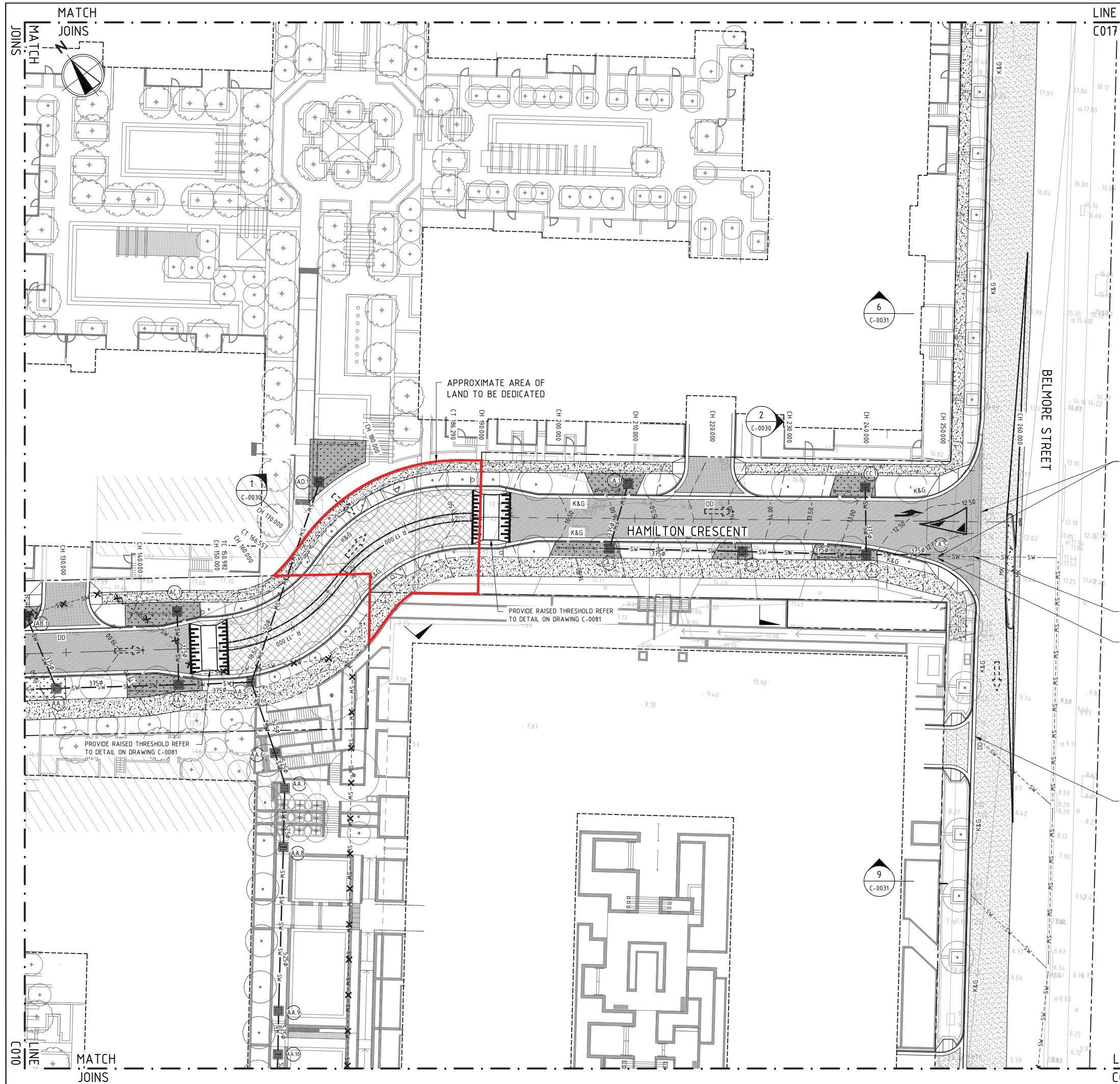
STATUS

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DRAWN	DESIGNED	CHECKED	APPROVED
TB	TB	TH	
DATUM	GRID	SCALE	
AHD	AMG	1:250	AT A1 SIZE

TITLE		
SITWORKS PLAN SHEET 1		
PROJECT No.	DRAWING No.	REV.
S10076	C-0010	G





LEGEND

- EXISTING ROAD BOUNDARY
- PROPOSED ROAD BOUNDARY
- K&G PROPOSED KERB AND GUTTER
- MK PROPOSED MOUNTABLE KERB
- KO PROPOSED KERB ONLY
- DD PROPOSED DISH DRAIN
- SW SW PROPOSED STORMWATER PIT AND LINE
- SW SW EXISTING STORMWATER LINE
- SW X SW EXISTING STORMWATER TO BE REMOVED
- OVERLAND FLOW PATH
- SUBSOIL DRAIN WITH FLUSHING POINT
- [Pattern] NEW ROAD PAVEMENT CONSTRUCTION TO GEOTECH ENGINEERS SPECIFICATION
- [Pattern] CONCRETE ISLAND INFILL
- [Pattern] FOOTPATH TO LANDSCAPE ARCHITECTS SPECIFICATION
- [Pattern] MILL AND RESHET 30mm AC10
- [Pattern] BIO-RETENTION AREA
- [Pattern] NEW ROAD PAVEMENT CONSTRUCTION TO GEOTECH ENGINEERS SPECIFICATION WITH SURFACE FINISH TO LANDSCAPE ARCHITECTS SPECIFICATION

NOTE:

- FOR SURFACE LEVELS AND FINISHES REFER TO LANDSCAPE ARCHITECTS PLANS.
- THE ORIGINAL OF THIS DRAWING WAS PRODUCED USING COLOUR SEPARATION FOR GREATER CLARITY. WORKING WITH BLACK AND WHITE COPY MAY CAUSE ERRORS

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 The location of underground cables are approximate only and their exact position should be checked on site. No guarantee is given that all existing cables and services are shown. Locate all underground cables and services before commencement of work. Refer to Worksafe Regulation 3.21.

DIAL 1100 BEFORE YOU DIG

REV	DATE	DESCRIPTION	RVD
I	07.11.14	ISSUED FOR ROAD APPLICATION	TB
H	06.11.14	ISSUED FOR ROAD APPLICATION	TB
G	03.11.14	ISSUED FOR ROAD APPLICATION	CB
F	25.07.14	ISSUED FOR ROAD APPLICATION	TB
E	24.06.14	ISSUED FOR ROAD APPLICATION	CB
D	20.06.14	ISSUED FOR ROAD APPLICATION	CB
C	10.06.14	ISSUED FOR ROAD APPLICATION	TB

REVISIONS

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BG & C

PROJECT: **SHEPHERDS BAY MEADOWBANK**

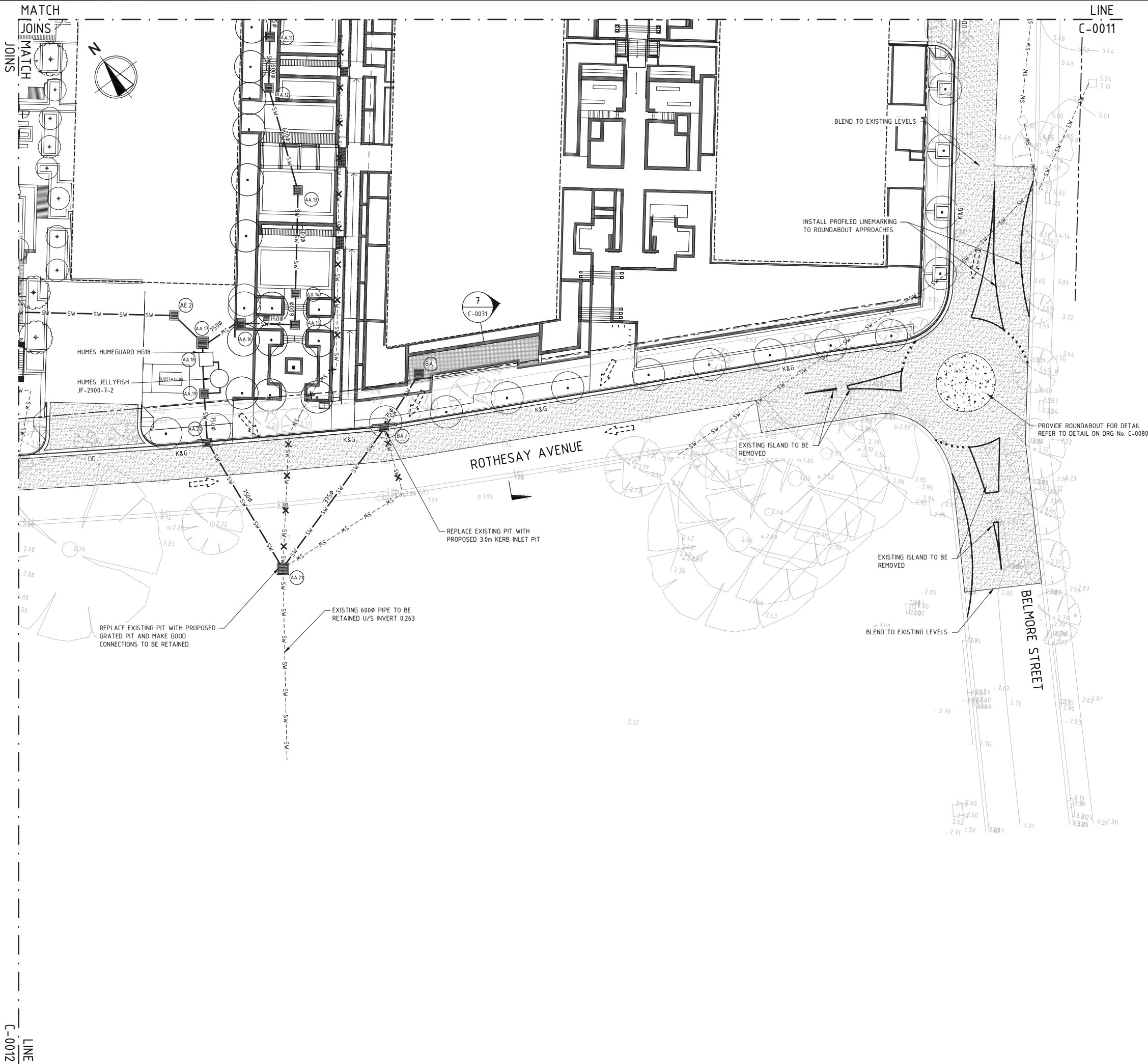
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DRAWN	DESIGNED	CHECKED	APPROVED
TB	TB	TH	

DATUM: AHD GRID: MGA SCALE: 1:250 AT: A1 SIZE

TITLE: **SITWORKS PLAN SHEET 2**

PROJECT No.	DRAWING No.	REV
S10076	C-0011	I



LINE
C-0011

LEGEND

- EXISTING ROAD BOUNDARY
- PROPOSED ROAD BOUNDARY
- K&G PROPOSED KERB AND GUTTER
- MK PROPOSED MOUNTABLE KERB
- KO PROPOSED KERB ONLY
- DD PROPOSED DISH DRAIN
- SW SW PROPOSED STORMWATER PIT AND LINE
- SW SW EXISTING STORMWATER LINE
- SW X SW EXISTING STORMWATER TO BE REMOVED
- OVERLAND FLOW PATH
- SUBSOIL DRAIN WITH FLUSHING POINT
- [Pattern] NEW ROAD PAVEMENT CONSTRUCTION TO GEOTECH ENGINEERS SPECIFICATION
- [Pattern] CONCRETE ISLAND INFILL
- [Pattern] FOOTPATH TO LANDSCAPE ARCHITECTS SPECIFICATION
- [Pattern] MILL AND RESHEET 30mm AC10
- [Pattern] BIO-RETENTION AREA

NOTE:

1. FOR SURFACE LEVELS AND FINISHES REFER TO LANDSCAPE ARCHITECTS PLANS.
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DIAL 1100
BEFORE YOU DIG

REV	DATE	DESCRIPTION	RVD
E	03.11.14	ISSUED FOR ROAD APPLICATION	CB
D	25.07.14	ISSUED FOR ROAD APPLICATION	TB
C	24.06.14	ISSUED FOR ROAD APPLICATION	CB
B	23.05.14	ISSUED FOR ROAD APPLICATION	CB
A	17.04.14	ISSUED FOR ROAD APPLICATION	TB

CLIENT

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PROJECT

SHEPHERDS BAY MEADOWBANK

STATUS

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DRAWN	DESIGNED	CHECKED	APPROVED
TB	TB	TH	

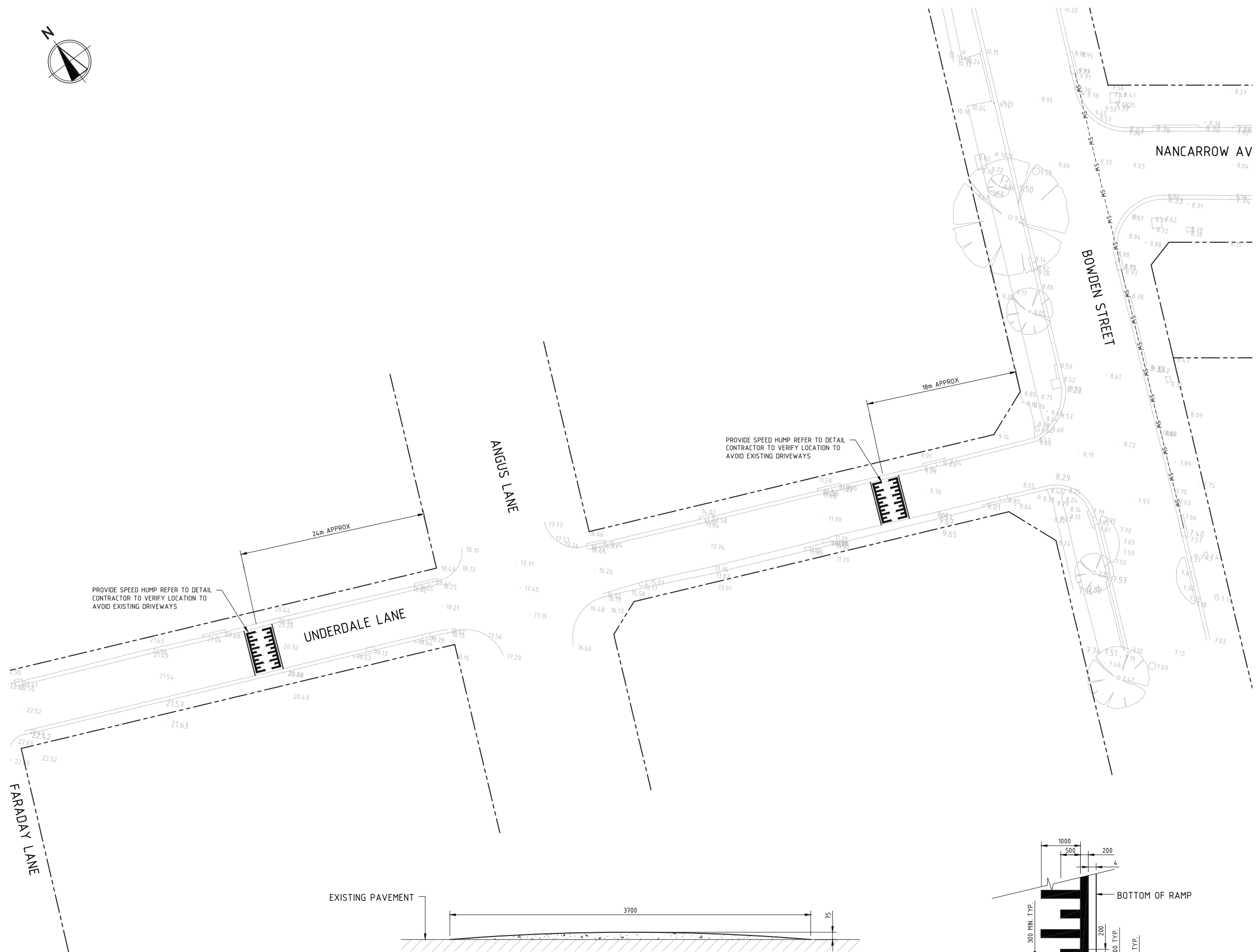
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TITLE

SITWORKS PLAN SHEET 4

PROJECT No.	DRAWING No.	REV.
S10076	C-0013	E

LINE
C-0012



LEGEND

- EXISTING ROAD BOUNDARY
- PROPOSED ROAD BOUNDARY
- ==== K&G PROPOSED KERB AND GUTTER
- ==== MK PROPOSED MOUNTABLE KERB
- ==== KO PROPOSED KERB ONLY
- ==== DD PROPOSED DISH DRAIN
- SW --- SW PROPOSED STORMWATER PIT AND LINE
- SW --- SW EXISTING STORMWATER LINE
- SW --- SW EXISTING STORMWATER TO BE REMOVED
- OVERLAND FLOW PATH
- SUBSOIL DRAIN WITH FLUSHING POINT
- [Pattern] NEW ROAD PAVEMENT CONSTRUCTION TO GEOTECH ENGINEERS SPECIFICATION
- [Pattern] CONCRETE ISLAND INFILL
- [Pattern] FOOTPATH TO LANDSCAPE ARCHITECTS SPECIFICATION
- [Pattern] MILL AND RESHEET 30mm AC10
- [Pattern] BIO-RETENTION AREA

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DIAL 1100
BEFORE YOU DIG

REV	DATE	DESCRIPTION	RVD
D	25.07.14	ISSUED FOR ROAD APPLICATION	CB
C	24.06.14	ISSUED FOR ROAD APPLICATION	CB
B	23.05.14	ISSUED FOR ROAD APPLICATION	CB
A	17.04.14	ISSUED FOR ROAD APPLICATION	TB

REVISIONS

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 E: info@bge.com.au
 www.bge.com.au

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PROJECT

SHEPHERDS BAY MEADOWBANK

STATUS

PRELIMINARY ONLY
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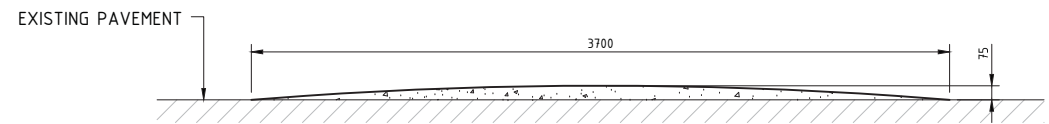
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TB	TB	TH	

DATUM: AHD GRID: MGA SCALE: 1:250 AT: A1 SIZE

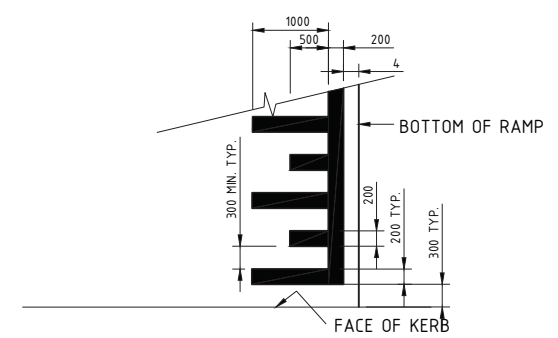
TITLE

SITWORKS PLAN SHEET 7

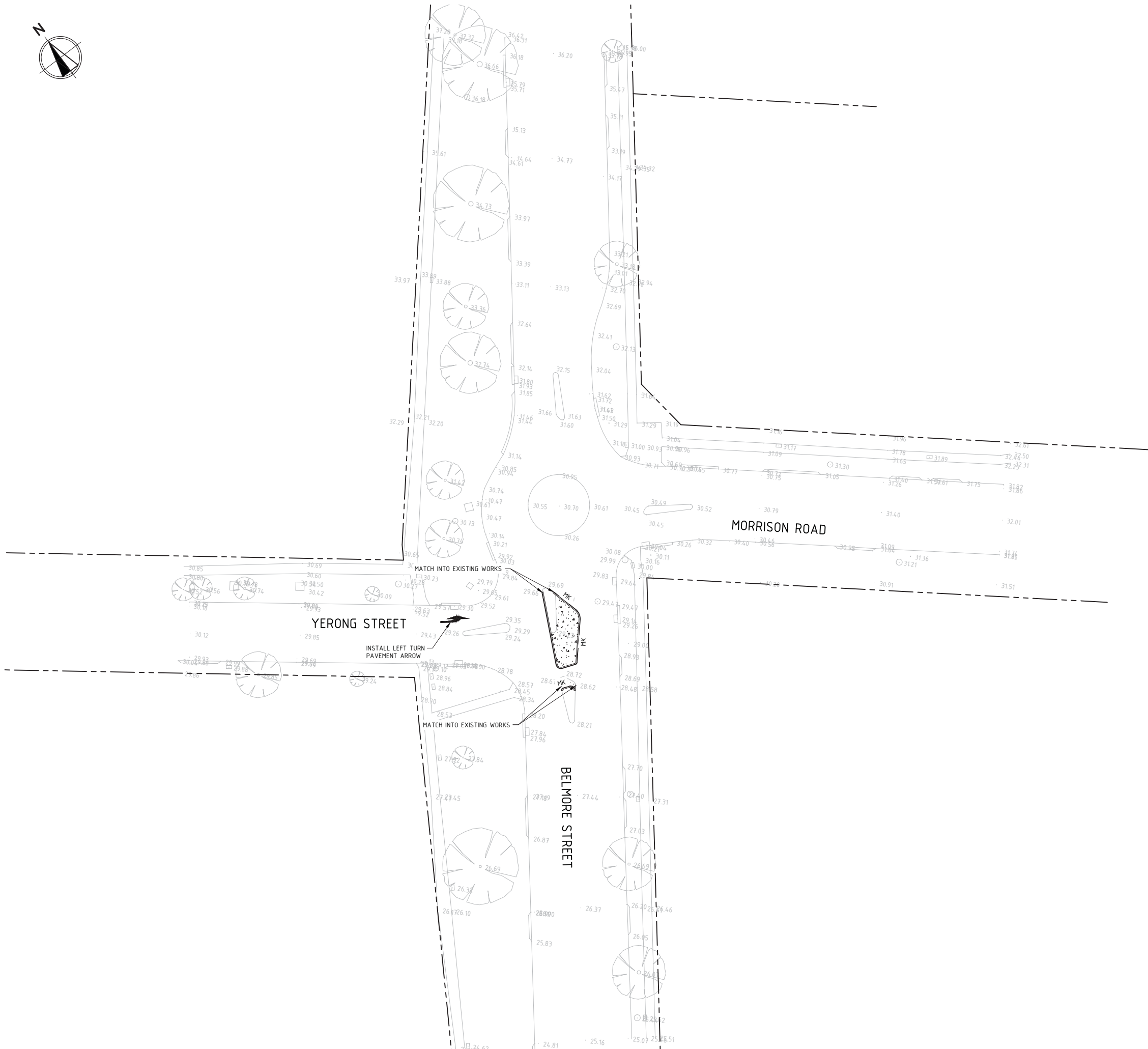
PROJECT No:	DRAWING No:	REV:
S10076	C-0016	D



SPEED HUMP IN FLEXIBLE PAVEMENT
 SCALE 1:20



PAVEMENT MARKING SETOUT
 SCALE NTS



LEGEND

	EXISTING ROAD BOUNDARY
	PROPOSED ROAD BOUNDARY
	PROPOSED KERB AND GUTTER
	PROPOSED MOUNTABLE KERB
	PROPOSED KERB ONLY
	PROPOSED DISH DRAIN
	PROPOSED STORMWATER PIT AND LINE
	EXISTING STORMWATER LINE
	EXISTING STORMWATER TO BE REMOVED
	OVERLAND FLOW PATH
	SUBSOIL DRAIN WITH FLUSHING POINT
	NEW ROAD PAVEMENT CONSTRUCTION TO GEOTECH ENGINEERS SPECIFICATION
	CONCRETE ISLAND INFILL
	FOOTPATH TO LANDSCAPE ARCHITECTS SPECIFICATION
	MILL AND RESHEET 30mm AC10
	BIO-RETENTION AREA

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DIAL 1100
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REV	DATE	DESCRIPTION	RVD
C	24.06.14	ISSUED FOR ROAD APPLICATION	CB
B	23.05.14	ISSUED FOR ROAD APPLICATION	CB
A	17.04.14	ISSUED FOR ROAD APPLICATION	TB

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 www.bg&e.com

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PROJECT

SHEPHERDS BAY MEADOWBANK

STATUS

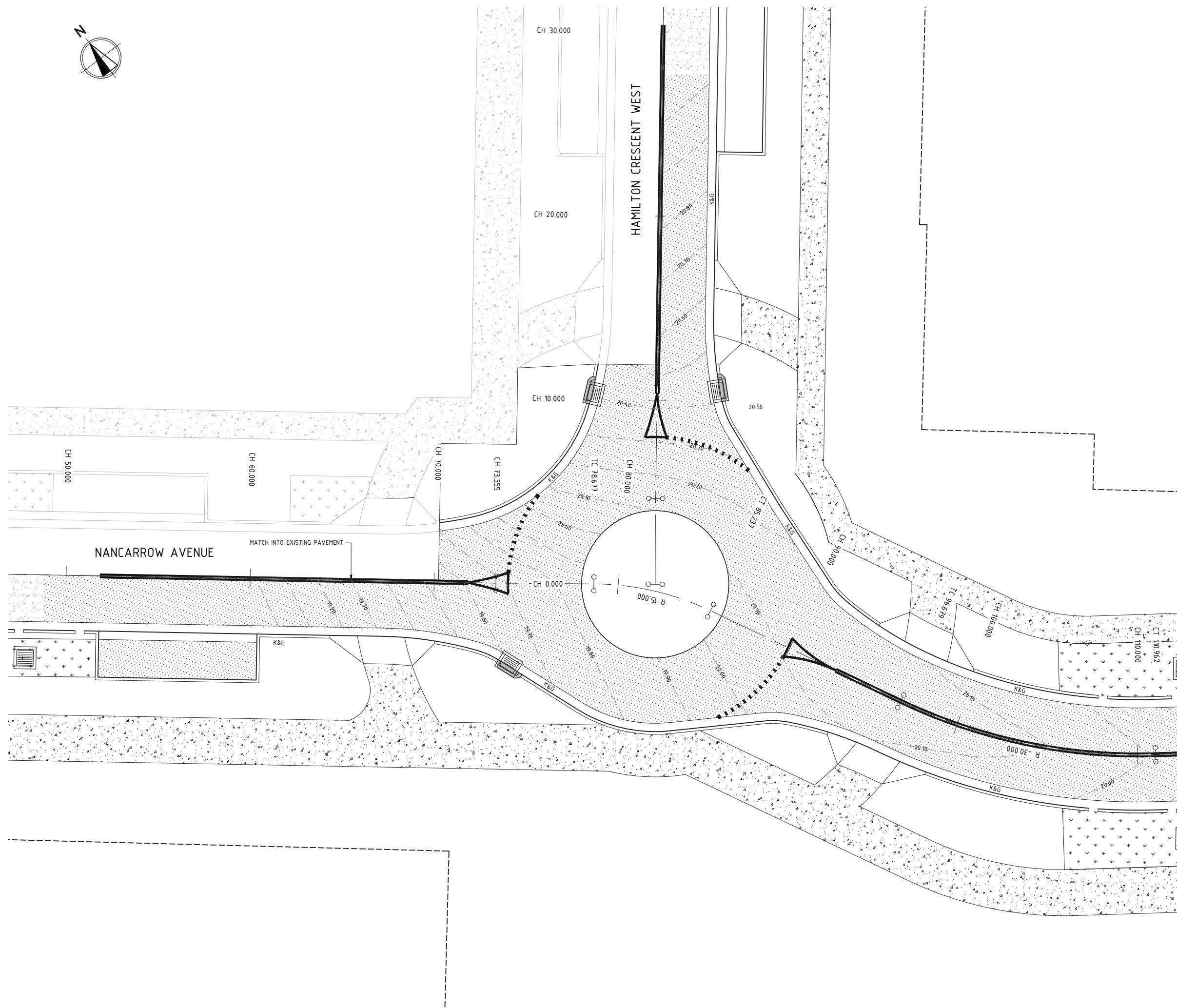
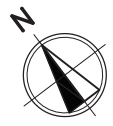
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DRAWN	DESIGNED	CHECKED	APPROVED
TB	TB	TH	
DATUM	GRID	SCALE	AT
AHD	MGA	1:250	A1 SIZE

TITLE

SITWORKS PLAN SHEET 9

PROJECT No	DRAWING No	REV
S10076	C-0018	C



LEGEND

	EXISTING ROAD BOUNDARY
	PROPOSED ROAD BOUNDARY
	PROPOSED KERB AND GUTTER
	PROPOSED MOUNTABLE KERB
	PROPOSED KERB ONLY
	PROPOSED DISH DRAIN
	PROPOSED STORMWATER PIT AND LINE
	EXISTING STORMWATER LINE
	EXISTING STORMWATER TO BE REMOVED
	OVERLAND FLOW PATH
	SUBSOIL DRAIN WITH FLUSHING POINT
	NEW ROAD PAVEMENT CONSTRUCTION TO GEOTECH ENGINEERS SPECIFICATION
	CONCRETE ISLAND INFILL
	FOOTPATH TO LANDSCAPE ARCHITECTS SPECIFICATION
	MILL AND RESHEET 30mm AC10
	BIO-RETENTION AREA

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DIAL 1100
BEFORE YOU DIG

REV	DATE	DESCRIPTION	RVD
B	03.11.14	ISSUED FOR ROAD APPLICATION	CB
A	25.07.14	ISSUED FOR ROAD APPLICATION	TB

REVISIONS

CLIENT

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 www.bg&e.com

PROJECT

SHEPHERDS BAY MEADOWBANK

STATUS

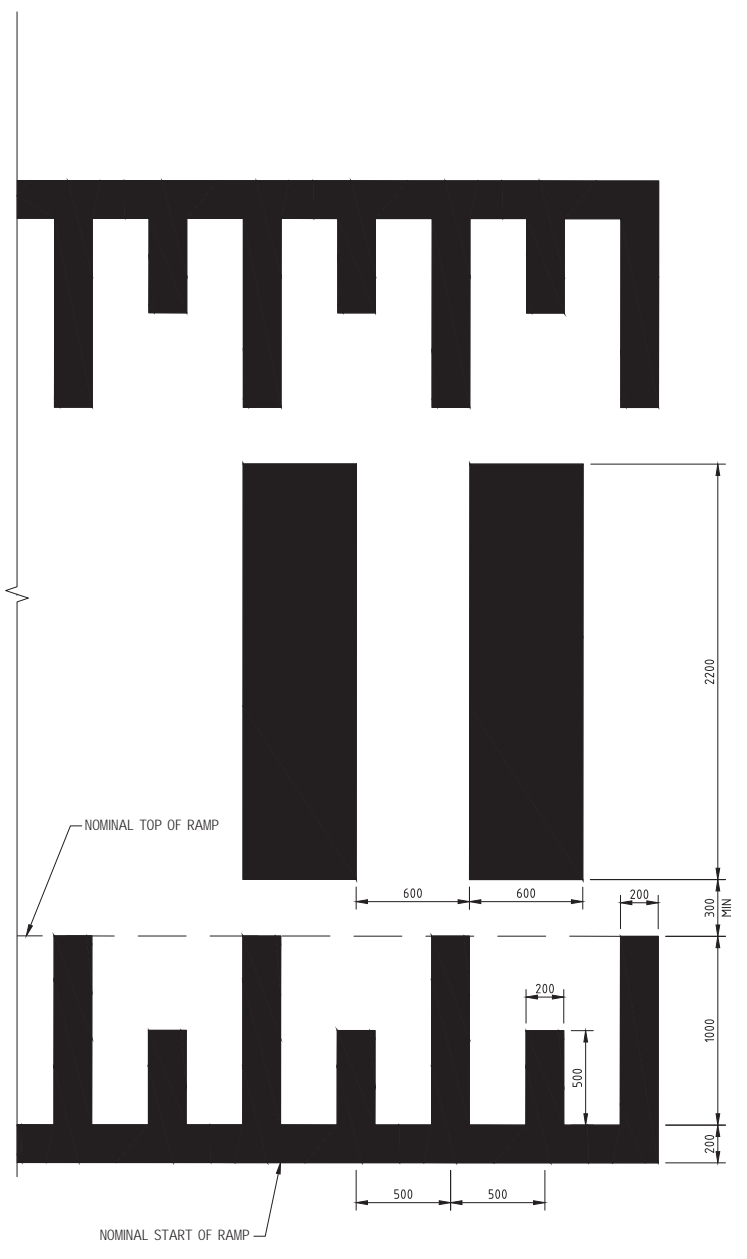
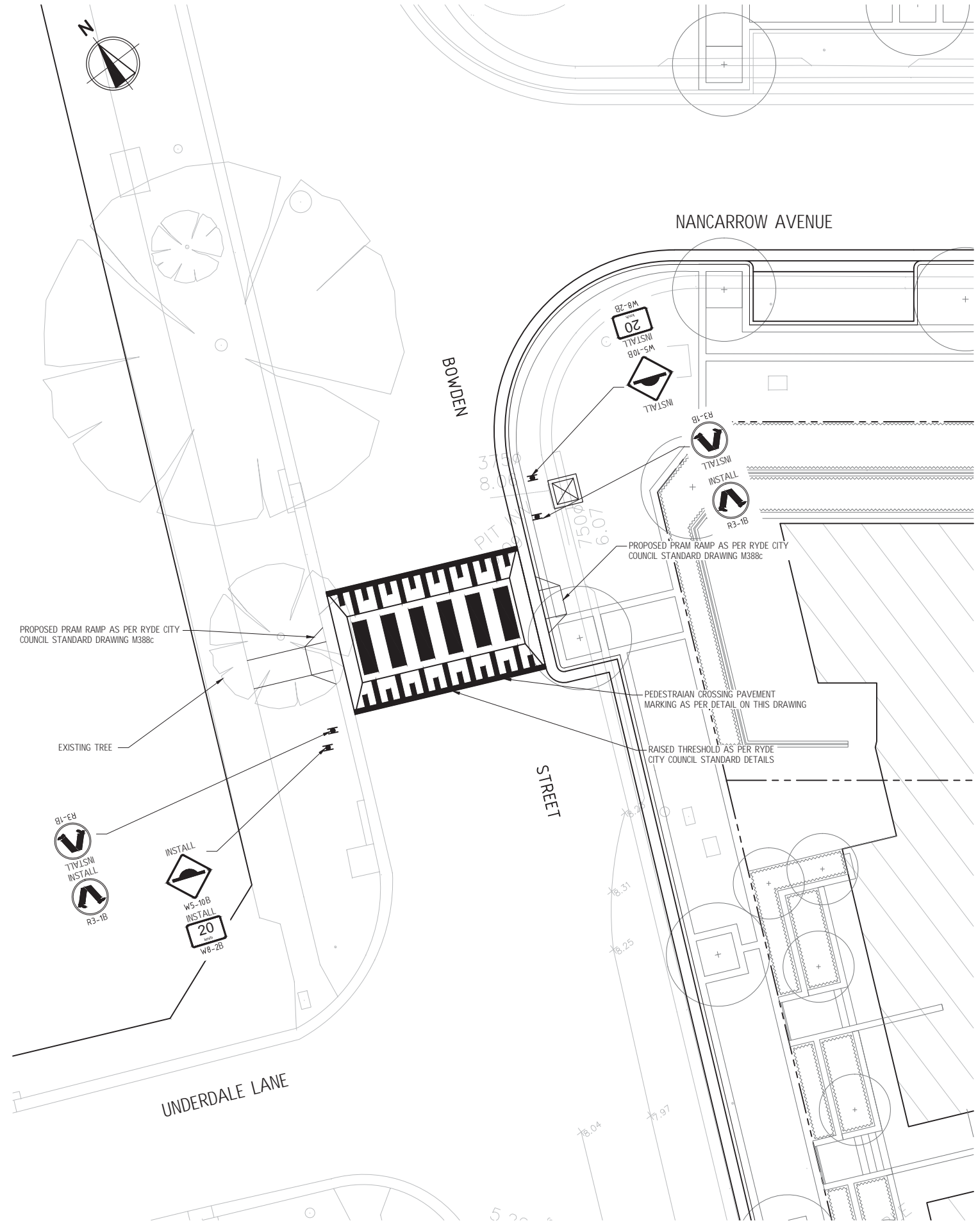
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DRAWN	DESIGNED	CHECKED	APPROVED
TB	TB	TH	
DATUM	GRID	SCALE	AT
AHD	AMG	1:250	A1 SIZE

TITLE

ROUNDBOUT PLAN

PROJECT No.	DRAWING No.	REV.
S10076	C-0019	B



REV	DATE	DESCRIPTION	BY	CHKD
A	16/01/15	ISSUED FOR DA	AB	RVD

REVISIONS			
CLIENT	HOLDMARK		
2/2-4 GIFFNOCK AVENUE, MACQUARIE PARK NSW 2113			
SYDNEY OFFICE	BG & E		
12-8 WINDMILL ST, SYDNEY NSW 2008 P: +61 2 9790 3300 E: info@bgandegroup.com www.bgandegroup.com			
PROJECT	SHEPHERDS BAY MEADOWBANK		
STATUS	PRELIMINARY ONLY NOT TO BE USED FOR CONSTRUCTION		
DRAWN	DESIGNED	CHECKED	APPROVED
TB	TB	AB	
DATUM	CRD	SCALE	AT A1 SIZE
AHD	MGA	AS SHOWN	
TITLE	BOWDEN STREET/NANCARROW AVENUE RAISED THRESHOLD PLAN		
PROJECT NO.	DRAWING NO.	REV	
S10076	SKC050	A	

HARRIS PAGE & ASSOCIATES

SHEPHERDS BAY

STAGES 2 & 3

STORMWATER CONCEPT DESIGN

STORMWATER SERVICES LEGEND

GENERAL NOTES

1. DRAWINGS ARE DIAGRAMMATIC ONLY AND HAVE BEEN PREPARED FOR THE PURPOSE OF INDICATING THE DESIGN INTENT AND SCOPE OF WORKS OF THE HYDRAULIC SERVICES.
2. IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR PLUMBING SUBCONTRACTOR TO INVESTIGATE AND COORDINATE BEFORE AND DURING THE CONSTRUCTION PHASE ALL EXISTING SERVICES WHICH WILL EFFECT THE INSTALLATION OF THESE SERVICES.
3. HYDRAULIC DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE HYDRAULIC SERVICES SPECIFICATION AND WITH RELEVANT ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
4. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE RELEVANT CODES AND AUSTRALIAN STANDARDS.
5. POSITION AND LEVELS OF AUTHORITIES MAINS AND/OR EXISTING SERVICES ARE INDICATIVE ONLY AND ARE TO BE CHECKED PRIOR TO COMMENCING ANY WORK.
6. DO NOT SCALE FROM THIS DRAWING, REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSION SETOUT.

LOCATION PLAN



IMAGE TAKEN FROM GOOGLE MAPS 2014

DRAWING SCHEDULE

DWG No.	Scale	Drawing Title
SW-00	NTS	STORMWATER SERVICES COVER SHEET AND LEGEND
SW-01	1:250	STORMWATER SERVICES SEDIMENT & EROSION CONTROL PLAN
SW-02	1:250	STORMWATER SERVICES LOWER BASEMENT LEVEL
SW-03	1:250	STORMWATER SERVICES BASEMENT LEVEL
SW-04	1:250	STORMWATER SERVICES UPPER BASEMENT LEVEL
SW-05	1:250	STORMWATER SERVICES PODIUM DRAINAGE

ISSUE	AMENDMENT	DATE
P1	ISSUE FOR INFORMATION	30.10.14

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PROJECT

SHEPHERDS BAY
STAGE 2 & 3

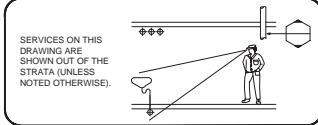
DRAWING TITLE

STORMWATER SERVICES
COVER SHEET, LEGEND
& NOTES

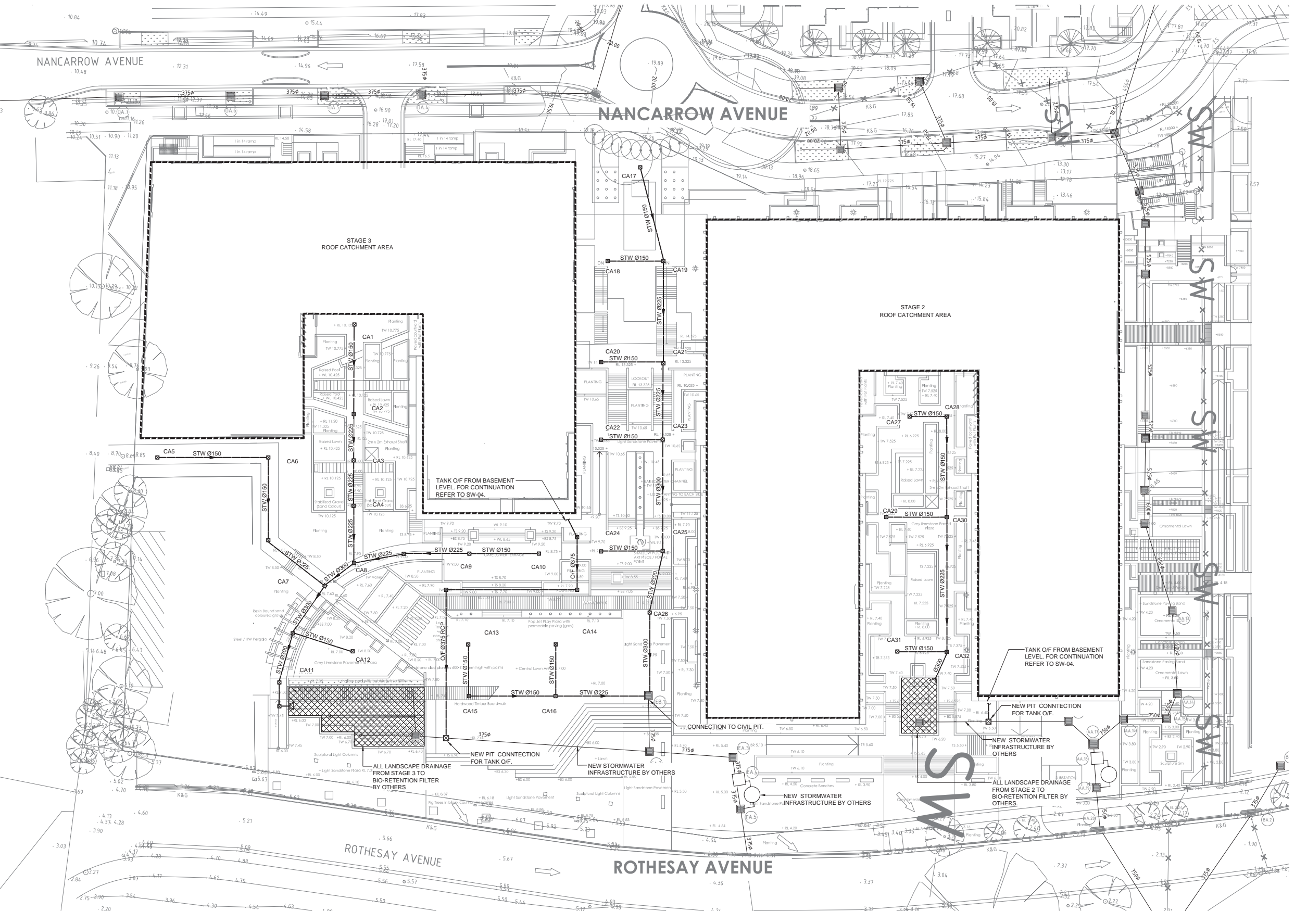
DATE	DRAWN	CHECKED	NO IN SET	SCALE
OCT. 2014	AT	TN		NTS @B1

PROJECT No.	DRAWING No.	REVISION
5730	SW-00	P1

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- LEGEND**
- CATCHMENT ZONE
 - SUBSOIL DRAINAGE LINE
 - STORMWATER DRAINAGE LINE
 - STORMWATER PIT
 - 300mm² GRATED OUTLET
 - STORMWATER HEADWALL
 - DOWNPIPE
 - CLEAR OUT
 - BIO-RETENTION AREA



ISSUE	AMENDMENT	DATE
P1	ISSUE FOR INFORMATION	30/10/14
ISSUE	AMENDMENT	DATE

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PROJECT
SHEPHERDS BAY
STAGE 2 & 3

DRAWING TITLE
STORMWATER DRAINAGE
DA SUBMISSION
GROUND FLOOR LEVEL

DATE	DRAWN	CHECKED	IN SET	SCALE
OCT. 2014	AT	TN		1:250 @B1

PROJECT No.	DRAWING No.	REVISION
5730	SW-05	P1

- GENERAL NOTES**
- THE STORMWATER DRAINAGE IS DESIGNED IN CONJUNCTION WITH CARONO WSUD MASTER PLAN DOCUMENT 680283, WSUD MASTER PLAN REPORT V02 DATED 24/04/2013 & RYDE CITY COUNCILS DEVELOPMENT CONTROL PLAN 2010 SECTION 8.
 - ALL DRAWINGS TO BE READ IN CONJUNCTION WITH BG&E STORMWATER ROAD INFRASTRUCTURE DRAWINGS FOR CONNECTIONS TO BIO-RETENTION AREAS AND INFRASTRUCTURE TRUNK MAIN DESIGN.
 - ALL ARI(AVERAGE RECURRENCE INTERVALS) & RAINFALL INTENSITY DATA ARE BASED FROM INFORMATION COLLECTED FROM THE 'BUREAU OF METEOROLOGY'.

AVERAGE RECURRENCE INTERVALS (MEADOWBANK)
 20YR - 186MMHR
 50YR - 215MMHR
 100YR - 238MMHR

- 100% OF EACH BUILDING ROOF AREA ASSUMED TO BE NON TRAFFICABLE AND DISCHARGE TO ASSOCIATED RAINWATER TANKS.
- ALL LANDSCAPE AREA TO DISCHARGE TO NOTED BIO-RETENTION FILTRATION BASIN. BIO RETENTION FILTRATION BASIN TO BG&E DESIGN DETAILS.
- SEDIMENT AND EROSION CONTROL PLAN CONTAINS THE EXISTING SURVEY PLAN. THE CONCEPT STORMWATER DRAWINGS CONTAINS NEW ROAD SURVEY PLAN TO BETTER INDICATE NEW STORMWATER INFRASTRUCTURE AND EXTENSION TO HAMILTON CRESCENT.
- ALL DOCUMENTATION USED TO DEVELOP DESIGN NOTED IN TABLE BELOW:

Company Name	Document Type	Revision	Date
Cardno	WSUD Masterplan Strategy Report - Document No. 600283	2	24/04/2013
Ryde City Council	Development Control Plan, Section 8	-	2010
BG & E	Shepherds Bay Masterplan Civil Infrastructure Upgrade	C	
	Flood Assessment Report- Document No. S10076-REP-0001	0	16/04/2014
Integraco	BASIX Sustainability Report	Draft	22/10/2014

CATCHMENT CALCULATIONS

Refer to floor plans for zone locations.

Catchment Zone	Area (ha)
CA1	0.159
CA2	0.0163
CA3	0.011
CA4	0.0117
CA5	0.0089
CA6	0.009
CA7	0.0143
CA8	0.0153
CA9	0.0139
CA10	0.0104
CA11	0.0221
CA12	0.0168

Refer to floor plans for zone locations.

Catchment Zone	Area (m2)
CA13	0.0134
CA14	0.0177
CA15	0.0142
CA16	0.0137
CA17	0.0228
CA18	0.0123
CA19	0.0116
CA20	0.0138
CA21	0.013
CA22	0.0124
CA23	0.0112
CA24	0.0138
CA25	0.0113
CA26	0.0303

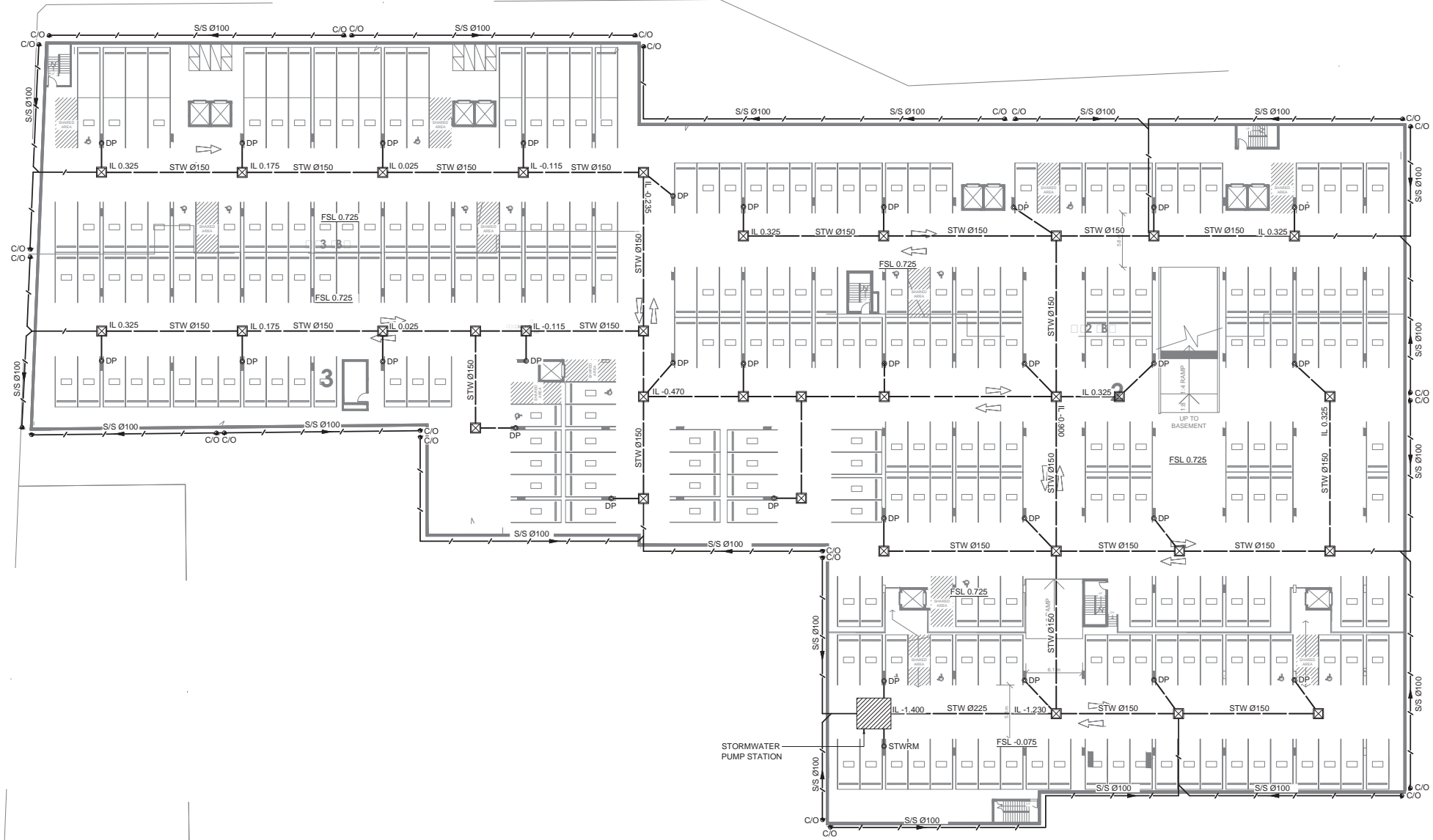
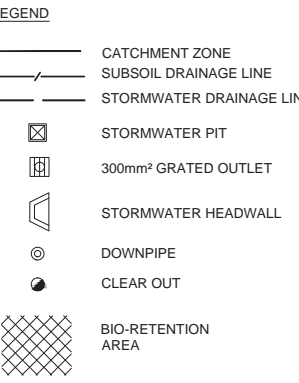
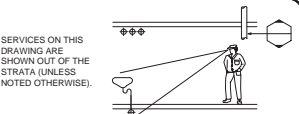
Refer to floor plans for zone locations.

Catchment Zone	Area (ha)
CA27	0.012
CA28	0.0115
CA29	0.156
CA30	0.0147
CA31	0.0147
CA32	0.014

Roof Catchment to Rainwater Tanks

Catchment Zone	Area (ha)
CROOF3	0.2636
CROOF2	0.3688

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ISSUE	AMENDMENT	DATE
P1	ISSUE FOR INFORMATION	30/10/14
ISSUE	AMENDMENT	DATE

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PROJECT

**SHEPHERDS BAY
 STAGE 2 & 3**

DRAWING TITLE

**STORMWATER DRAINAGE
 DA SUBMISSION
 LOWER BASEMENT LEVEL**

DATE	DRAWN	CHECKED	IN SET	SCALE
OCT. 2014	AT	TN		1:250 @B1

PROJECT No.	DRAWING No.	REVISION
5730	SW-02	P1

- GENERAL NOTES**
- THE STORMWATER DRAINAGE IS DESIGNED IN CONJUNCTION WITH CARDNO WSUD MASTER PLAN DOCUMENT 600283_WSUDMASTERPLANREPORTV02 DATED 24/04/2013 & RYDE CITY COUNCILS DEVELOPMENT CONTROL PLAN 2010 SECTION 8.
 - ALL DRAWINGS TO BE READ IN CONJUNCTION WITH BG&E STORMWATER ROAD INFRASTRUCTURE DRAWINGS FOR CONNECTIONS TO BIO-RETENTION AREAS AND INFRASTRUCTURE TRUNK MAIN DESIGN.
 - ALL ARI(AVERAGE RECURRENCE INTERVALS) & RAINFALL INTENSITY DATA ARE BASED FROM INFORMATION COLLECTED FROM THE 'BUREAU OF METEOROLOGY'.
- AVERAGE RECURRENCE INTERVALS (MEADOWBANK)
- 20YR - 18MM/MHR
 50YR - 215MM/MHR
 100YR - 238MM/MHR
- THE 'RATIONAL METHOD' HAS BEEN ADOPTED FOR ALL SITE CATCHMENTS CALCULATIONS.

- 100% OF EACH BUILDING ROOF AREA ASSUMED TO BE NON TRAFFICABLE AND DISCHARGE TO ASSOCIATED RAINWATER TANKS.
- ALL LANDSCAPE AREA TO DISCHARGE TO NOTED BIO-RETENTION FILTRATION BASIN. BIO RETENTION FILTRATION BASIN TO BG&E DESIGN DETAILS.
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- ALL DOCUMENTATION USED TO DEVELOP DESIGN NOTED IN TABLE BELOW:

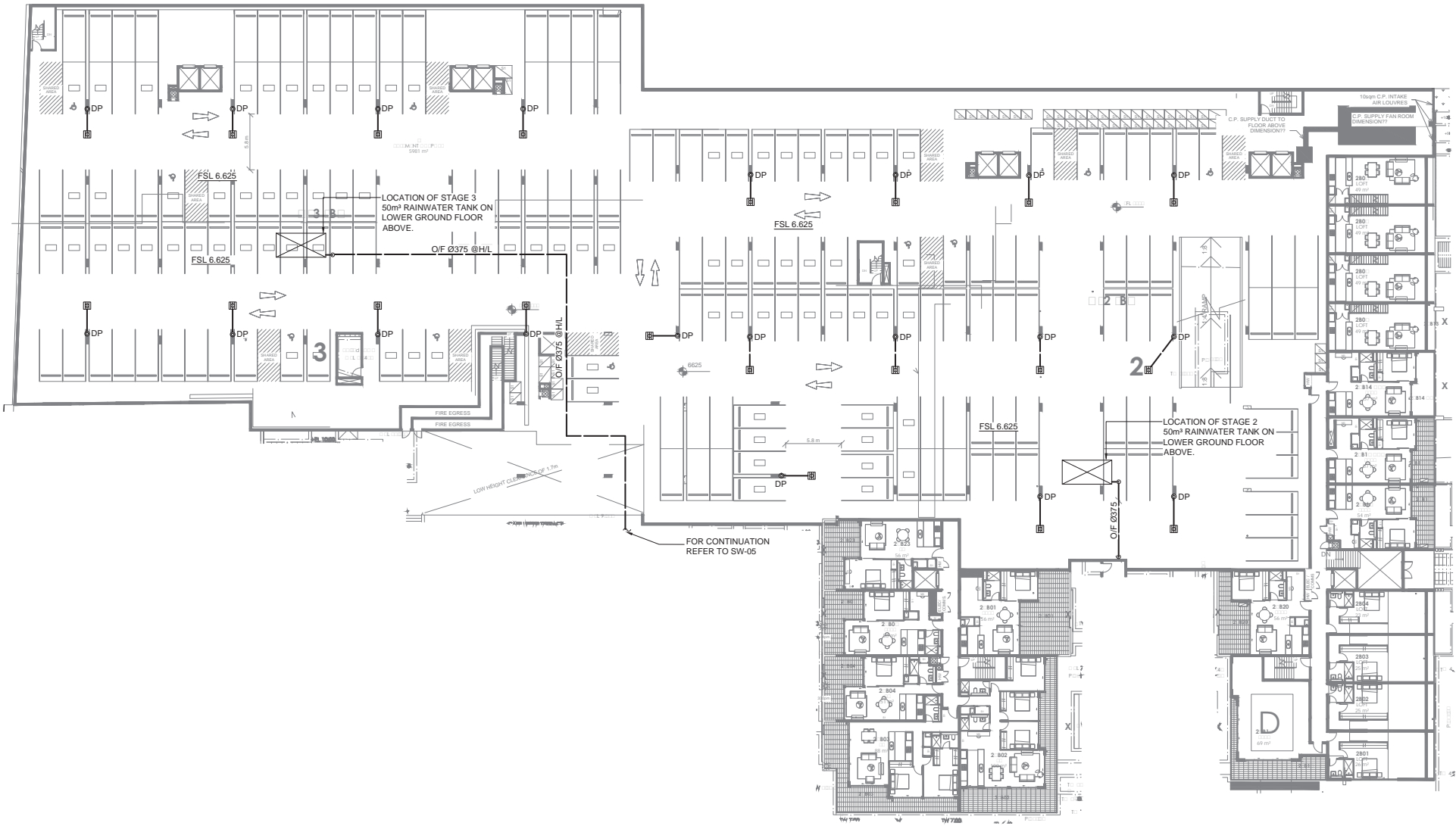
Company Name	Document Type	Revision	Date
Cardno	WSUD Masterplan Strategy Report - Document No. 600283	2	24/04/2013
Ryde City Council	Development Control Plan, Section 8	-	2010
BG & E	Shepherds Bay Masterplan Civil Infrastructure Upgrade	C	
	Flood Assessment Report- Document No. S10076-REP-0001	0	16/04/2014
Integraco	BASIX Sustainability Report	Draft	22/10/2014

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SERVICES ON THIS DRAWING ARE SHOWN OUT OF THE STRATA UNLESS NOTED OTHERWISE.

LEGEND

- CATCHMENT ZONE
- SUBSOIL DRAINAGE LINE
- STORMWATER DRAINAGE LINE
- ☒ STORMWATER PIT
- ☒ 300mm² GRATED OUTLET
- ◁ STORMWATER HEADWALL
- ⊙ DOWNPIPE
- CLEAR OUT
- ▨ BIO-RETENTION AREA



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PROJECT

SHEPHERDS BAY
STAGE 2 & 3

DRAWING TITLE

HYDRAULIC SERVICES
UPPER BASEMENT LEVEL

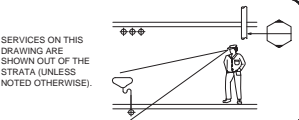
DATE	DRAWN	CHECKED	NO IN SET	SCALE
OCT. 2014	AT	TN		1:250 @B1
PROJECT No.	DRAWING No.	REVISION		
5730	SW-04	P1		

- GENERAL NOTES
- THE STORMWATER DRAINAGE IS DESIGNED IN CONJUNCTION WITH CARDNO WSUD MASTER PLAN DOCUMENT 600283, WSUD MASTER PLAN REPORT V02 DATED 24/04/2013 & RYDE CITY COUNCIL'S DEVELOPMENT CONTROL PLAN 2010 SECTION 8.
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 - ALL DOCUMENTATION USED TO DEVELOP DESIGN NOTED IN TABLE BELOW:

AVERAGE RECURRENCE INTERVALS (MEADOWBANK)
 20YR - 186MMHR
 50YR - 215MMHR
 100YR - 238MMHR

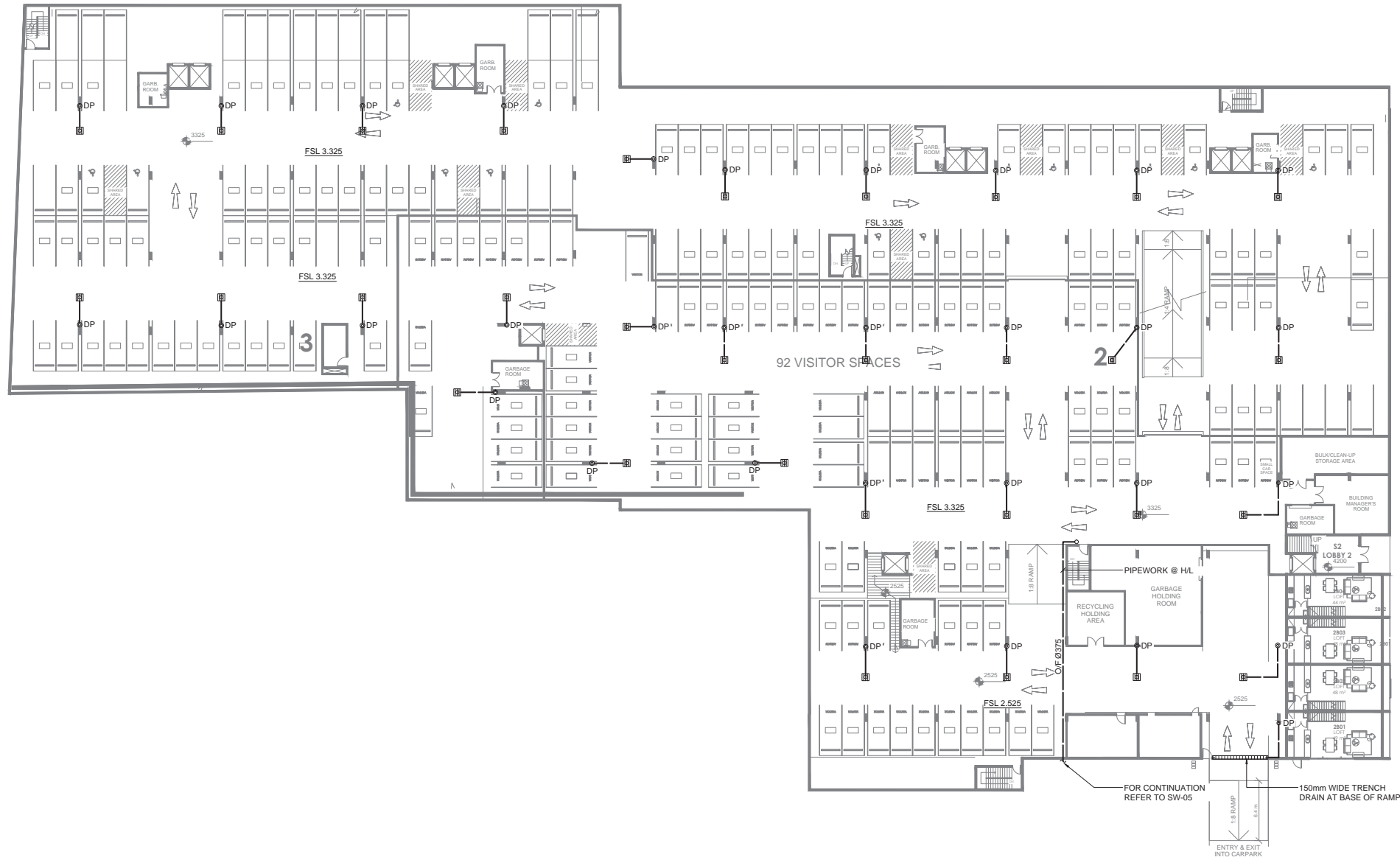
Company Name	Document Type	Revision	Date
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Ryde City Council	Development Control Plan, Section 8	-	2010
BG & E	Shepherds Bay Masterplan Civil Infrastructure Upgrade	C	
	Flood Assessment Report- Document No. S10075-REP-0001	0	16/04/2014
Integraco	BA5IX Sustainability Report	Draft	22/10/2014

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LEGEND

- CATCHMENT ZONE
- SUBSOIL DRAINAGE LINE
- STORMWATER DRAINAGE LINE
- STORMWATER PIT
- 300mm² GRATED OUTLET
- STORMWATER HEADWALL
- DOWNPIPE
- CLEAR OUT
- BIO-RETENTION AREA



ISSUE	AMENDMENT	DATE
P1	ISSUE FOR INFORMATION	30/10/14

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PROJECT

SHEPHERDS BAY
STAGE 2 & 3

DRAWING TITLE

STORMWATER DRAINAGE
DA SUBMISSION
BASEMENT LEVEL

DATE	DRAWN	CHECKED	NO IN SET	SCALE
OCT. 2014	AT	TN		1:250 @B1
PROJECT No. 5730		DRAWING No. SW-03		REVISION P1

GENERAL NOTES

- THE STORMWATER DRAINAGE IS DESIGNED IN CONJUNCTION WITH CARDNO WSUD MASTER PLAN DOCUMENT 600283, WSUD MASTER PLAN REPORT V02 DATED 24/04/2013 & RYDE CITY COUNCILS DEVELOPMENT CONTROL PLAN 2010 SECTION 8.
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- ALL DOCUMENTATION USED TO DEVELOP DESIGN NOTED IN TABLE BELOW:

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BG & E	Shepherds Bay Masterplan Civil Infrastructure Upgrade	C	
	Flood Assessment Report- Document No.S10076-REP-0001	0	16/04/2014
Integraco	BASIX Sustainability Report	Draft	22/10/2014

AVERAGE RECURRENCE INTERVALS (MEADOWBANK)
20YR - 186MM/HR
50YR - 215MM/HR
100YR - 238MM/HR



NOTES:
 INTERNAL DETAIL AND LEVELS BY OTHERS.
 DIAMETER, HEIGHT & SPREAD OF TREES ARE APPROXIMATE ONLY.
 NO BOUNDARY SURVEY HAS BEEN CARRIED OUT.
 DETAIL ON THIS PLAN HAS BEEN LOCATED FOR PLOTTING PURPOSES ONLY.
 SERVICES ETC UNLESS NOTED HAVE NOT BEEN LOCATED.
 SERVICES SHOWN ARE INDICATIVE ONLY. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN. THEREFORE FIELD COMPLETION OF THE EXACT POSITION SHOULD BE MADE PRIOR TO COMMENCEMENT OF ANY EXCAVATION.
 ANY POINT OR FEATURE CRITICAL TO THE PREPARATION OF PLANS AND/OR CONSTRUCTION SHOULD BE ACCURATELY LOCATED PRIOR TO COMPLETION OF THOSE PLANS AND/OR COMMENCEMENT OF CONSTRUCTION.
 DIMENSIONS AND BEARINGS FROM VARIOUS PLANS
 ORIGIN OF LEVELS: SSM 1044 RL 2.55 (AHD) CLASS LC ORDER L3
 USE STATED DIMENSIONS, DO NOT SCALE.
 THIS PLAN & THE INFORMATION CONTAINED HEREON REMAINS THE PROPERTY OF H RAMSAY & COMPANY AND MUST BE LOANED IN WHOLE OR PART WITHOUT THE WRITTEN CONSENT OF H RAMSAY & COMPANY & IS NOT TO BE USED FOR ANY OTHER PURPOSE THAN THAT WHICH IT HAS BEEN PREPARED.
 THIS PLAN HAS BEEN PREPARED FOR THE SOLE USE OF THE INSTRUCTING PARTY &/OR THEIR NOMINATED CLIENT.

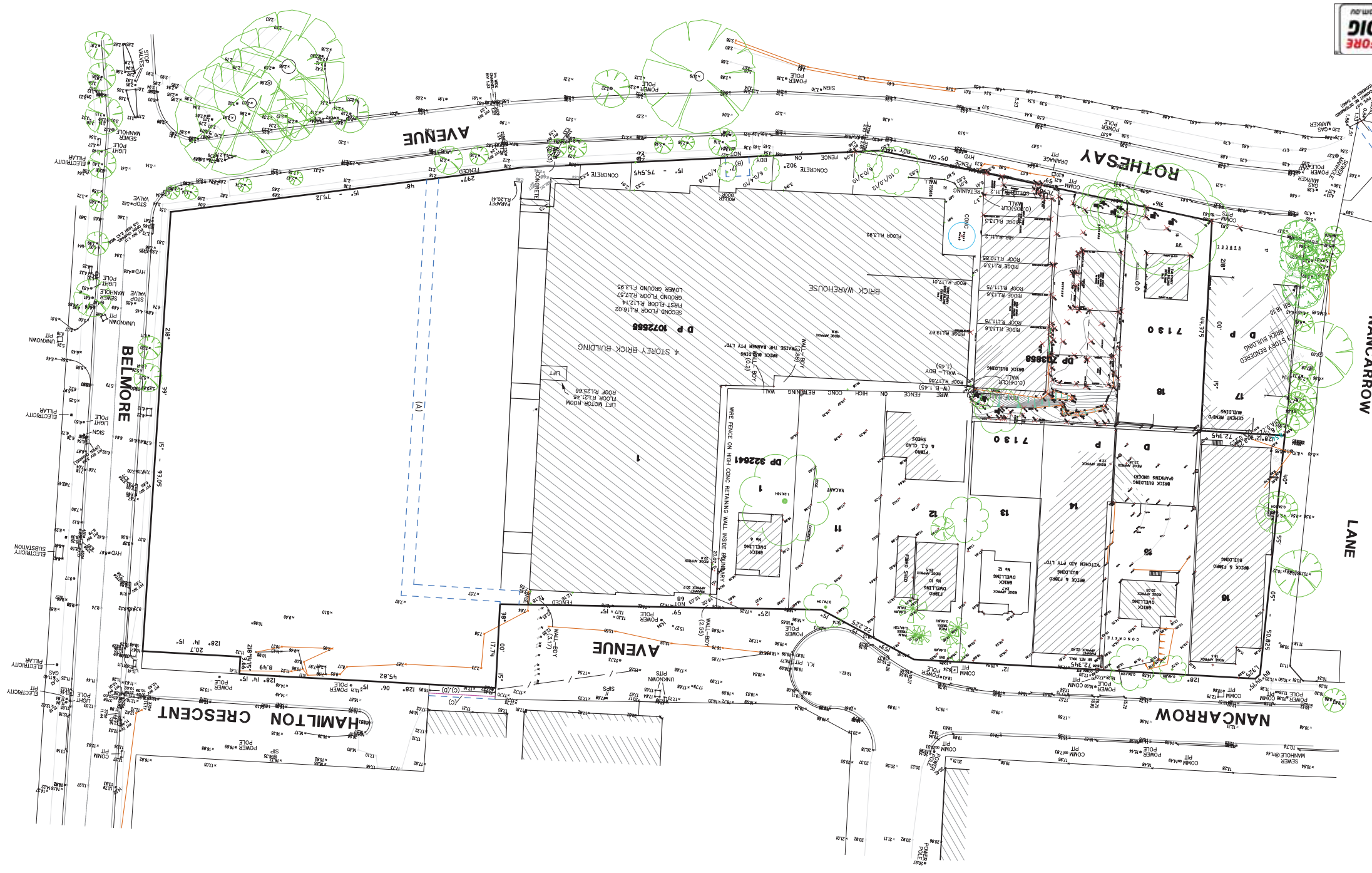
AMENDMENTS	DATE	DESCRIPTION
L.G.A	RYDE	
LOCALITY:	RYDE	
RE:	MR G YOUSSEF	



H Ramsay & Company Pty Limited
 ACN 069 967 817
 CARLINGFORD CENTRAL SUITE 15, 241-245 PENNANT HILLS RD, CARLINGFORD NSW 2118
 P.O. BOX 9082 HARRIS PARK NSW 2150 PH: (02) 9635 5840 FAX: (02) 9606 0027
 EMAIL: surveyor@hramsay.com.au www.hramsay.com.au

PLAN SHOWING DETAIL AND LEVELS OVER
 LOT 1 DP 1072555, LOT 1 DP 322641,
 LOT 1 DP 703858 AND LOT 11-16 INCLUSIVE
 AND LOT 18 DP 7130
 ROTHSAY AVENUE AND NANCARROW AVENUE
 SHEPHERDS BAY

SCALE	1:500@A1
DATE	20/11/2014
OUR REF	8072/13
SHEET 1 OF 1 SHEETS	

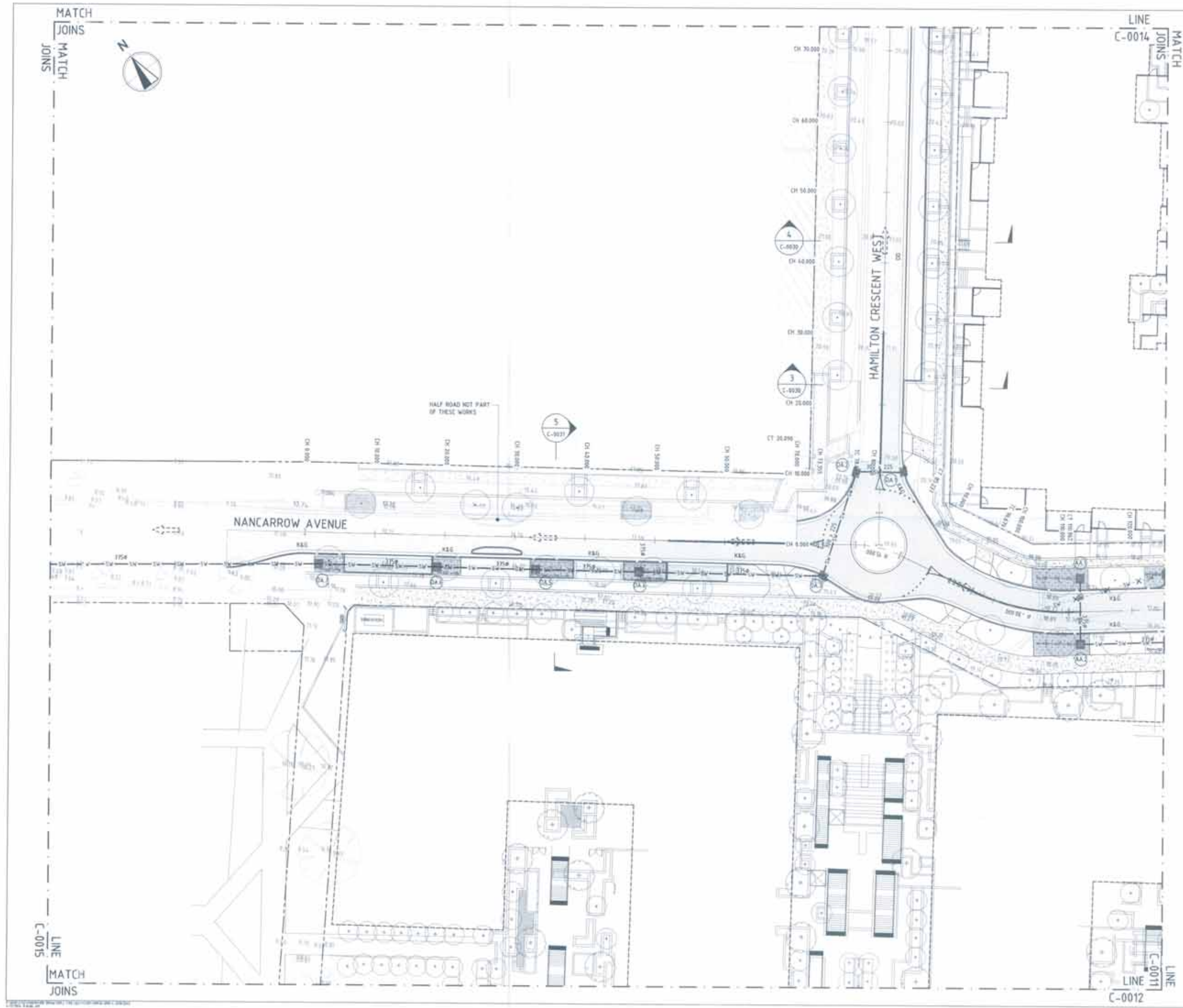


NOTE:
 PIPE LEVELS SHOWN ARE TO INVERT OF PIPE

LEGEND
 K.L. PIT
 H.M. POINT
 S.P. SEWER INSPECTION POINT

- (A) EASEMENT TO DRAIN WATER WIDE DP 1072555
- (B) RIGHT OF WAY AND EASEMENT FOR ELECTRICITY PURPOSES WIDE T 57380
- (C) EASEMENT FOR ELECTRICAL PURPOSES 2.385 WIDE WIDE G 710840
- (D) EASEMENT FOR WATER SUPPLY 1.83 WIDE WIDE K211159

ORIGIN OF M.G.A. CO-ORDINATES - SSM 122875 - E323870.315, N6256240.804, CLASS C ORDER 3
 AND SSM 122864 - E323745.396, N6256107.178, CLASS C ORDER 3
 5/07/2010
 VARIOUS EASEMENTS AFFECTING INTERNAL LOTS ARE TO BE RELEASED



LEGEND

	EXISTING ROAD BOUNDARY
	PROPOSED ROAD BOUNDARY
	PROPOSED KERB AND GUTTER
	PROPOSED MOUNTABLE KERB
	PROPOSED KERB ONLY
	PROPOSED DISH DRAIN
	PROPOSED STORMWATER PIT AND LINE
	EXISTING STORMWATER LINE
	EXISTING STORMWATER TO BE REMOVED
	OVERLAND FLOW PATH
	SURFICIAL DRAIN WITH FLUSHING POINT
	NEW ROAD PAVEMENT CONSTRUCTION TO GEOTECH ENGINEERS SPECIFICATION
	CONCRETE ISLAND MPELL
	FOOTPATH TO LANDSCAPE ARCHITECTS SPECIFICATION
	MILL AND RESHEET 30mm AC10
	BI-RETENTION AREA

NOTE:

- FOR SURFACE LEVELS AND FINISHES REFER TO LANDSCAPE ARCHITECTS PLANS.
- THE ORIGINAL OF THIS DRAWING WAS PRODUCED USING COLOUR SEPARATION FOR GREATER CLARITY. WORKING WITH BLACK AND WHITE COPY MAY CAUSE ERRORS.

WARNING
 AVOID UNDERGROUND SERVICES
 The location of underground services are approximate only and their exact position should be checked on site. No guarantee is given that all existing cables and services are shown. Locate all underground cables and services before commencement of work. Refer to Worksafe Regulation 1.21.

DIAL 1100
 BEFORE YOU DIG

NO.	DATE	DESCRIPTION	BY
1	20/10/20	ISSUED FOR ROAD APPLICATION	TS
2	21/10/20	ISSUED FOR ROAD APPLICATION	TS
3	21/10/20	ISSUED FOR ROAD APPLICATION	TS
4	21/10/20	ISSUED FOR ROAD APPLICATION	TS
5	21/10/20	ISSUED FOR ROAD APPLICATION	TS
6	21/10/20	ISSUED FOR ROAD APPLICATION	TS
7	21/10/20	ISSUED FOR ROAD APPLICATION	TS
8	21/10/20	ISSUED FOR ROAD APPLICATION	TS
9	21/10/20	ISSUED FOR ROAD APPLICATION	TS
10	21/10/20	ISSUED FOR ROAD APPLICATION	TS
11	21/10/20	ISSUED FOR ROAD APPLICATION	TS
12	21/10/20	ISSUED FOR ROAD APPLICATION	TS
13	21/10/20	ISSUED FOR ROAD APPLICATION	TS
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100	21/10/20	ISSUED FOR ROAD APPLICATION	TS

HOLDMARK
 21/4 GERRARD AVENUE, HAYMADE PARK NSW 2122

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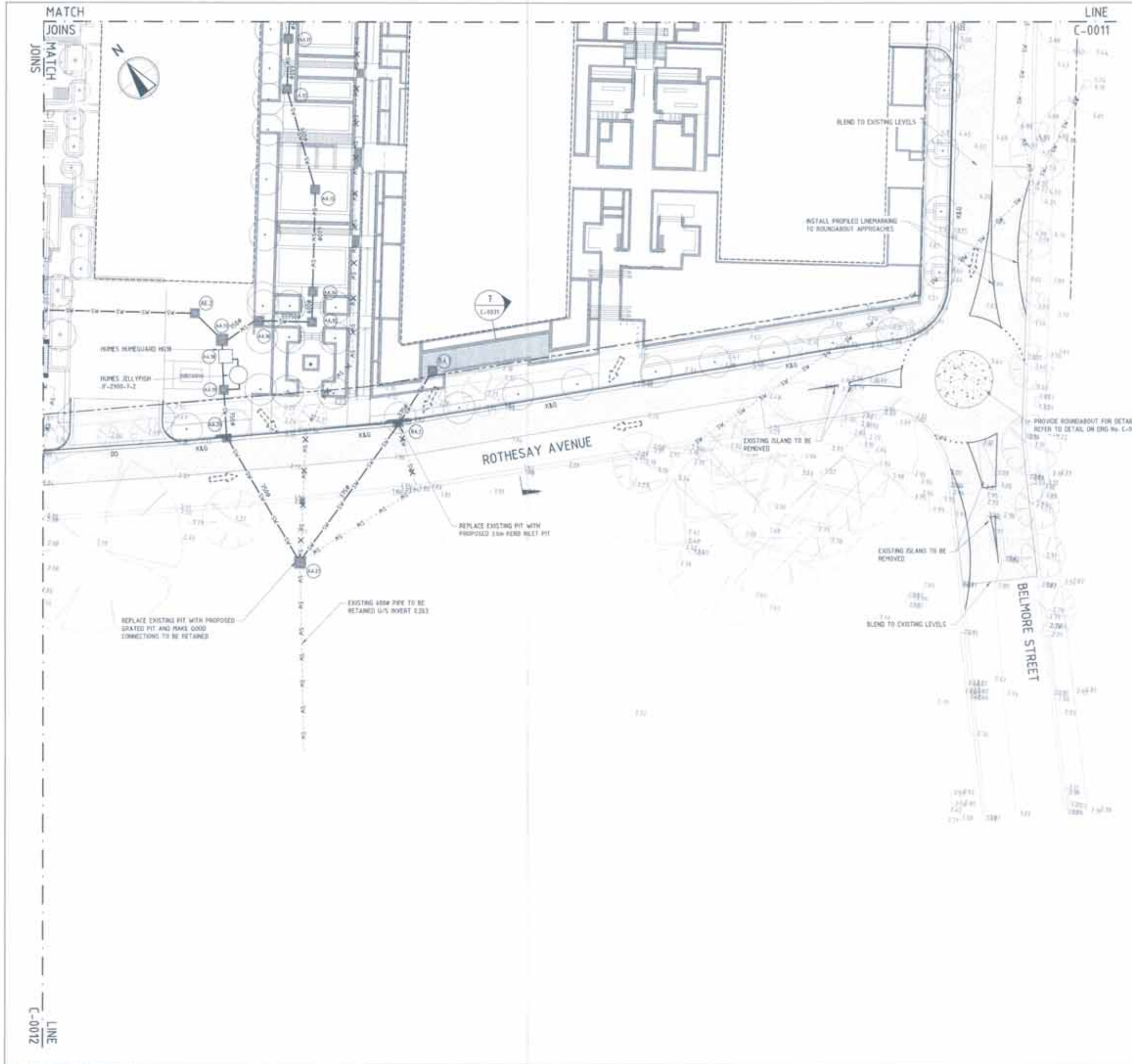
SHEPHERDS BAY MEADOWBANK

PRELIMINARY ONLY
 NOT TO BE USED FOR CONSTRUCTION

DATE	BY	CHKD	APPD	SCALE	DATE
				1:250	

SITWORKS PLAN SHEET 1

PROJECT NO.	S10076	DRAWING NO.	C-0010	SHEET NO.	G
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LEGEND

- EXISTING ROAD BOUNDARY
- PROPOSED ROAD BOUNDARY
- PROPOSED KERB AND GUTTER
- PROPOSED HIGHTABLE KERB
- PROPOSED KERB ONLY
- PROPOSED GSH DRAIN
- PROPOSED STORMWATER PIT AND LINE
- EXISTING STORMWATER LINE
- EXISTING STORMWATER TO BE REMOVED
- OVERLAND FLOW PATH
- SUBSIDE DRAIN WITH FLUSHING POINT
- NEW ROAD PAVEMENT (CONSTRUCTION TO GEOTECH ENGINEERS SPECIFICATION)
- CONCRETE ISLAND INFILL
- FOOTPATH TO LANDSCAPE ARCHITECTS SPECIFICATION
- FILL AND RESHET (30mm AC9)
- BI-RETENTION AREA

NOTE

- FOR SURFACE LEVELS AND FINISHES REFER TO LANDSCAPE ARCHITECTS PLANS
- THE ORIGINAL OF THIS DRAWING WAS PRODUCED USING COLOUR SEPARATION FOR GREATER CLARITY. WORKING WITH BLACK AND WHITE COPY MAY CAUSE ERRORS

WARNING
 BEWARE OF UNDERGROUND SERVICES
 The location of underground utilities are approximate only and their exact position should be checked on site. No guarantee is given that all existing utilities and services are shown. Locate all underground utilities and services before commencement of work. Refer to Victorian Regulation 8.21.

DIAL 1100
 BEFORE YOU DIG

1	10/10	ISSUED FOR ROAD APPLICATION	28
2	08/10	ISSUED FOR ROAD APPLICATION	18
3	24/09	ISSUED FOR ROAD APPLICATION	18
4	15/09	ISSUED FOR ROAD APPLICATION	18
5	10/09	ISSUED FOR ROAD APPLICATION	18
REV	DATE	DESCRIPTION	BY

HOLDMARK
 674 SPROCK AVENUE, MADDIAGE PARK NSW 2111

Sydney Office
 22 & Wickham St, Sydney NSW 2000
 P: +61 2 4753 3333
 F: +61 2 4753 3333
 www.bge.com.au

BGE

SHEPHERDS BAY MEADOWBANK

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DATE	BY	CHKD	APPD
10/10/20	MSA	MSA	MSA

SITWORKS PLAN SHEET 4

PROJECT NO.	DRAWING NO.	SHEET NO.
S10076	C-0013	E

SHEPHERDS BAY MEADOWBANK
 PRELIMINARY ONLY
 S10076 C-0016 D
 SHEET 7
 SITEMWORKS PLAN

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 E: sydney@bcg.com.au
 www.bcg.com.au

HOLDMARK
 2.0.3.3 WORKS ITEMS INCLUDING FROM NEW 2018

REV	DATE	DESCRIPTION
1	12/11/18	ISSUE FOR PERM APPLICATION
2	12/11/18	ISSUE FOR ROAD APPLICATION
3	12/11/18	ISSUE FOR ROAD APPLICATION
4	12/11/18	ISSUE FOR ROAD APPLICATION
5	12/11/18	ISSUE FOR ROAD APPLICATION

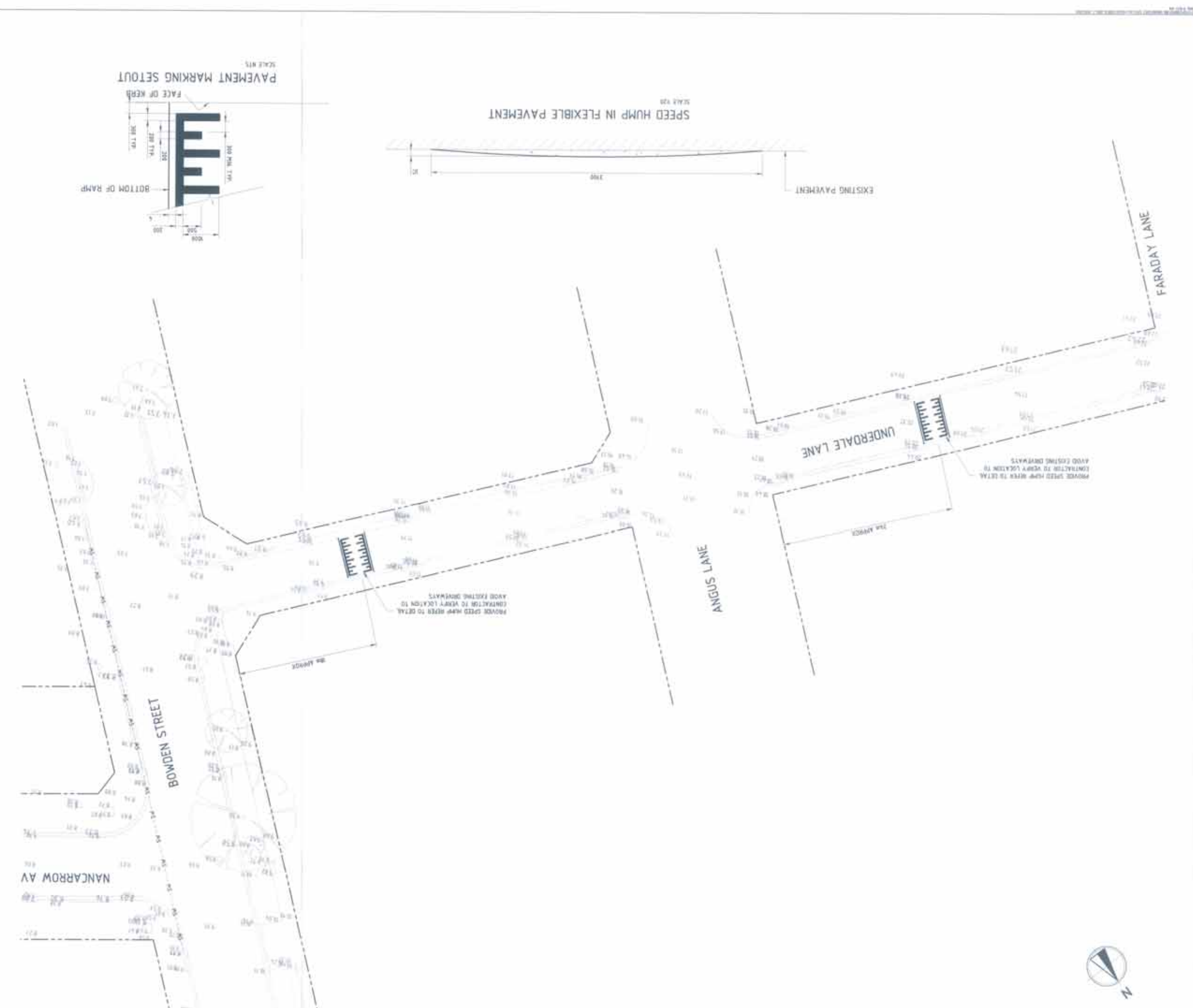
WARNING
 BEFORE OF UNDOING DAMAGE
 DIAL 1100
 REPHONE YOU DO
 This drawing is intended for use as a guide only. It is not to be used as a basis for construction. The contractor is responsible for ensuring that the work is carried out in accordance with the relevant standards and specifications.

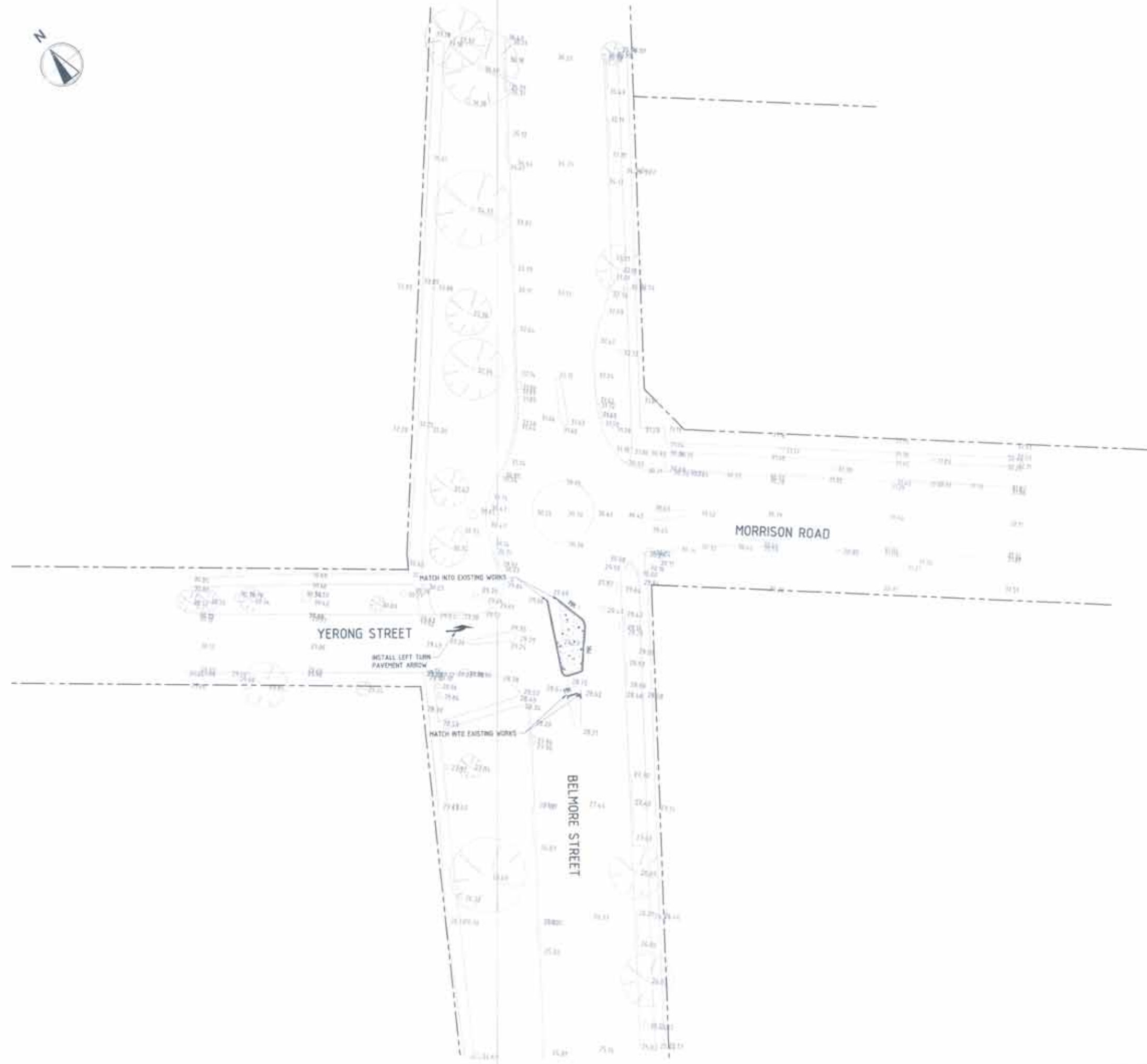
NOTE

- FOR SURFACE LEVELS AND FINISHES REFER TO LANDSCAPE ARCHITECTS PLANS
- THE ORIGINAL OF THIS DRAWING WAS PRODUCED USING COLOUR SEPARATION FOR GREATER CLARITY. WORKING WITH BLACK AND WHITE COPY MAY CAUSE ERRORS.

LEGEND

EXISTING ROAD BOUNDARY	---
PROPOSED ROAD BOUNDARY	---
PROPOSED KERB AND OUTER	---
PROPOSED MOUNTABLE KERB	---
PROPOSED KERB ONLY	---
PROPOSED GSH DRAIN	---
PROPOSED STORMWATER PIT AND LIME	---
EXISTING STORMWATER LINE	---
EXISTING STORMWATER TO BE REMOVED	---
OPEN AND FLOW PATH	---
SUBSOIL ZONE WITH FLUSHING POINT	---
NEW ROAD PAVEMENT	---
ENGINEERS SPECIFICATION	---
CONCRETE ISLAND MULL	---
FOOTPATH TO LANDSCAPE ARCHITECTS SPECIFICATION	---
HLL AND RESERT	---
DO-RESTRICTION AREA	---





LEGEND

	EXISTING ROAD BOUNDARY
	PROPOSED ROAD BOUNDARY
	PROPOSED KERB AND GUTTER
	PROPOSED MOUNTABLE KERB
	PROPOSED KERB ONLY
	PROPOSED GUSH DRAIN
	PROPOSED STORMWATER PIT AND LINE
	EXISTING STORMWATER LINE
	EXISTING STORMWATER TO BE REMOVED
	OVERLAND FLOW PATH
	SUBSOIL DRAIN WITH FLOODING POINT
	NEW ROAD PAVEMENT CONSTRUCTION TO GEOTECH ENGINEERS SPECIFICATION
	CONCRETE ISLAND INFILL
	POSTPATH TO LANDSCAPE ARCHITECTS SPECIFICATION
	FILL AND RESHET (See ACT)
	BO-RETENTION AREA

NOTE:

- FOR SURFACE LEVELS AND FINISHES REFER TO LANDSCAPE ARCHITECTS PLANS.
- THE ORIGINAL OF THIS DRAWING WAS PRODUCED USING COLOUR SEPARATION FOR GREATER CLARITY. WORKING WITH BLACK AND WHITE COPY MAY CAUSE ERRORS.

WARNING
 BEFORE OF UNDERGROUND SERVICES
 The location of underground cables are approximate only and their exact position should be checked on site. No guarantee is given that all existing cables and services are shown. Locate all underground cables and services before commencement of work. Refer to Strata Act Regulation 3.21.

DIAL 1100
 BEFORE YOU DIG

NO.	DATE	DESCRIPTION	BY
1	21.04.24	ISSUE FOR ROAD APPLICATION	SA
2	21.05.24	ISSUE FOR ROAD APPLICATION	SA
3	11.06.24	ISSUE FOR ROAD APPLICATION	SA
REV	04.12	COMPLETION	ADD

HOLDMARK
 1/15-4 OFFICER AVENUE, BALDWIN PARK NSW 2111

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 12-14 Wharf Road, Sydney NSW 2000
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BG & E

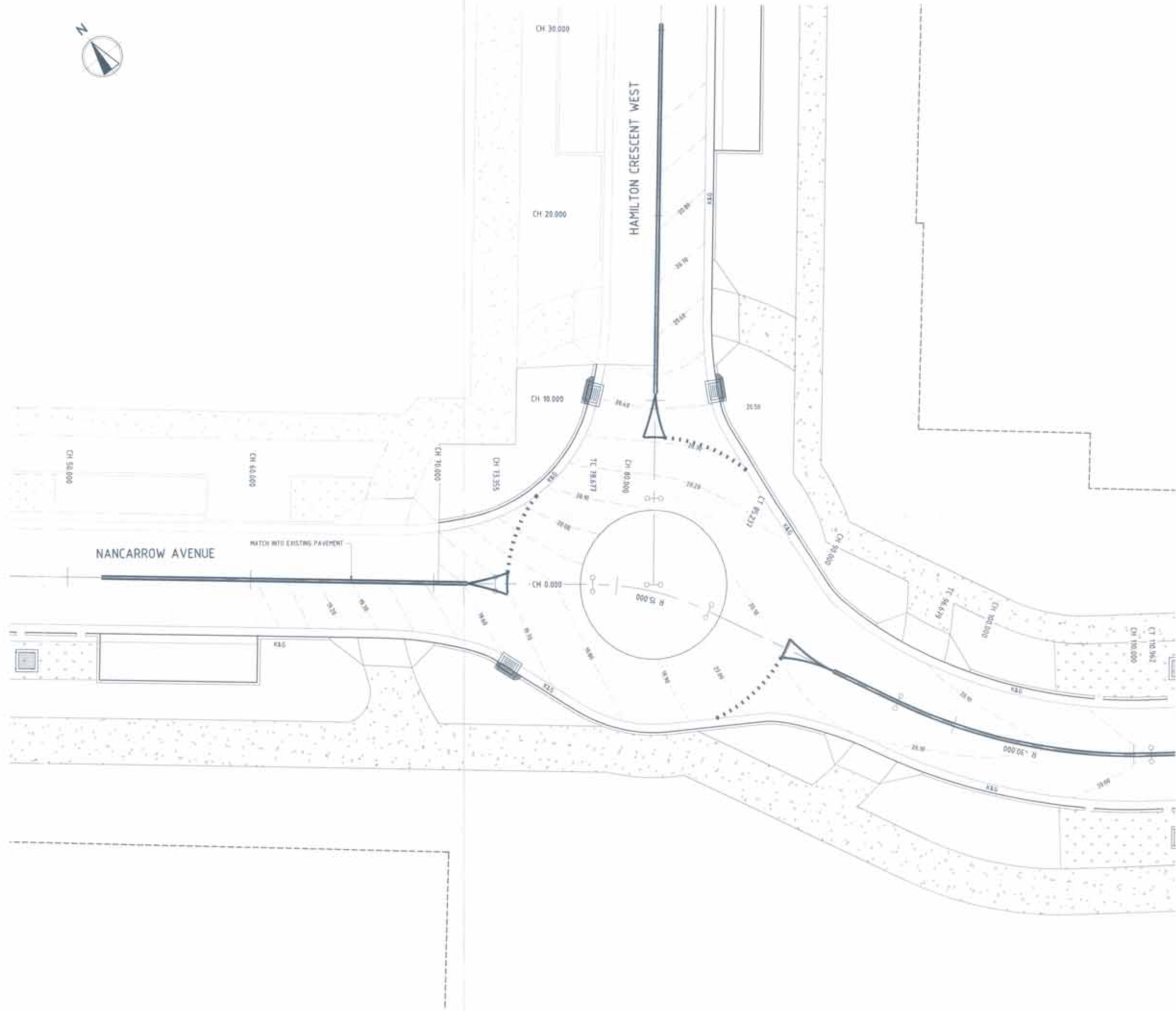
SHEPHERDS BAY MEADOWBANK

PRELIMINARY ONLY
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DATE	ISSUED BY	CHECKED BY	APPROVED BY
04/12/24	MEG	SAJ	LEW

SITWORKS PLAN SHEET 9

PROJECT NO.	S10076	DRAWING NO.	C-0018	REV.	C
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LEGEND

	EXISTING ROAD BOUNDARY
	PROPOSED ROAD BOUNDARY
	PROPOSED K&D AND SUTTER
	PROPOSED POUNTABLE HERE
	PROPOSED K&D ONLY
	PROPOSED D&D DRAW
	PROPOSED STORMWATER PIT AND LINE
	EXISTING STORMWATER LINE
	EXISTING STORMWATER TO BE REMOVED
	OVERLAND FLOW PATH
	SUBSIDE DRAIN WITH FLUSHING POINT
	NEW ROAD PAVEMENT CONSTRUCTION TO GEOTECH ENGINEERS SPECIFICATION
	CONCRETE ISLAND MULL
	FOOTPATH TO LANDSCAPE ARCHITECTS SPECIFICATION
	M&L AND RESHEET 30mm A&D
	BIG-RETENTION AREA

NOTE

- FOR SURFACE LEVELS AND FINISHES REFER TO LANDSCAPE ARCHITECTS PLANS.
- THE ORIGINAL OF THIS DRAWING WAS PRODUCED USING COLOUR SEPARATION FOR GREATER CLARITY. WORKING WITH BLACK AND WHITE COPY MAY CAUSE ERRORS.

WARNING
 BEHIND AN UNMANNED REGISTER.
 The location of underground cables and other services are shown. Locate all underground cables and services before commencement of work. Refer to Worksafe Register 8.2.1.

DIAL 1100
 BEFORE YOU DIG

NO.	DATE	ISSUED FOR	BY	DESCRIPTION
1	02/11/20	ISSUED FOR ROAD APPLICATION
2	02/11/20	ISSUED FOR ROAD APPLICATION

HOLDMARK
 1:12.4 02/11/2020 1:12.4 02/11/2020

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 L2 8 Workhall St, Sydney NSW 2000
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BG & E

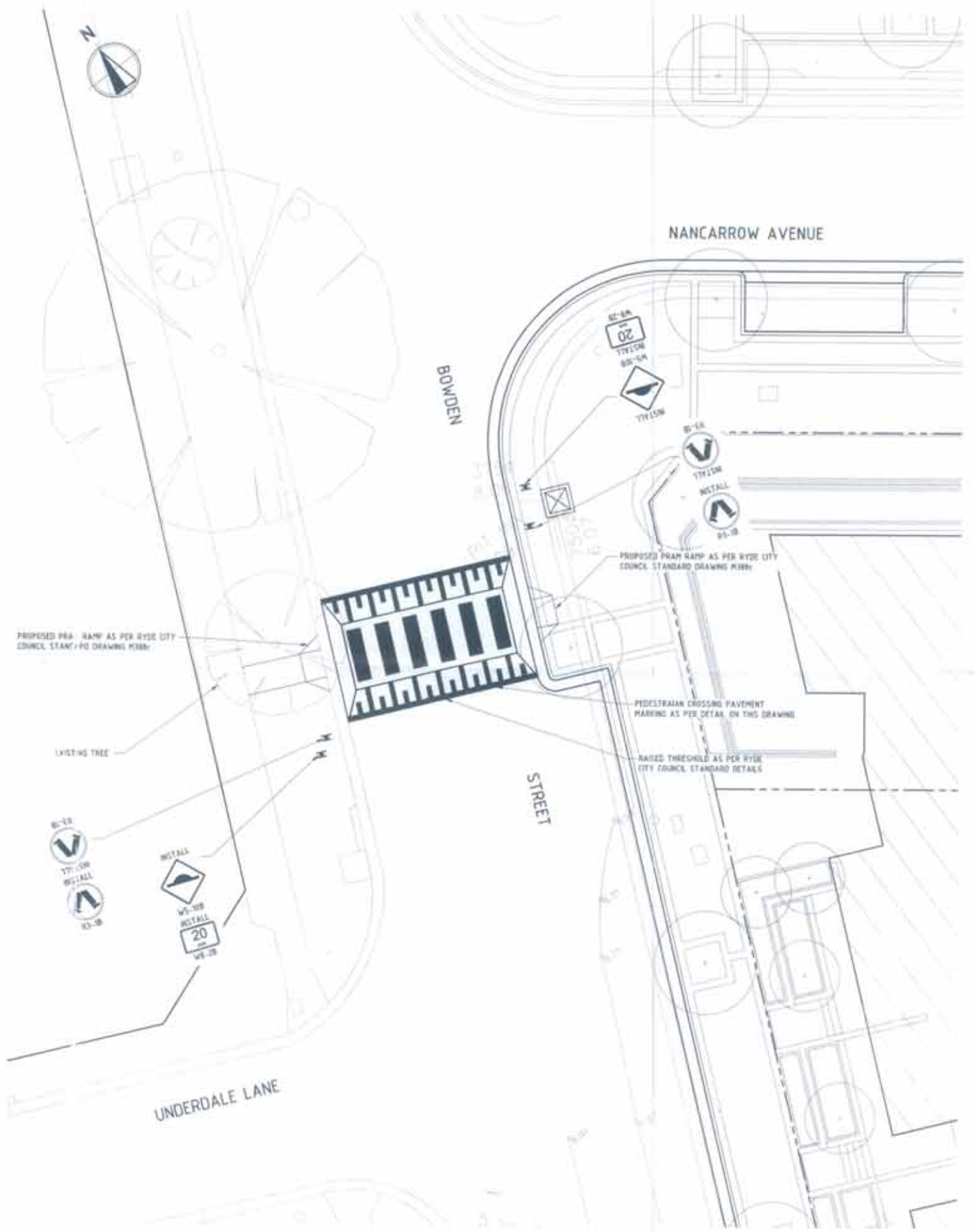
SHEPHERDS BAY MEADOWBANK

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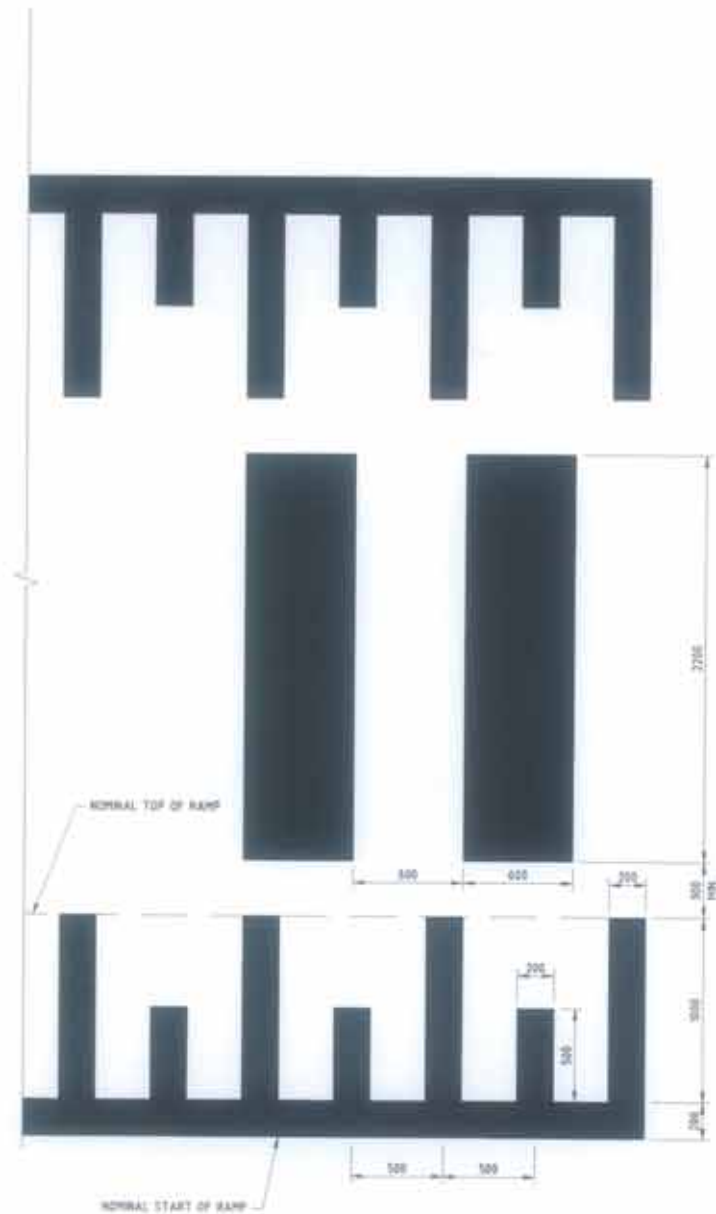
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Sheet	APD	APG	APJ	APK

ROUNDABOUT PLAN

Project No: **S10076** Drawing No: **C-0019** Rev: **B**



RAISED THRESHOLD PLAN
SCALE 1:50



RAISED THRESHOLD PAVEMENT MARKING DIMENSIONS
SCALE 1:50

NO.	DATE	ISSUED FOR	BY
REVISIONS			
HOLDMARK 254-08PARK AVENUE, MEADOWBANK PARK NSW 2151			
Sydney Office 1/2 E Woodside Sydney NSW 2000 P: +61 2 9720 5500 E: info@bgandc.com.au www.bgandc.com.au			
SHEPHERDS BAY MEADOWBANK			
PRELIMINARY ONLY <small>NOT TO BE USED FOR CONSTRUCTION</small>			
DATE	SCALE	PROJECT	OFFICE
BOWDEN STREET/NANCARROW AVENUE RAISED THRESHOLD PLAN			
PROJECT NO.			
S10076	SKC050		A

HARRIS PAGE & ASSOCIATES

SHEPHERDS BAY

STAGES 2 & 3

STORMWATER CONCEPT DESIGN

STORMWATER SERVICES LEGEND

GENERAL NOTES

1. DRAWINGS ARE DIMENSIONAL ONLY AND HAVE BEEN PROVIDED FOR THE PURPOSE OF INDICATING THE DESIGN INTENT AND SCOPE OF WORK OF THE HYDRAULIC SERVICES.
2. IT IS THE RESPONSIBILITY OF THE BUILDING AND/OR PLUMBING SUBCONTRACTOR TO INVESTIGATE AND COORDINATE BEFORE AND DURING THE CONSTRUCTION PHASE ALL EXISTING SERVICES WHICH WILL AFFECT THE INSTALLATION OF THESE SERVICES.
3. HYDRAULIC DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE HYDRAULIC SERVICES SPECIFICATION AND WITH RELEVANT ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
4. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE RELEVANT CODES AND AUSTRALIAN STANDARDS.
5. PORTION AND LEVELS OF AUTHORITY MARKS AND/OR EXISTING SERVICES ARE INDICATIVE ONLY AND ARE TO BE CHECKED PRIOR TO COMMENCING ANY WORK.
6. DO NOT SCALE FROM THIS DRAWING, REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSION DETAILS.

LOCATION PLAN



IMAGE TAKEN FROM GOOGLE MAPS 2014

DRAWING SCHEDULE

DWG No.	Scale	Drawing Title
SW-00	NTS	STORMWATER SERVICES COVER SHEET AND LEGEND
SW-01	1:200	STORMWATER SERVICES SOILMENT & SUDGEN CONTROL PLAN
SW-02	1:200	STORMWATER SERVICES LOWER BASEMENT LEVEL
SW-03	1:200	STORMWATER SERVICES UPPER BASEMENT LEVEL
SW-04	1:200	STORMWATER SERVICES UPPER BASEMENT LEVEL
SW-05	1:200	STORMWATER SERVICES POOL/SPRINKLER DRAINAGE

NO.	DESCRIPTION	DATE


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PROJECT PROJECT MANAGER

ROBERTSON+MAREE
 Robertson+Maree Pty Ltd
 10/11 Southside Street, Adelaide SA 5000 Australia
 Telephone: (08) 8232 2000 Fax: (08) 8232 2001
 Email: r+m@robertsonmaree.com.au

PROJECT ARCHITECT/ENGINEER/STRUCTURAL ENGINEER

HARRIS PAGE & Associates
PTY LIMITED
 HYDRAULIC & FIRE CONSULTANTS
 Level 11, 55 Leaper Street, Spring Hill, Adelaide SA 5000
 Telephone: (08) 8232 2000 Fax: (08) 8232 2001
 Email: hpa@harrispage.com.au

PROJECT
SHEPHERDS BAY
STAGE 2 & 3

DRAWING TITLE
STORMWATER SERVICES
COVER SHEET, LEGEND
& NOTES

DATE	DRAWN	CHECKED	APPROVED	SCALE
OCT 2014	AT	TN		NTS @B1
PROJECT No.	DRAWING No.	ISSUES		
5730	SW-00	P1		

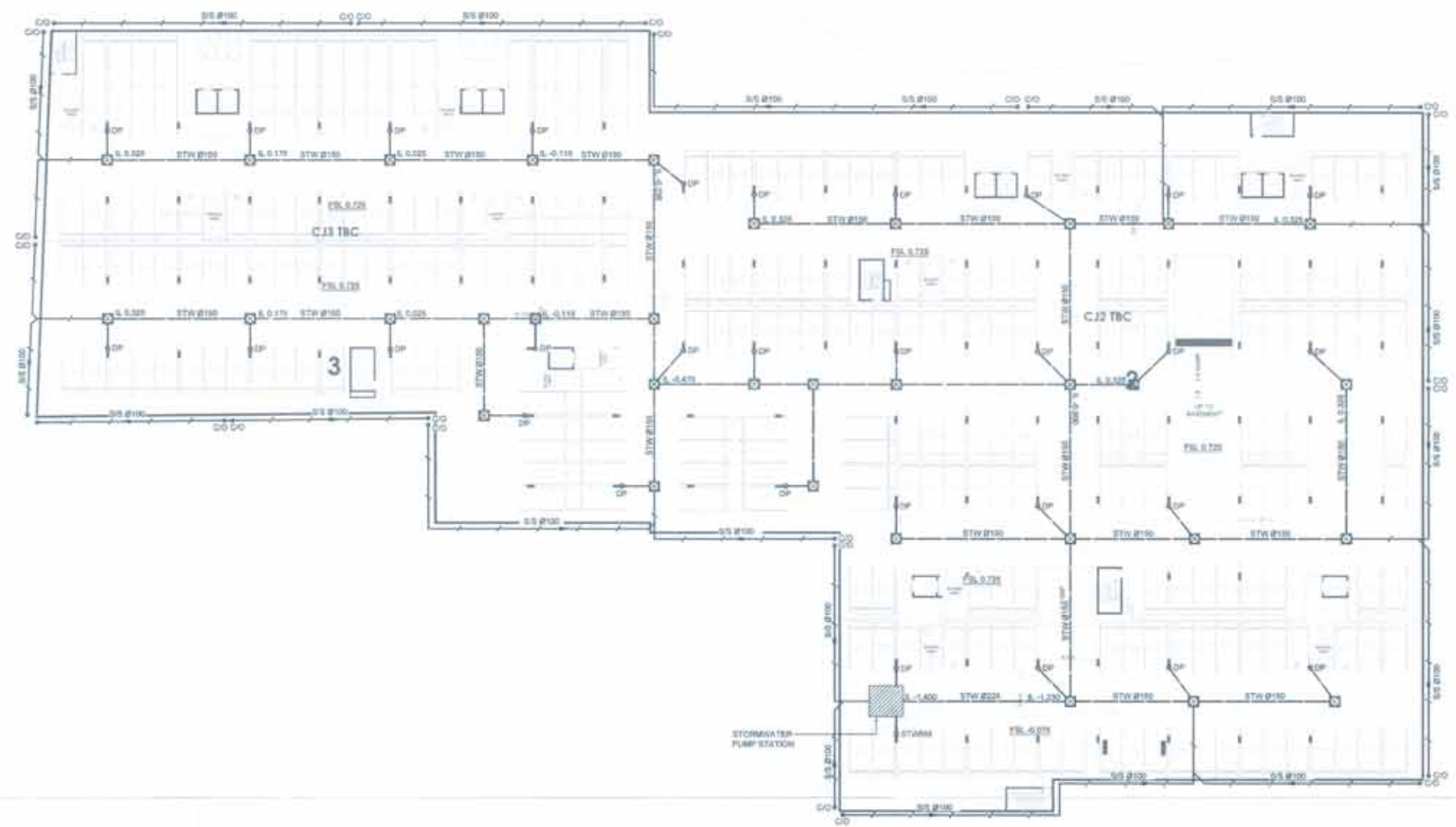


DEPARTMENT OF ASSETS AND ASSOCIATED INFRASTRUCTURE
 This document is prepared in accordance with the provisions of the Resource Management Act 1991 and the Resource Management Act 1991 (RMA) Regulations 2011. It is a technical drawing and does not constitute a contract. The contractor shall be responsible for checking the accuracy and completeness of the information provided.



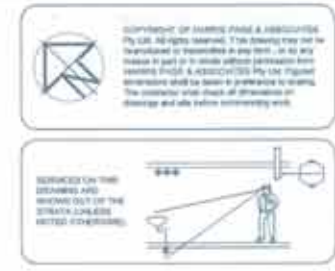
LEGEND

- CATCHMENT ZONE
- SUBSOIL DRAINAGE LINE
- STORMWATER DRAINAGE LINE
- STORMWATER PIT
- 300mm GRATED OUTLET
- STORMWATER HEADWALL
- DOWNPIPE
- CLEAR OUT
- BIO-RETENTION AREA



NO.	DESCRIPTION	DATE
1	ISSUED FOR INFORMATION	
2	FOR APPROVAL	

HOLDMARK
 HOLDMARK HOLDINGS LIMITED
 100/101/102/103/104/105/106/107/108/109/110/111/112/113/114/115/116/117/118/119/120/121/122/123/124/125/126/127/128/129/130/131/132/133/134/135/136/137/138/139/140/141/142/143/144/145/146/147/148/149/150/151/152/153/154/155/156/157/158/159/160/161/162/163/164/165/166/167/168/169/170/171/172/173/174/175/176/177/178/179/180/181/182/183/184/185/186/187/188/189/190/191/192/193/194/195/196/197/198/199/200/201/202/203/204/205/206/207/208/209/210/211/212/213/214/215/216/217/218/219/220/221/222/223/224/225/226/227/228/229/230/231/232/233/234/235/236/237/238/239/240/241/242/243/244/245/246/247/248/249/250/251/252/253/254/255/256/257/258/259/260/261/262/263/264/265/266/267/268/269/270/271/272/273/274/275/276/277/278/279/280/281/282/283/284/285/286/287/288/289/290/291/292/293/294/295/296/297/298/299/300/301/302/303/304/305/306/307/308/309/310/311/312/313/314/315/316/317/318/319/320/321/322/323/324/325/326/327/328/329/330/331/332/333/334/335/336/337/338/339/340/341/342/343/344/345/346/347/348/349/350/351/352/353/354/355/356/357/358/359/360/361/362/363/364/365/366/367/368/369/370/371/372/373/374/375/376/377/378/379/380/381/382/383/384/385/386/387/388/389/390/391/392/393/394/395/396/397/398/399/400/401/402/403/404/405/406/407/408/409/410/411/412/413/414/415/416/417/418/419/420/421/422/423/424/425/426/427/428/429/430/431/432/433/434/435/436/437/438/439/440/441/442/443/444/445/446/447/448/449/450/451/452/453/454/455/456/457/458/459/460/461/462/463/464/465/466/467/468/469/470/471/472/473/474/475/476/477/478/479/480/481/482/483/484/485/486/487/488/489/490/491/492/493/494/495/496/497/498/499/500/501/502/503/504/505/506/507/508/509/510/511/512/513/514/515/516/517/518/519/520/521/522/523/524/525/526/527/528/529/530/531/532/533/534/535/536/537/538/539/540/541/542/543/544/545/546/547/548/549/550/551/552/553/554/555/556/557/558/559/560/561/562/563/564/565/566/567/568/569/570/571/572/573/574/575/576/577/578/579/580/581/582/583/584/585/586/587/588/589/590/591/592/593/594/595/596/597/598/599/600/601/602/603/604/605/606/607/608/609/610/611/612/613/614/615/616/617/618/619/620/621/622/623/624/625/626/627/628/629/630/631/632/633/634/635/636/637/638/639/640/641/642/643/644/645/646/647/648/649/650/651/652/653/654/655/656/657/658/659/660/661/662/663/664/665/666/667/668/669/670/671/672/673/674/675/676/677/678/679/680/681/682/683/684/685/686/687/688/689/690/691/692/693/694/695/696/697/698/699/700/701/702/703/704/705/706/707/708/709/710/711/712/713/714/715/716/717/718/719/720/721/722/723/724/725/726/727/728/729/730/731/732/733/734/735/736/737/738/739/740/741/742/743/744/745/746/747/748/749/750/751/752/753/754/755/756/757/758/759/760/761/762/763/764/765/766/767/768/769/770/771/772/773/774/775/776/777/778/779/780/781/782/783/784/785/786/787/788/789/790/791/792/793/794/795/796/797/798/799/800/801/802/803/804/805/806/807/808/809/810/811/812/813/814/815/816/817/818/819/820/821/822/823/824/825/826/827/828/829/830/831/832/833/834/835/836/837/838/839/840/841/842/843/844/845/846/847/848/849/850/851/852/853/854/855/856/857/858/859/860/861/862/863/864/865/866/867/868/869/870/871/872/873/874/875/876/877/878/879/880/881/882/883/884/885/886/887/888/889/890/891/892/893/894/895/896/897/898/899/900/901/902/903/904/905/906/907/908/909/910/911/912/913/914/915/916/917/918/919/920/921/922/923/924/925/926/927/928/929/930/931/932/933/934/935/936/937/938/939/940/941/942/943/944/945/946/947/948/949/950/951/952/953/954/955/956/957/958/959/960/961/962/963/964/965/966/967/968/969/970/971/972/973/974/975/976/977/978/979/980/981/982/983/984/985/986/987/988/989/990/991/992/993/994/995/996/997/998/999/1000/1001/1002/1003/1004/1005/1006/1007/1008/1009/1010/1011/1012/1013/1014/1015/1016/1017/1018/1019/1020/1021/1022/1023/1024/1025/1026/1027/1028/1029/1030/1031/1032/1033/1034/1035/1036/1037/1038/1039/1040/1041/1042/1043/1044/1045/1046/1047/1048/1049/1050/1051/1052/1053/1054/1055/1056/1057/1058/1059/1060/1061/1062/1063/1064/1065/1066/1067/1068/1069/1070/1071/1072/1073/1074/1075/1076/1077/1078/1079/1080/1081/1082/1083/1084/1085/1086/1087/1088/1089/1090/1091/1092/1093/1094/1095/1096/1097/1098/1099/1100/1101/1102/1103/1104/1105/1106/1107/1108/1109/1110/1111/1112/1113/1114/1115/1116/1117/1118/1119/1120/1121/1122/1123/1124/1125/1126/1127/1128/1129/1130/1131/1132/1133/1134/1135/1136/1137/1138/1139/1140/1141/1142/1143/1144/1145/1146/1147/1148/1149/1150/1151/1152/1153/1154/1155/1156/1157/1158/1159/1160/1161/1162/1163/1164/1165/1166/1167/1168/1169/1170/1171/1172/1173/1174/1175/1176/1177/1178/1179/1180/1181/1182/1183/1184/1185/1186/1187/1188/1189/1190/1191/1192/1193/1194/1195/1196/1197/1198/1199/1200/1201/1202/1203/1204/1205/1206/1207/1208/1209/1210/1211/1212/1213/1214/1215/1216/1217/1218/1219/1220/1221/1222/1223/1224/1225/1226/1227/1228/1229/1230/1231/1232/1233/1234/1235/1236/1237/1238/1239/1240/1241/1242/1243/1244/1245/1246/1247/1248/1249/1250/1251/1252/1253/1254/1255/1256/1257/1258/1259/1260/1261/1262/1263/1264/1265/1266/1267/1268/1269/1270/1271/1272/1273/1274/1275/1276/1277/1278/1279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- LEGEND**
- CATCHMENT ZONE
 - SUBSOIL DRAINAGE LINE
 - STORMWATER DRAINAGE LINE
 - STORMWATER PIT
 - 300mm GRATED OUTLET
 - STORMWATER HEADWALL
 - DOWNPIPE
 - CLEAR OUT
 - NO-RETENTION AREA



NO.	DESCRIPTION	DATE

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SHEPHERDS BAY STAGE 2 & 3

HYDRAULIC SERVICES UPPER BASEMENT LEVEL

DATE	ISSUED BY	DESIGNED BY	SCALE	NO. OF SHEETS	TOTAL SHEETS
OCT. 2014	AT	TH	1:250 @ B1		
PROJECT NO.	DRAWING NO.	SHEET NO.			
5730	SW-04	P1			

- NOTES**
- THE STORMWATER DRAINAGE IS DESIGNED IN CONJUNCTION WITH CIVIL AND WASTE MASTER PLAN DOCUMENT, WASTE MASTER PLAN REPORT FOR STAGES 2&3 & 4 BY THE CITY COUNCIL'S DEVELOPMENT CONTROL PLAN 2010 SECTION 6.
 - ALL DRAINAGE TO BE READ IN CONJUNCTION WITH ROAD STORMWATER ROAD INFRASTRUCTURE DRAWINGS FOR CONNECTIONS TO NO-RETENTION AREAS AND INFRASTRUCTURE TRUNK MAIN DESIGN.
 - ALL PREVIOUS RECURRENCE INTERVALS & RAINFALL INTENSITY DATA ARE BASED FROM INFORMATION COLLECTED FROM THE BUREAU OF METEOROLOGY.
 - PREVIOUS RECURRENCE INTERVALS (MEANWHILE):
 2010 - 100MM/HR
 2011 - 210MM/HR
 2014 - 230MM/HR
 - THE NATIONAL METHOD HAS BEEN ADOPTED FOR ALL SITE CATCHMENTS CALCULATIONS.

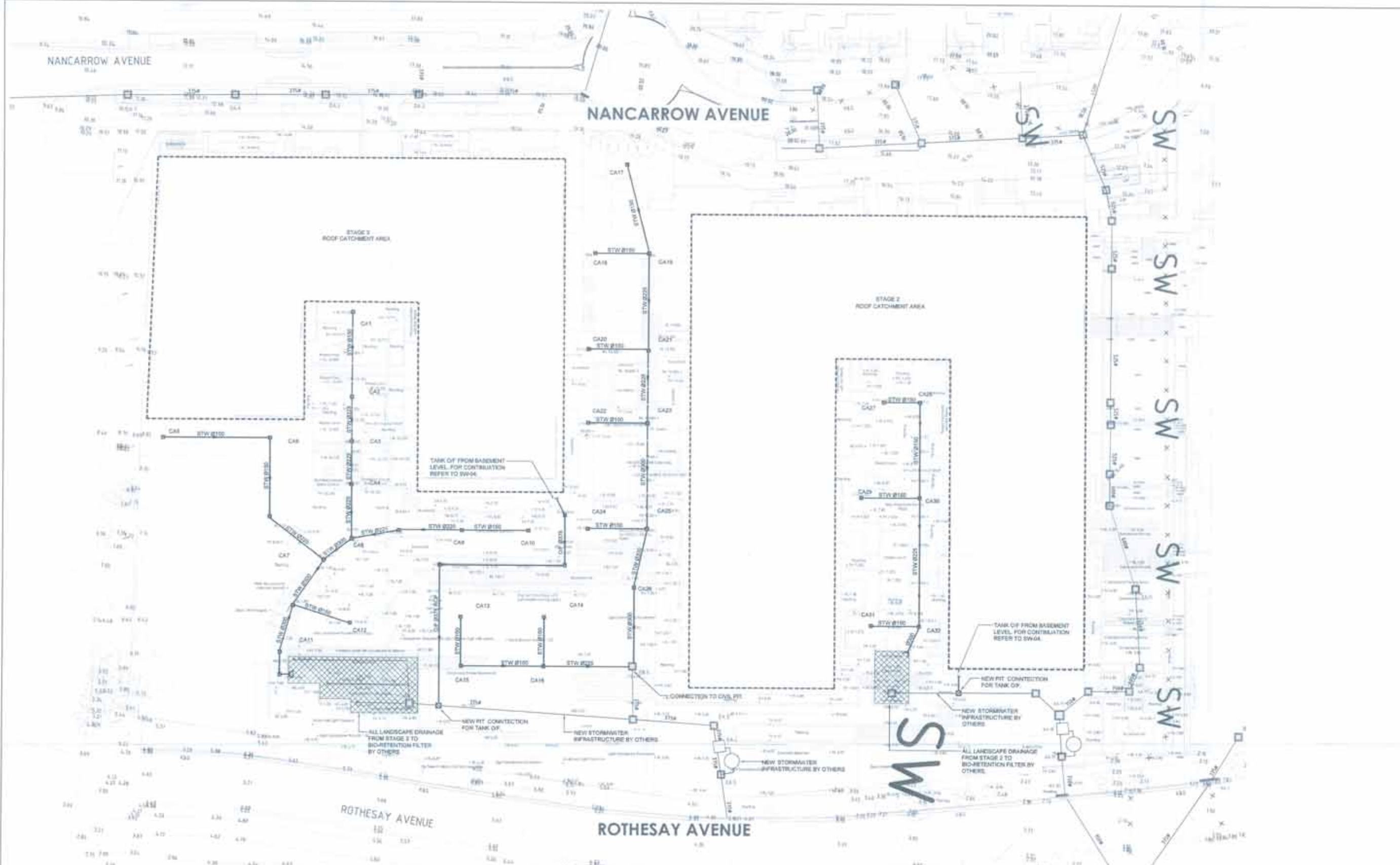
10% OF EACH BUILDING ROOF AREA ASSIGNED TO BE NON TRAFFICABLE AND DISCHARGE TO ASSOCIATED RAINWATER TANKS.

ALL LANDSCAPE AREA TO DISCHARGE TO NOTED NO-RETENTION FILTRATION BASIN, NO-RETENTION FILTRATION BASIN TO SOAK DESIGN DETAILS.

SEDIMENT AND OIL/SOIL CONTROL PLAN CONTAINS THE EXISTING SURVEY PLAN, THE CONCEPT STORMWATER DRAINAGE CONTAINS NEW ROAD SURVEY PLAN TO BETTER INDICATE NEW STORMWATER INFRASTRUCTURE AND EXTENSION TO HAMILTON CRESCENT.

ALL DOCUMENTATION USED TO DEVELOP DESIGN NOTED IN TABLE BELOW.

Category	Name	Document Type	Revision	Date
Carbide		WVOD Masterplan Strategy Report - Document No. 500255		2/24/04/2013
Waste City Council		Development Control Plan, Section 6		08/08
NSW & C		Shepherds Bay Macquarie Street Local Infrastructure Upgrade		C
		Final Assessment Report, Document No. 5.52074-001-0001		11/16/02/2014
Integrare		NAEP Sustainability Report		Draft 2/27/02/2014



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ISSUED BY THE ENGINEER AND SHOWN OUT OF THE PROJECT'S JURISDICTION.

LEGEND

- CATCHMENT ZONE
- SUBSOIL DRAINAGE LINE
- STORMWATER DRAINAGE LINE
- STORMWATER PIT
- 300mm² GRATED OUTLET
- STORMWATER HEADWALL
- DOWNPIPE
- CLEAR OUT
- BIO-RETENTION AREA

NO.	DESCRIPTION	DATE

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SHEPHERDS BAY STAGE 2 & 3

STORMWATER DRAINAGE DA SUBMISSION GROUND FLOOR LEVEL

DATE: OCT. 2014
 DRAWN BY: AT
 CHECKED BY: TN
 SCALE: 1:250 @ B1
 PROJECT NO: 5730
 SHEET NO: SW-05
 SHEET OF: P1

- REVISIONS**
- THE STORMWATER DRAINAGE IS DESIGNED IN CONJUNCTION WITH CURRENT WASTE WATER PLAN DOCUMENT AREA'S WASTE WATER PLANS FOR THE DATED 2014 & 2015 & RIDE CITY COUNCIL'S DEVELOPMENT CONTROL PLAN 2012 SECTION 8.
 - ALL DRAWINGS TO BE READ IN CONJUNCTION WITH SIZE STORMWATER ROAD INFRASTRUCTURE DRAWINGS FOR CONNECTIONS TO BIO-RETENTION AREAS AND INFRASTRUCTURE TRUNK MAIN DESIGN.
 - ALL AVERAGE RECURRENCE INTERVALS & RAINFALL INTENSITY DATA ARE BASED FROM INFORMATION COLLECTED FROM THE 'BUREAU OF METEOROLOGY'.

8. ALL DOCUMENTATION USED TO DEVELOP DESIGN NOTED IN TABLE BELOW.

Company Name	Document Type	Revision	Date
Centric	WSPD Masterplan Strategy Report - Document No. 900282		24/04/2013
Ride City Council	Development Control Plan, Section 8		2012
MS & E	Shepherds Bay Metropolitan Civil Infrastructure Upgrade	1	16/04/2014
	Flood Assessment Report - Document No. 23870-REP-001		16/04/2014
Hydrogeo	BA204 Sustainability Report	Draw	25/02/2014

STORMWATER

Refer to floor plans for some locations.

Catchment Zone	Area (ha)
CA1	0.016
CA2	0.051
CA3	0.011
CA4	0.017
CA5	0.009
CA6	0.001
CA7	0.014
CA8	0.011
CA9	0.019
CA10	0.014
CA11	0.021
CA12	0.018

Refer to floor plans for some locations.

Catchment Zone	Area (m ²)
CA13	0.0134
CA14	0.0277
CA15	0.0542
CA16	0.0137
CA17	0.0228
CA18	0.0222
CA19	0.0216
CA20	0.0236
CA21	0.013
CA22	0.0124
CA23	0.0112
CA24	0.0238
CA25	0.0113
CA26	0.0202

Refer to floor plans for some locations.

Catchment Zone	Area (ha)
CA27	0.011
CA28	0.0113
CA29	0.016
CA30	0.0147
CA31	0.0147
CA32	0.019

Roof Catchment to Rainwater Tanks

Catchment Zone	Area (ha)
CROCK1	0.008
CROCK2	0.008

9. THE NATIONAL METHOD HAS BEEN ADOPTED FOR ALL SITE CATCHMENTS CALCULATIONS.

DA Stage 2 & 3 - Sheet List		
Sheet Number/Rev	Sheet Name	Print Set
DA-23-000/A	STAGE 2&3 - Cover Sheet	B1 & A3
DA-23-001/A	STAGE 2&3 - SITE PLAN	B1 & A3
DA-23-100/A	STAGE 2&3 - LOWER BASEMENT	B1 & A3
DA-23-101/A	STAGE 2&3 - BASEMENT	B1 & A3
DA-23-102/A	STAGE 2&3 - UPPER BASEMENT	B1 & A3
DA-23-103/A	STAGE 2&3 - LOWER GROUND	B1 & A3
DA-23-104/A	STAGE 2&3 - GROUND LEVEL	B1 & A3
DA-23-105/A	STAGE 2&3 - LEVEL 1	B1 & A3
DA-23-106/A	STAGE 2&3 - LEVEL 2	B1 & A3
DA-23-107/A	STAGE 2&3 - LEVEL 3	B1 & A3
DA-23-108/A	STAGE 2&3 - LEVEL 4	B1 & A3
DA-23-109/A	STAGE 2&3 - LEVEL 5	B1 & A3
DA-23-110/A	STAGE 2&3 - LEVEL 6	B1 & A3
DA-23-111/A	STAGE 2&3 - LEVEL 7	B1 & A3
DA-23-112/A	STAGE 2&3 - LEVEL 8	B1 & A3
DA-23-113/A	STAGE 2&3 - LEVEL 9	B1 & A3
DA-23-114/A	STAGE 2&3 - LEVEL 10	B1 & A3
DA-23-115/A	STAGE 2&3 - LEVEL 11	B1 & A3
DA-23-116/A	STAGE 2&3 - ROOF	B1 & A3
DA-23-201/A	NORTH ELEVATIONS	B1 & A3
DA-23-202/A	EAST ELEVATIONS - 1	B1 & A3
DA-23-203/A	EAST ELEVATIONS - 2	B1 & A3
DA-23-204/A	SOUTH ELEVATIONS	B1 & A3
DA-23-205/A	WEST ELEVATIONS - 1	B1 & A3
DA-23-206/A	WEST ELEVATIONS - 2	B1 & A3
DA-23-301/A	SECTIONS STAGE 2 & 3	B1 & A3
DA-23-302/A	STAGE 2 SECTIONS - 1	B1 & A3
DA-23-303/A	STAGE 2 SECTIONS - 2	B1 & A3
DA-23-304/A	STAGE 3 SECTIONS - 1	B1 & A3
DA-23-501/A	STAGE 2 SCHEDULES	B1 & A3
DA-23-502/A	STAGE 3 SCHEDULES	B1 & A3
DA-23-600/A	STAGE 2&3 - SHADOW DIAGRAMS	B1 & A3
DA-23-701/A	STAGE 2&3 - EXTERIOR FINISHES Sheet 1	B1 & A3
DA-23-801/A	STAGE 2&3 - Amenities Sheet 1	A3 Only
DA-23-802/A	STAGE 2&3 - Amenities Sheet 2	A3 Only
DA-23-803/A	STAGE 2&3 - Amenities Sheet 3	A3 Only
DA-23-804/A	STAGE 2&3 - Amenities Sheet 4	A3 Only
DA-23-805/A	STAGE 2&3 - Amenities Sheet 5	A3 Only
DA-23-806/A	STAGE 2&3 - Amenities Sheet 6	A3 Only
DA-23-807/A	STAGE 2&3 - Amenities Sheet 7	A3 Only
DA-23-808/A	STAGE 2&3 - Amenities Sheet 8	A3 Only

P2&3 PARKING SCHEDULE	
Type	Count
04 Lower BASEMENT	
Single Disabled	19
Single Space	207
Tandem Front	12
Tandem Rear	12
	250
03 BASEMENT	
Single Disabled	15
Single Space	93
Visitor Space	91
	199
02 UPPER BASEMENT	
Single Disabled	11
Single Space	145
	156
Grand total	605

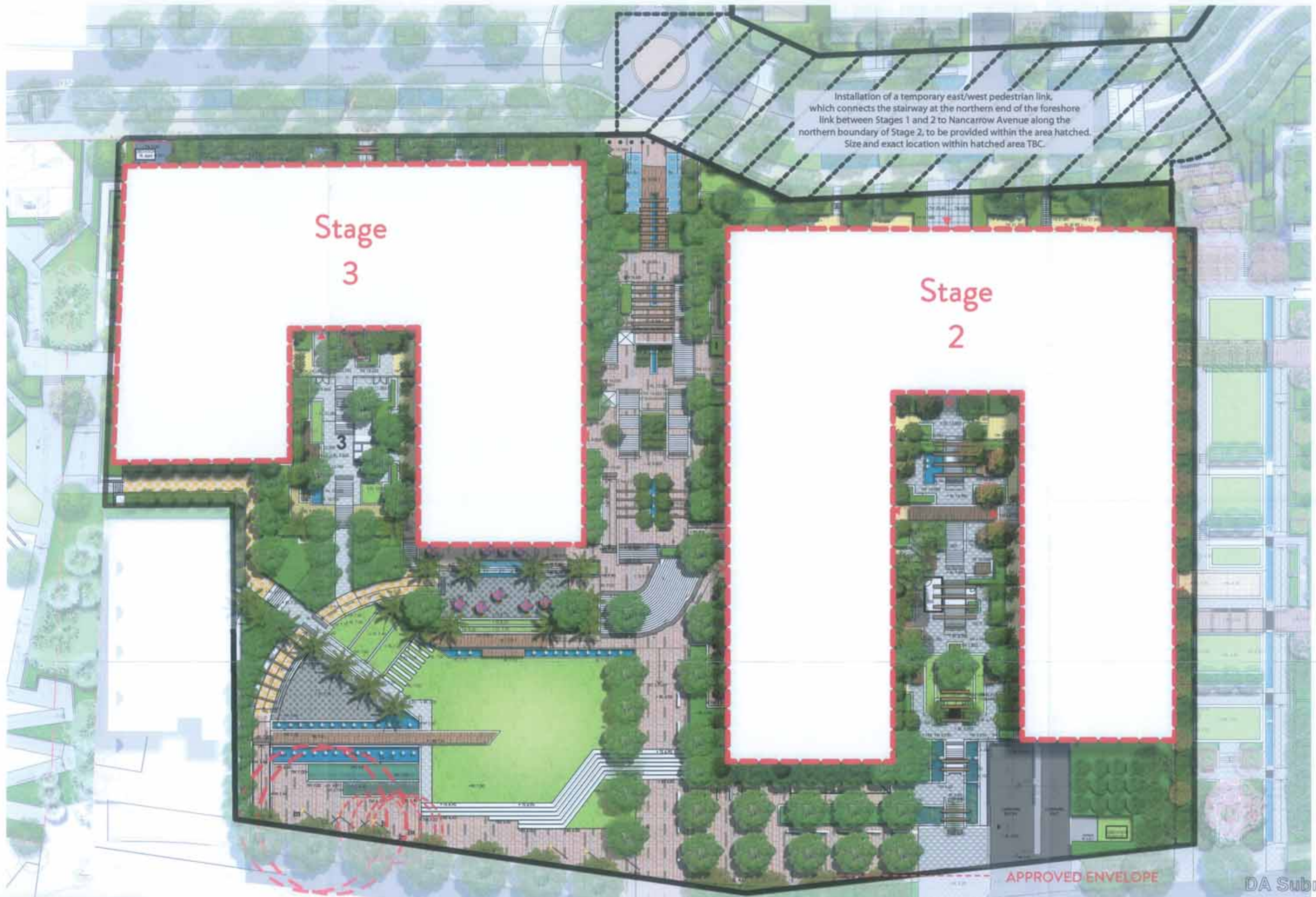
P2&3 PARKING SCHEDULE - No...	
Type	Count
04 Lower BASEMENT	
Single Disabled	19
Single Space	207
Tandem Front	12
	238
03 BASEMENT	
Single Disabled	15
Single Space	93
Visitor Space	91
	199
02 UPPER BASEMENT	
Single Disabled	11
Single Space	145
	156
Grand total	593

Unit MIX - Stage 2	
TYPE	Count
1B	114
2B	96
3B	11
LOFT	8
STUDIO	1
	232

Unit MIX - Stage 3	
TYPE	Count
1B	113
2B	96
3B	8
LOFT	4
STUDIO	2
	221

Unit MIX - Stage 2 & 3	
TYPE	Count
1B	227
2B	194
3B	17
LOFT	12
STUDIO	3
	453



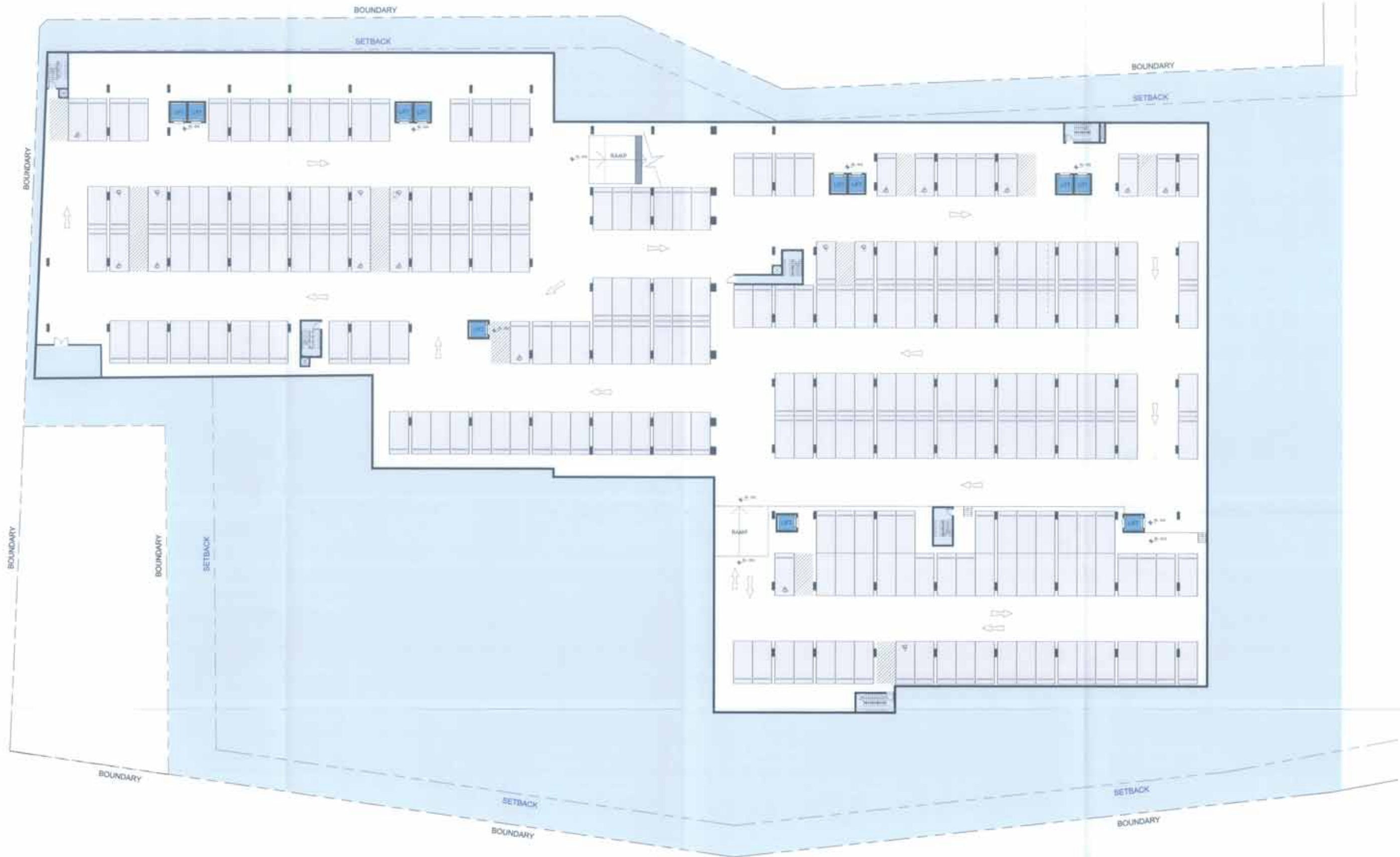


Installation of a temporary east/west pedestrian link, which connects the stairway at the northern end of the foreshore link between Stages 1 and 2 to Nancarrow Avenue along the northern boundary of Stage 2, to be provided within the area hatched. Size and exact location within hatched area TBC.

Stage
3

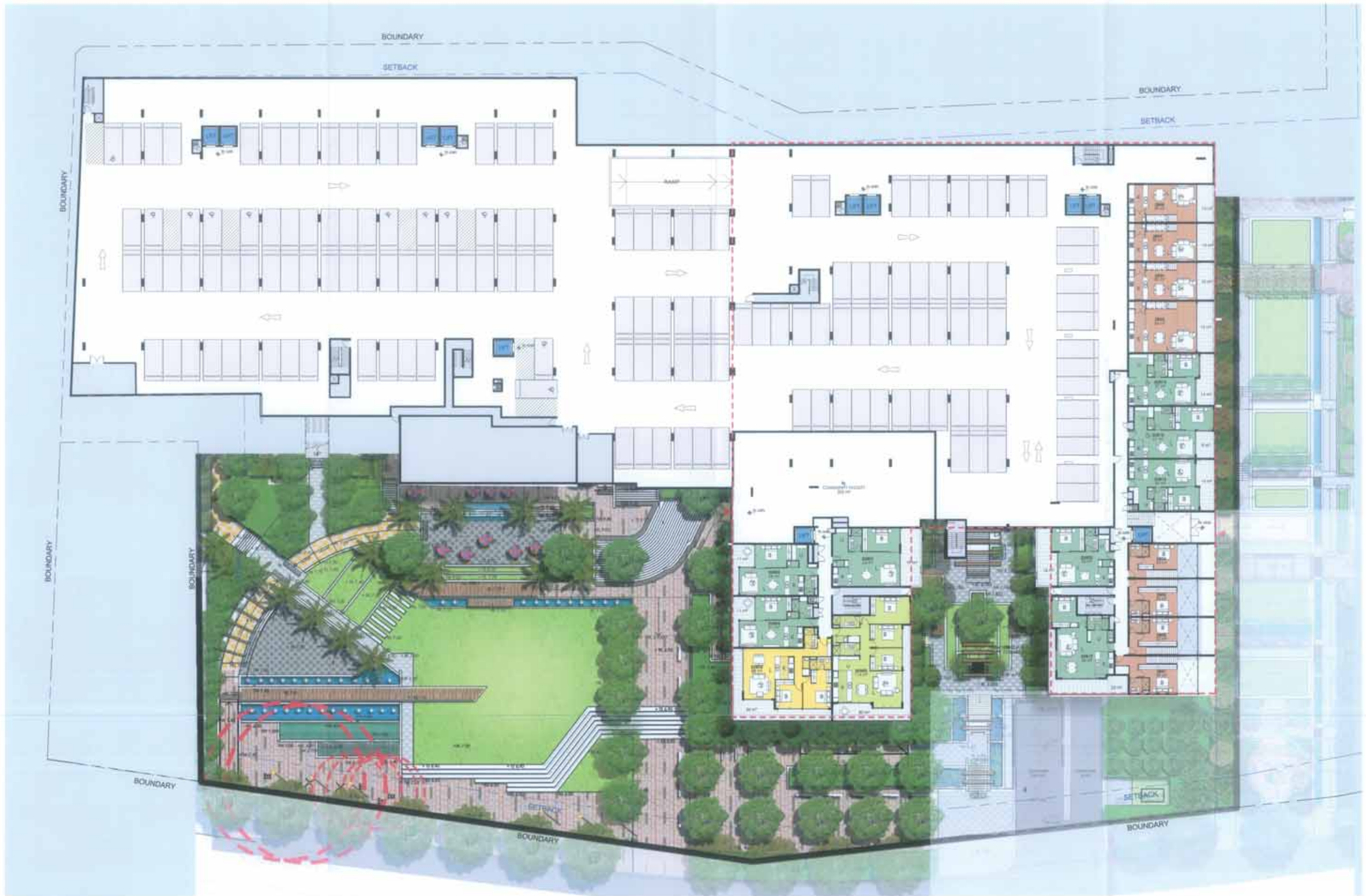
Stage
2

APPROVED ENVELOPE

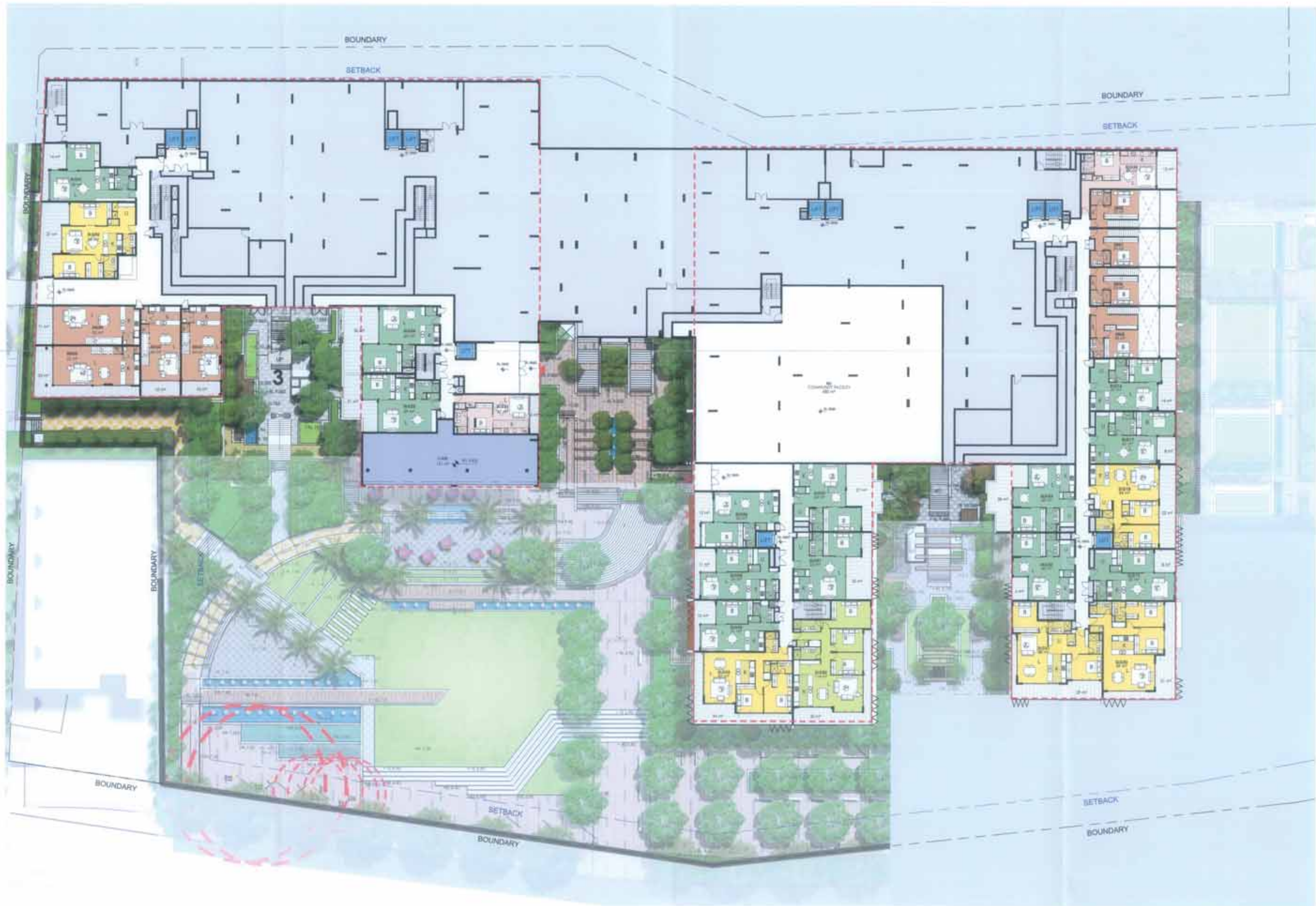




 = VISITOR PARKING



--- APPROVED ENVELOPE



--- APPROVED ENVELOPE

DA Submission

DEVELOPMENT APPLICATION
Concept Plan Approval

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REV	DATE	DESCRIPTION	BY
1	19/12/2014	ISSUE FOR APPROVAL	AL



DRAWING TITLE
STAGE 2&3 - LOWER GROUND

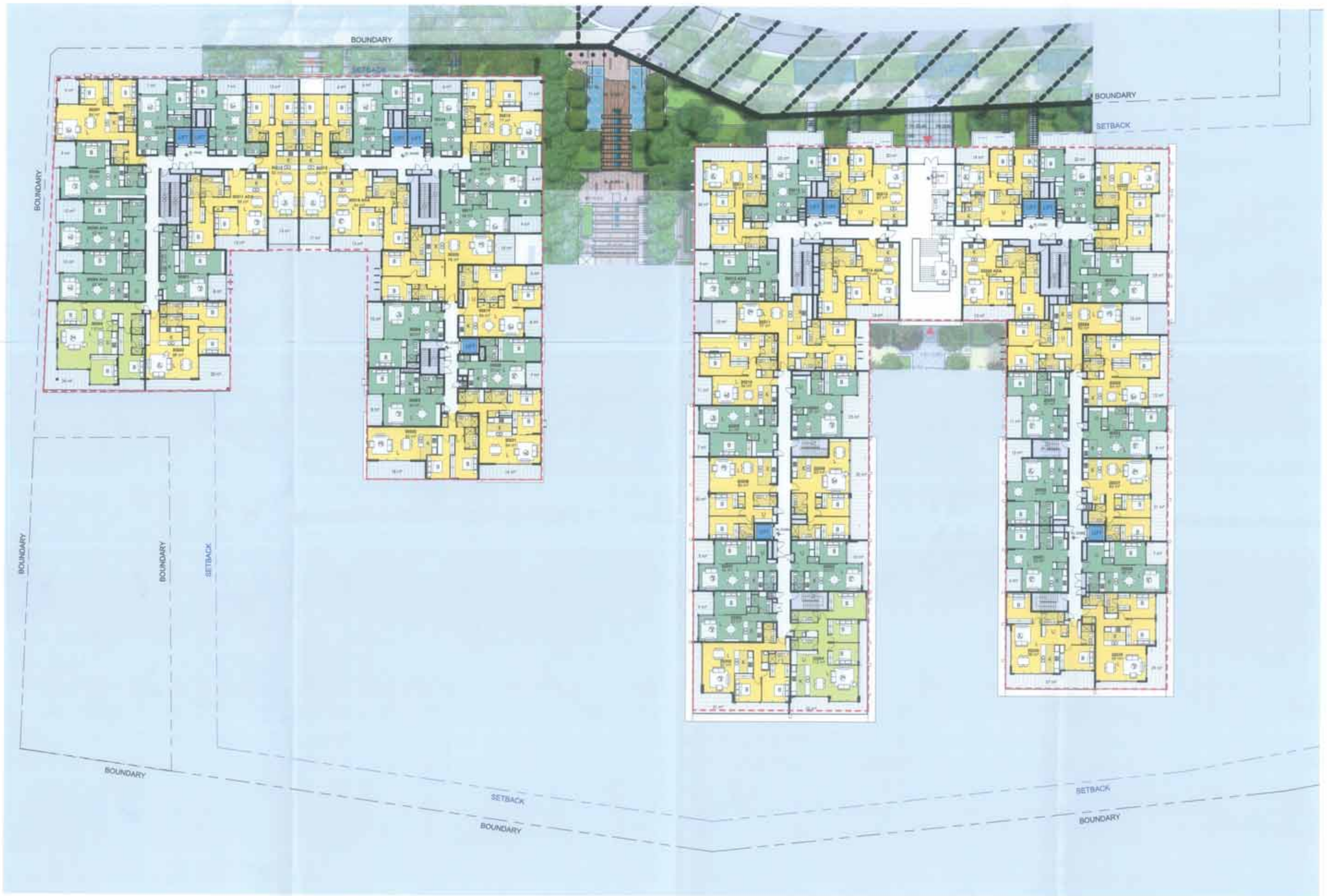
SCALE: 1:200 (B1)
DATE: 19th December 2014
PROJECT # 10068-3

Drawing Number:
DA-23-103/A



--- APPROVED ENVELOPE





--- APPROVED ENVELOPE

DA Submission

DEVELOPMENT APPLICATION
 Concept Plan Approval
 (MP 09 0216)

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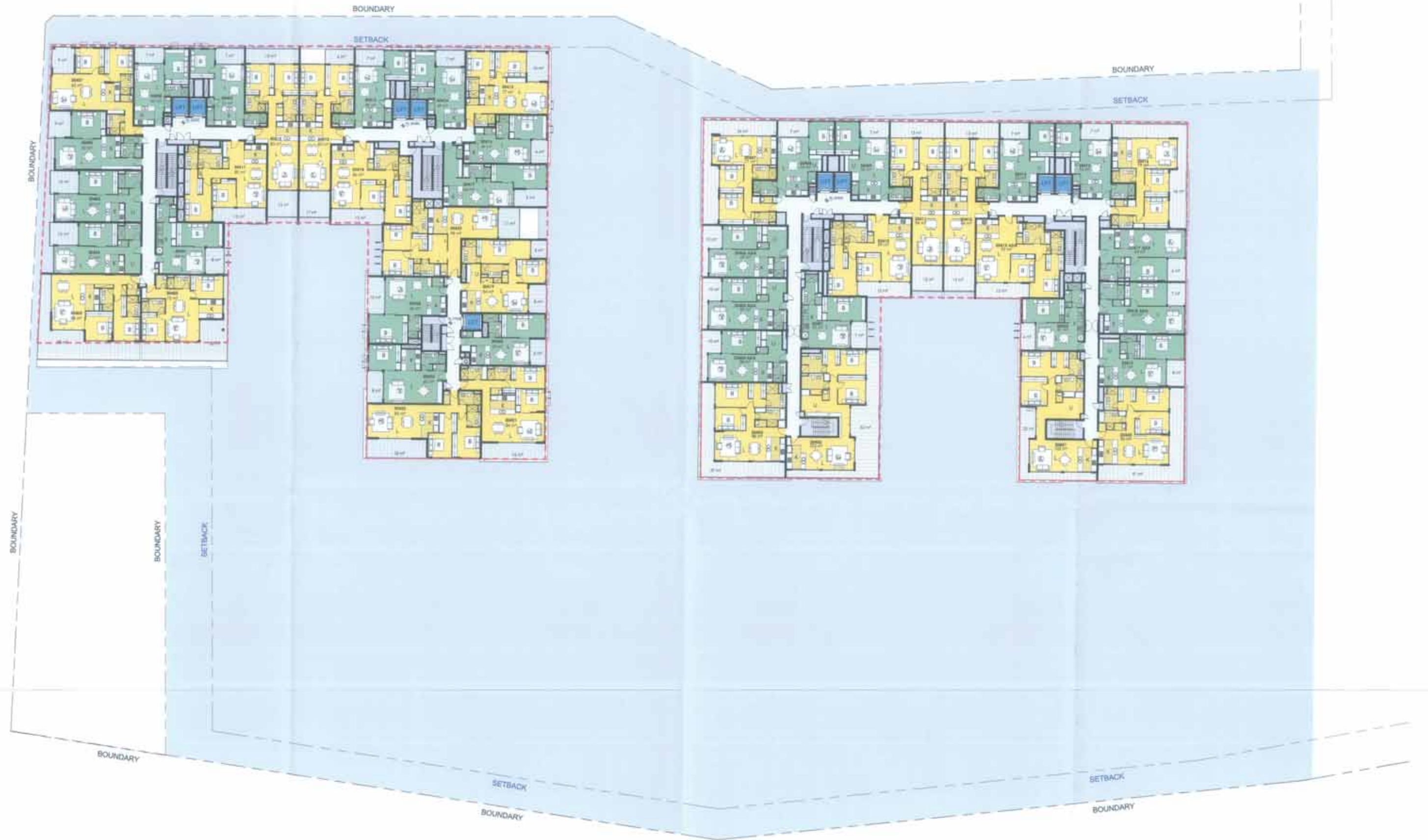
REV	DATE	DESCRIPTION	BY
1	19/12/2014	DA SUBMISSION	MS



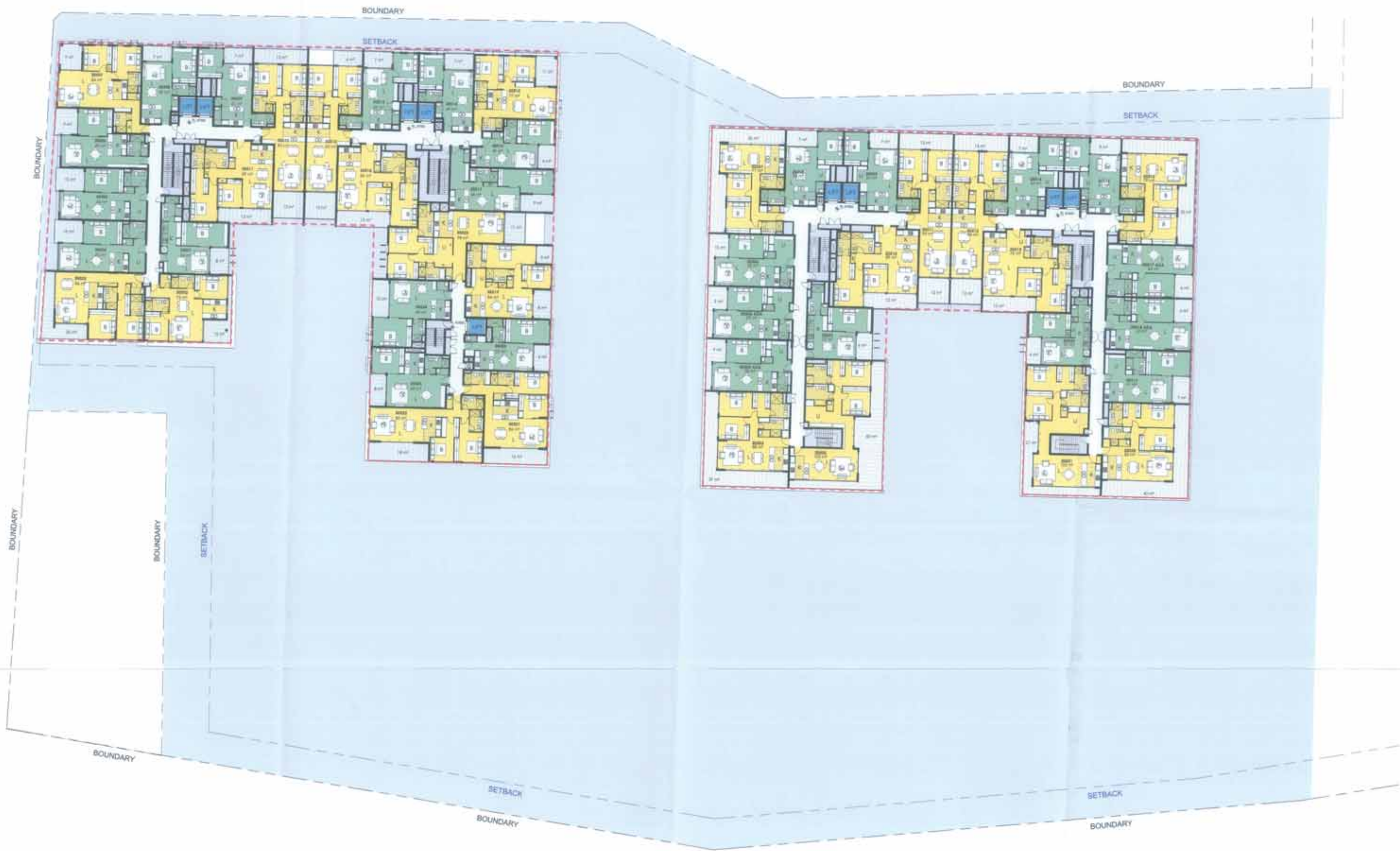
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STAGE 2&3 - LEVEL 2
 SCALE: 1:200 (B8)
 DATE: 19th December 2014
 PROJECT # 10068-1
 Drawing Number
DA-23-106/A

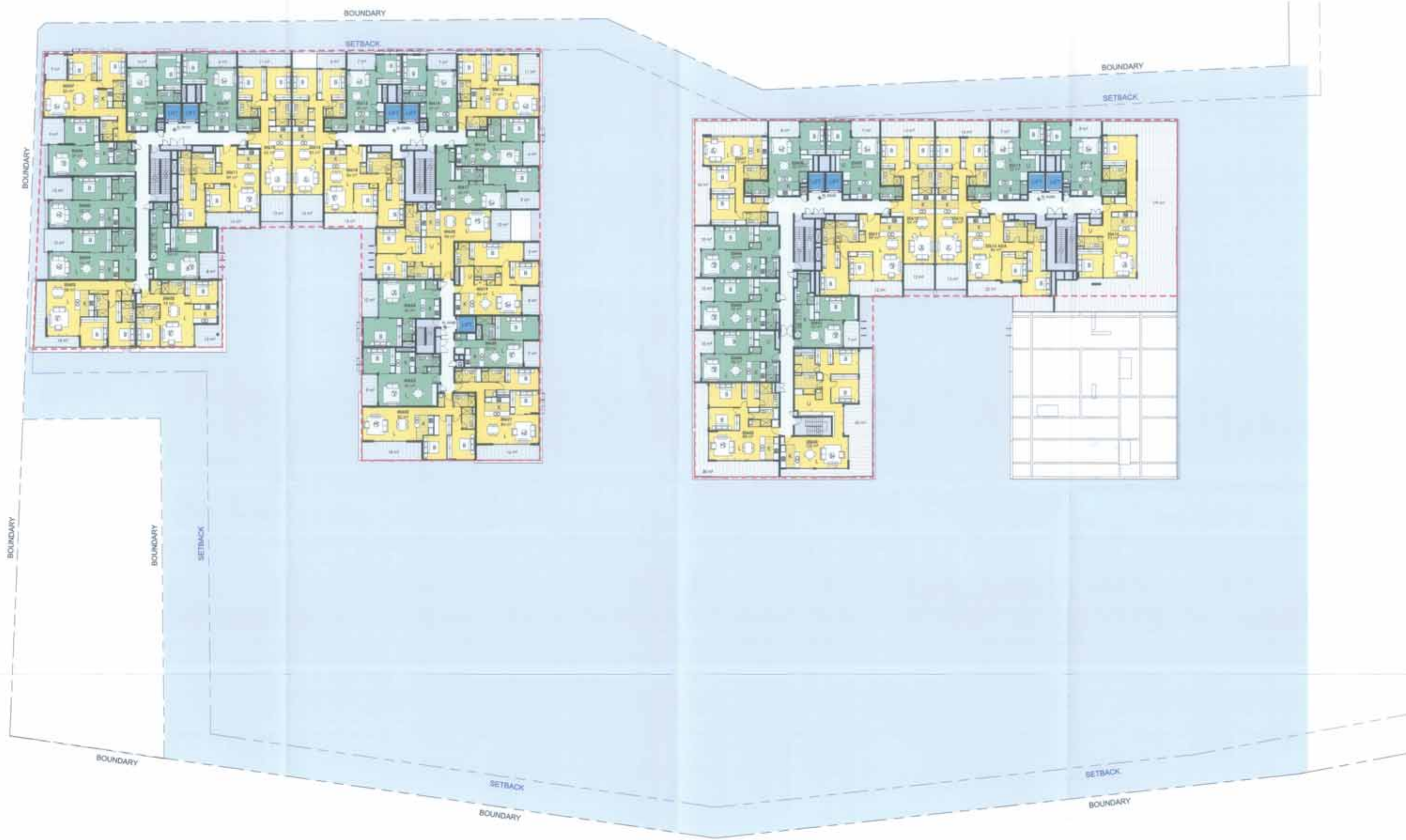


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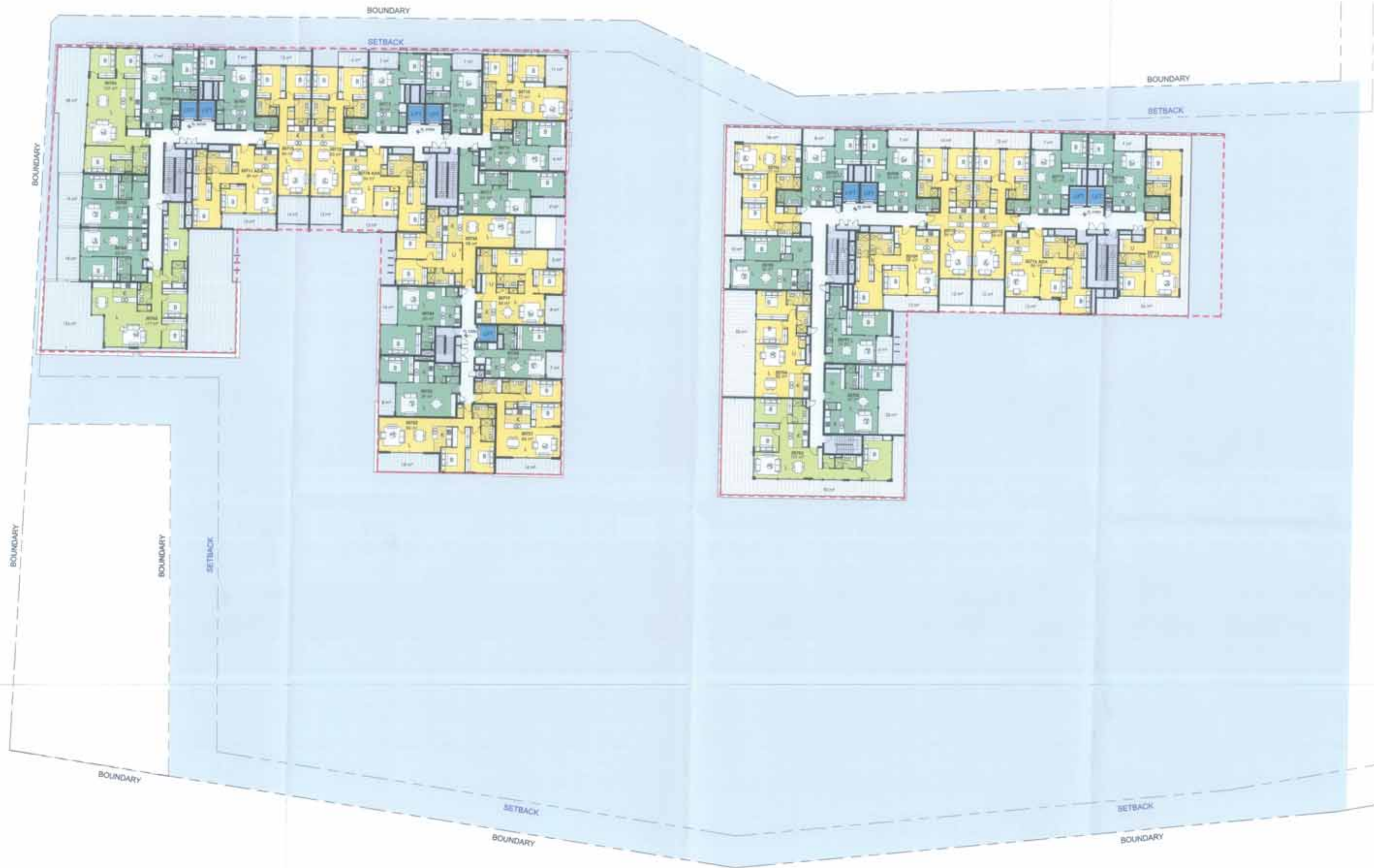


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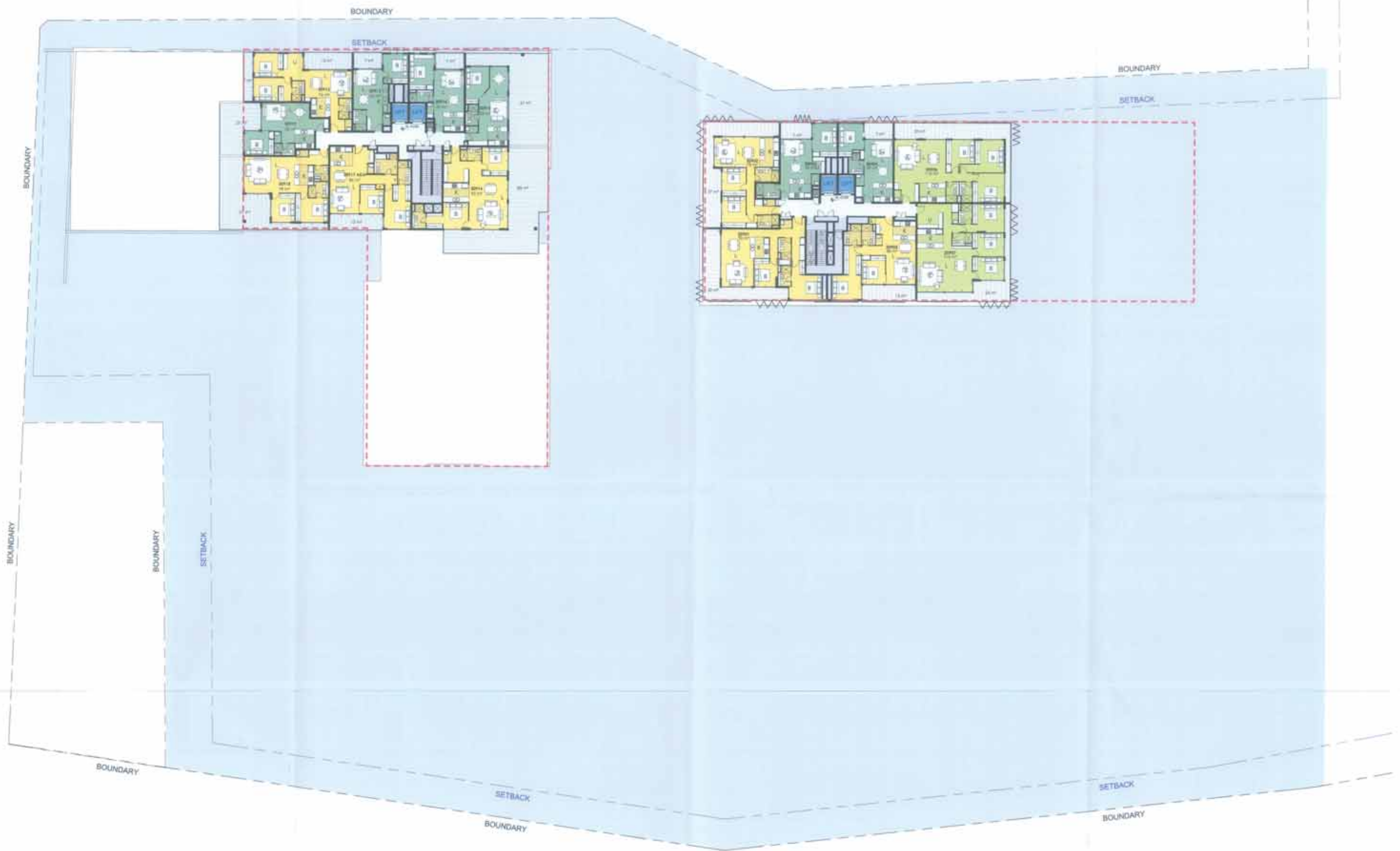
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--- APPROVED ENVELOPE



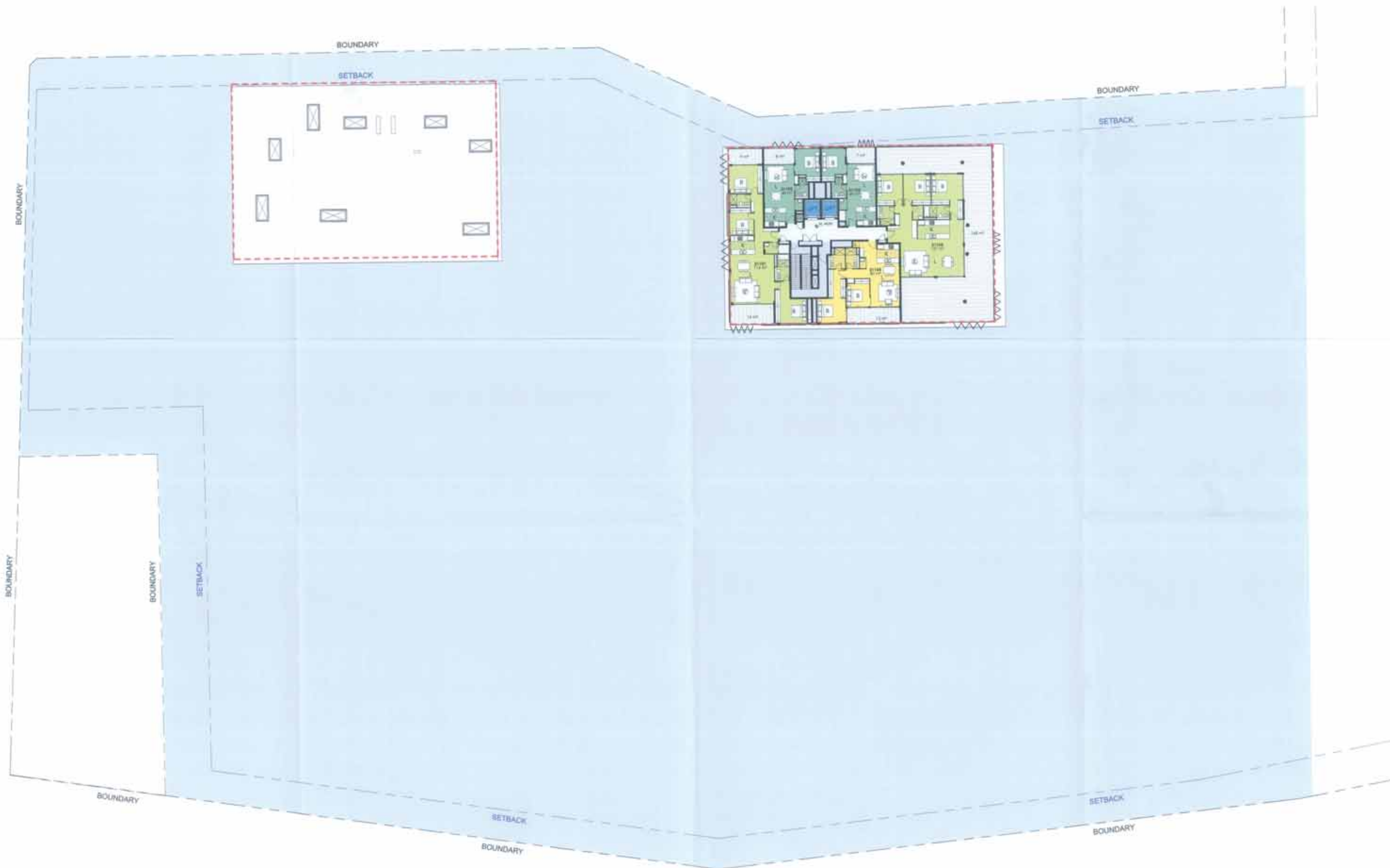
--- APPROVED ENVELOPE



--- APPROVED ENVELOPE



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DA Submission

DEVELOPMENT APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 2 & 3

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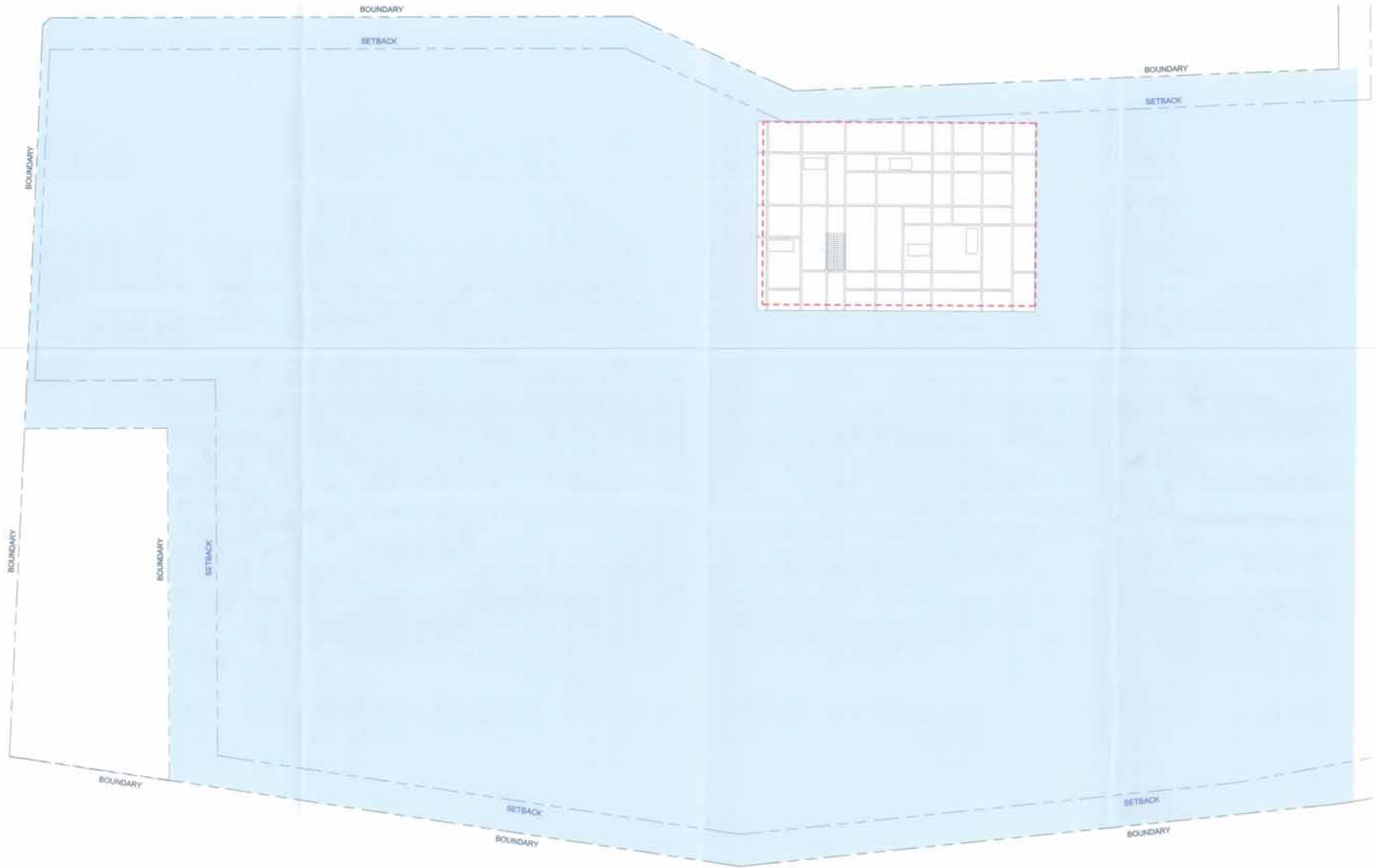
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 Storage allocations and sizes are not necessarily shown on the drawings and are subject to change.

REV	DATE	DESCRIPTION
1	19/12/2014	ISSUE FOR PERMIT



DRAWING TITLE
STAGE 2&3 - LEVEL 11
 SCALE: 1:200 (BIM)
 DATE: 19th December 2014
 PROJECT # 10068-B
 Drawing Number
DA-23-115/A
ROBERTSON+MARKS



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DA Submission

DEVELOPMENT APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 2 & 3

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REVISIONS		
Rev	Date	Description
1	16/05/2014	ISSUE FOR PERMIT



DRAWING TITLE
STAGE 2&3 - ROOF
 SCALE: 1:200 (B1)
 DATE: 19th December 2014
 PROJECT # 10066-3
 Drawing Number
DA-23-116/A
ROBERTSON+MARKS

NORTH ELEVATION



STAGE 2

STAGE 3

----- APPROVED ENVELOPE

EAST ELEVATION



STAGE 2

----- APPROVED ENVELOPE

DA Submission

DEVELOPMENT APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 2 & 3

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REV	DATE	DESCRIPTION	BY	APP
1	19/12/2024	DA SUBMISSION		



DRAWING TITLE
EAST ELEVATIONS - 1
 SCALE: 1:200 @B1
 DATE: 19th December 2024
 PROJECT # 10068-3
 Drawing Number
DA-23-202/A
ROBERTSON+MARKS

SOUTH ELEVATION



STAGE 3

STAGE 2

----- APPROVED ENVELOPE

WEST ELEVATION



STAGE 2

APPROVED ENVELOPE

DA Submission

DEVELOPMENT
APPLICATION
Concept Plan Approval
(MP 09_0216)
STAGE 2 & 3

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REV	DATE	DESCRIPTION	BY
1	19/12/2014	ISSUE FOR PERMIT	RM

TRUE NORTH & KEY PLAN



DRAWING TITLE
WEST ELEVATIONS - 1

SCALE: 1:200 (BB)
DATE: 19th December 2014
PROJECT #: 10568-3
Drawing Number
DA-23-205/A

ROBERTSON+MARKS

WEST ELEVATION



STAGE 3

APPROVED ENVELOPE

DA Submission

DEVELOPMENT
APPLICATION
Concept Plan Approval
(MP 09_0216)
STAGE 2 & 3

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Articulations shown on the facade are indicative only and are subject to further design development and change.
Screen articulations and screen material to be confirmed.

REV	DATE	DESCRIPTION	BY
1	19/12/2014	DA Submission	RM

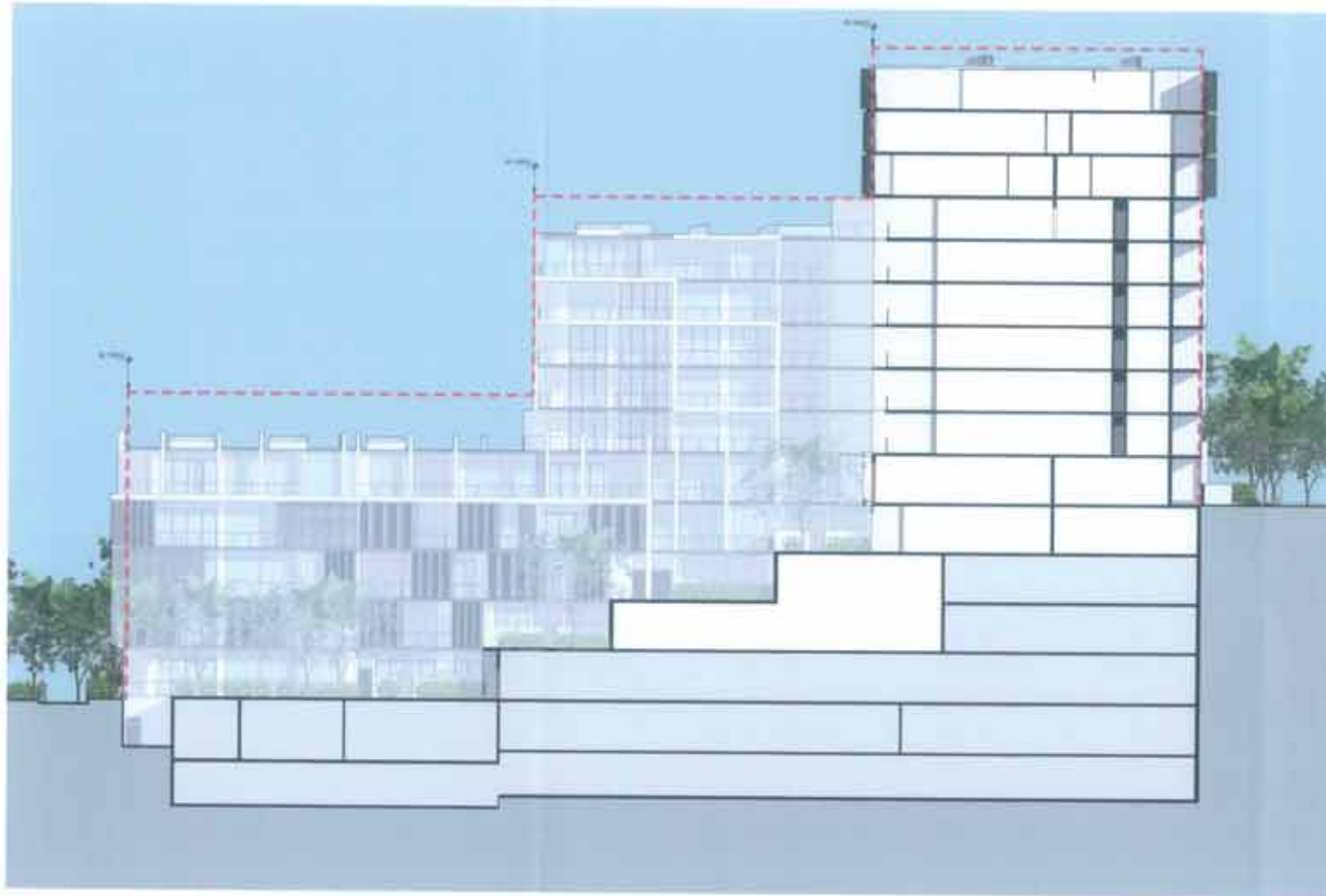
TRUE NORTH & KEY PLAN



DRAWING TITLE
WEST ELEVATIONS - 2

SCALE: 1:200 (B1)
DATE: 19th December 2014
PROJECT # 10066-2
Drawing Number
DA-23-206/A

EAST SECTION



STAGE 2



STAGE 3

----- APPROVED ENVELOPE

DA Submission

DEVELOPMENT APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 2 & 3

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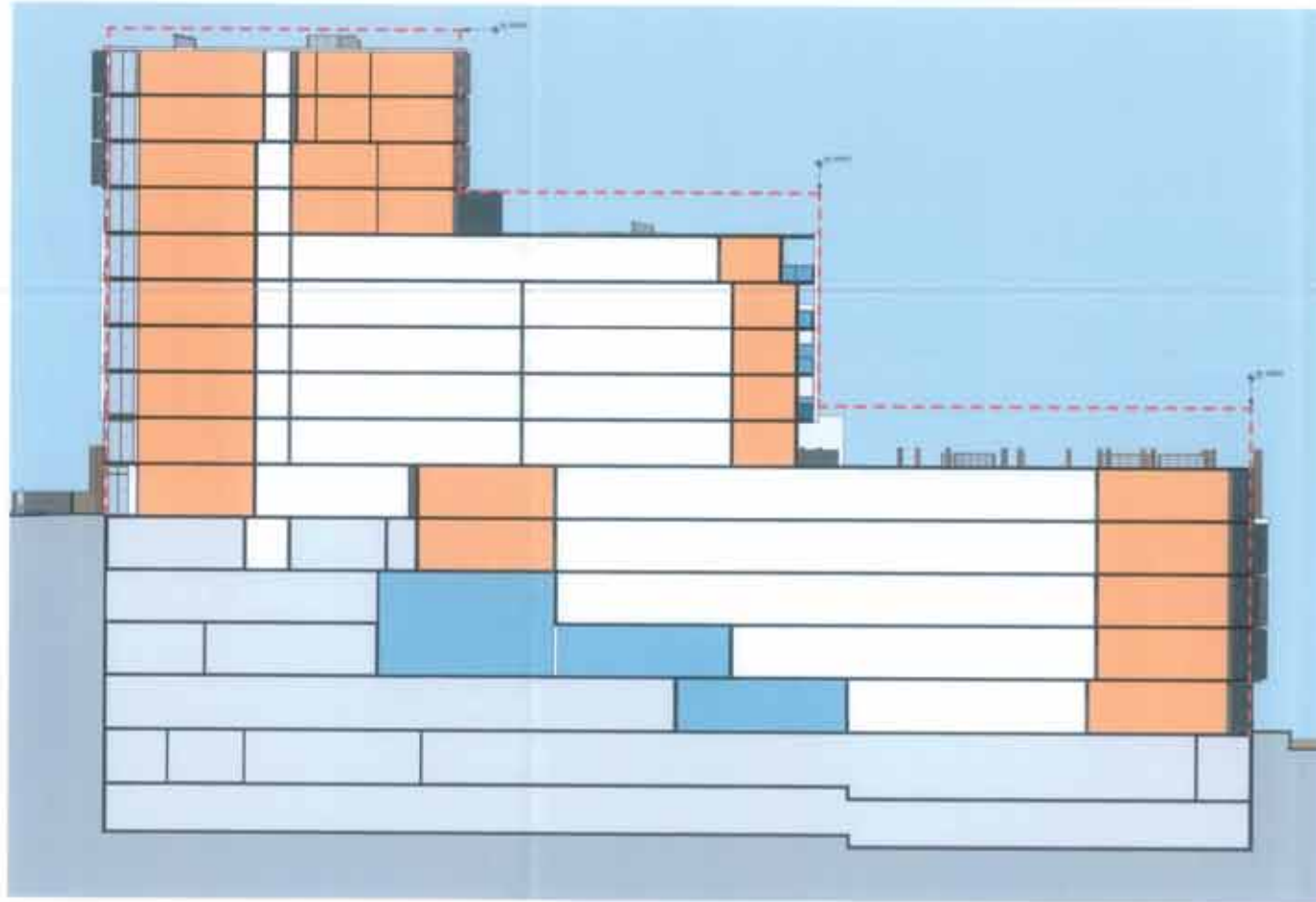
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 Storage situations and areas are not necessarily shown on the drawings and are subject to change.

REVISED	DATE	DESCRIPTION	BY
1	19/12/2014	ISSUE FOR DA	AD

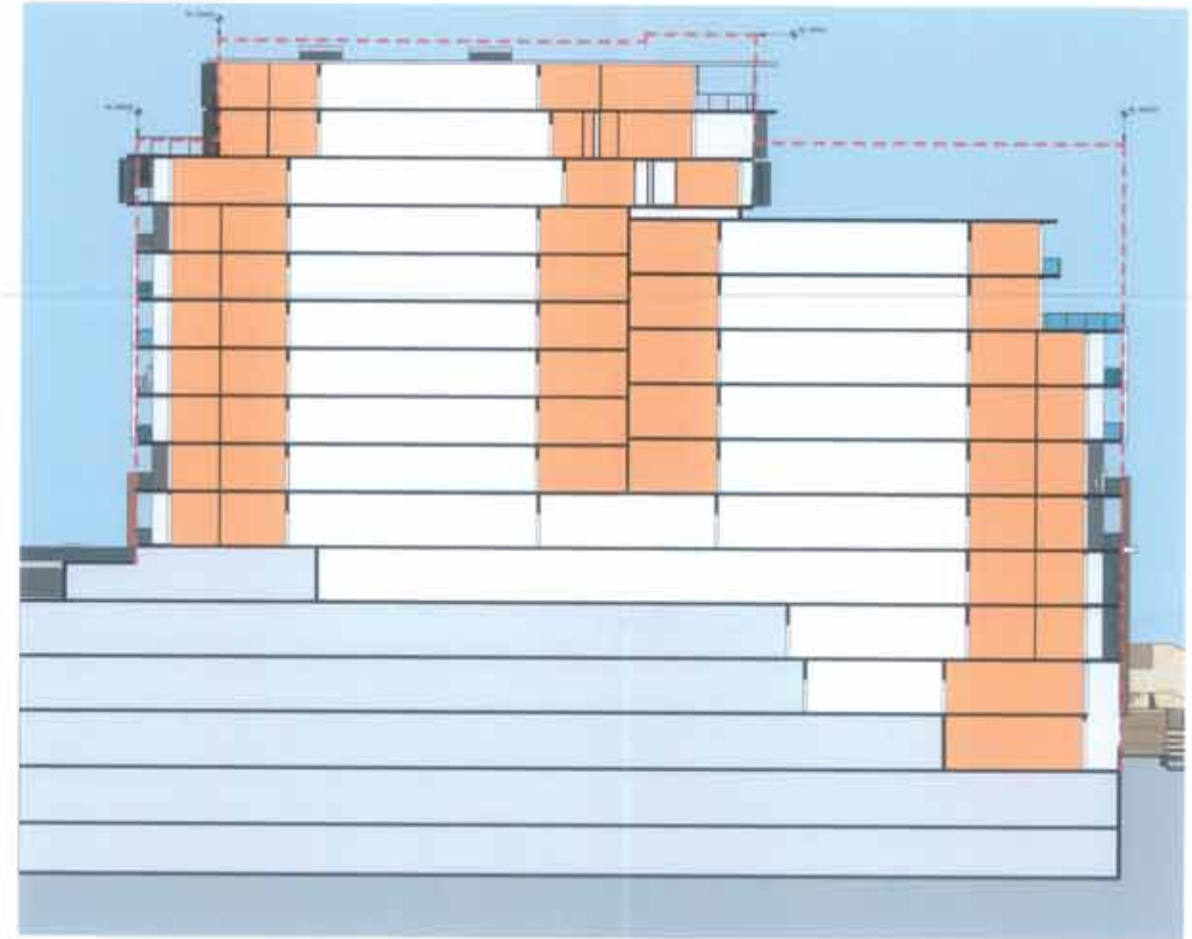


DRAWING TITLE
SECTIONS STAGE 2 & 3
 SCALE: 1:200 (B1)
 DATE: 19th December 2014
 PROJECT # 10048-3
 Drawing Number
DA-23-301/A
ROBERTSON+MARKS

STAGE 2



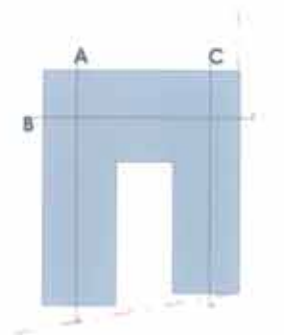
SECTION A



SECTION B

RESIDENTIAL
 CORRIDORS
 COMMUNITY
 CAFE
 CAR PARKING, STORAGE, PLANT

--- APPROVED ENVELOPE



DA Submission

DEVELOPMENT APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 2 & 3

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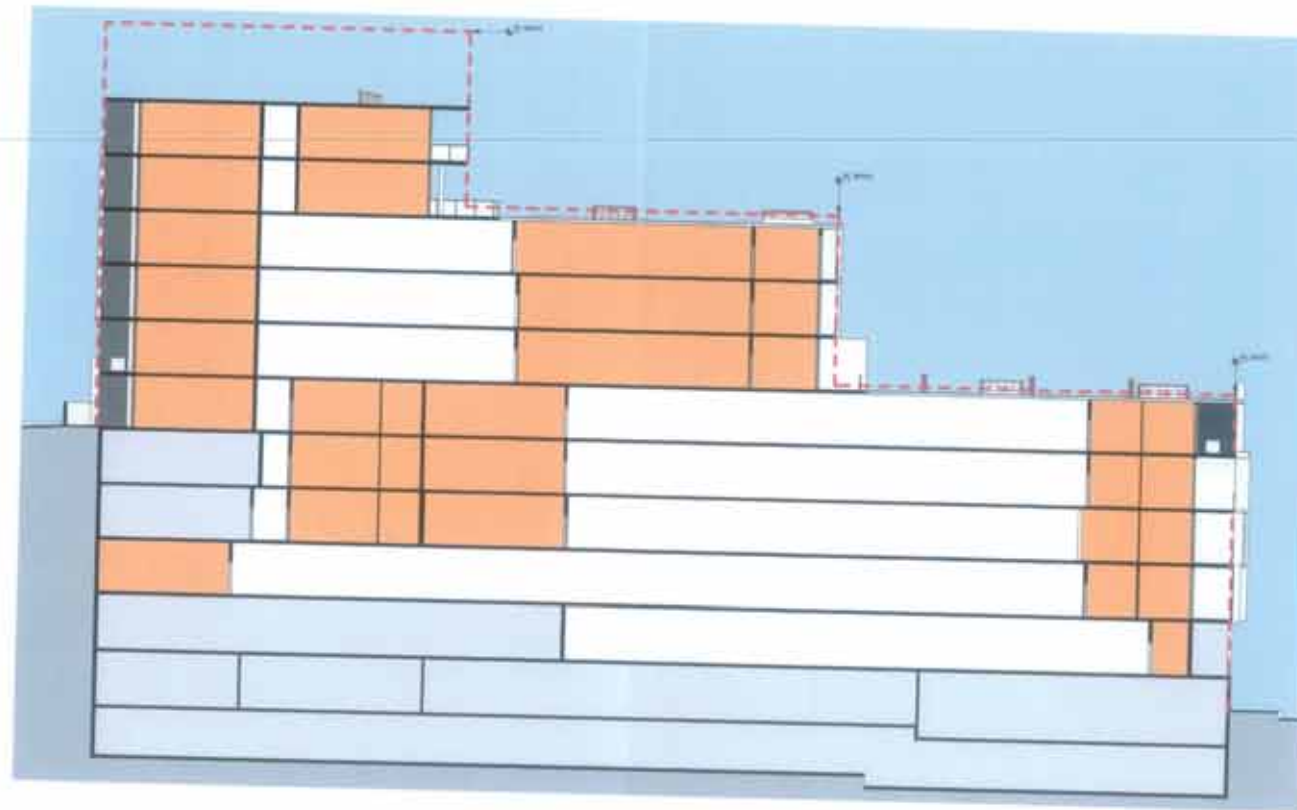
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REV.	DATE	DESCRIPTION	BY
1	19/12/2014	ISSUE FOR PERMIT	RM

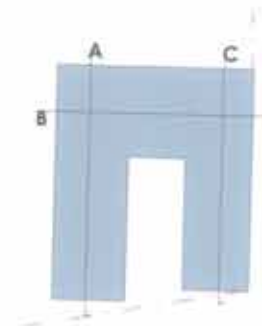
TRUE NORTH & KEY PLAN

DRAWING TITLE
STAGE 2 SECTIONS - 1
 SCALE: As indicated (B1)
 DATE: 19th December 2014
 PROJECT # 10068-3
 Drawing Number
DA-23-302/A
ROBERTSON+MARKS

STAGE 2



SECTION C



- RESIDENTIAL
- CORRIDORS
- COMMUNITY
- CAFE
- CAR PARKING, STORAGE, PLANT

----- APPROVED ENVELOPE

DEVELOPMENT APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 2 & 3

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REV	DATE	DESCRIPTION	BY
1	15/12/2014	ISSUED FOR PERMIT	AM



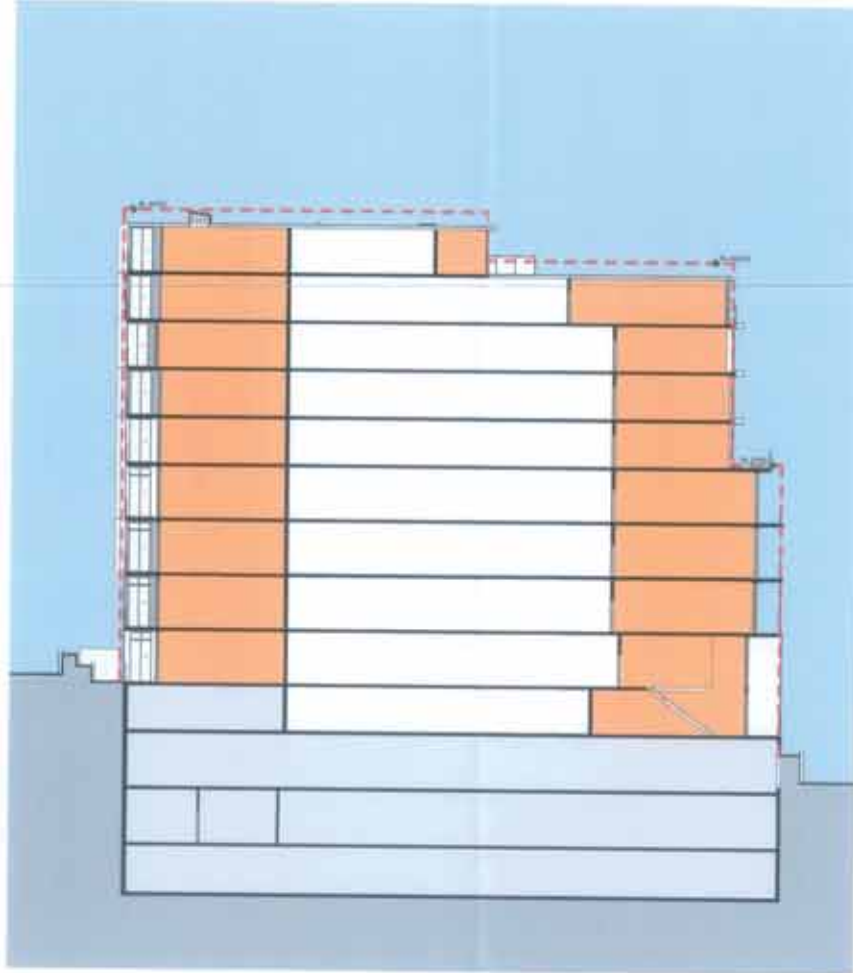
DA Submission

DRAWING TITLE
STAGE 2 SECTIONS - 2

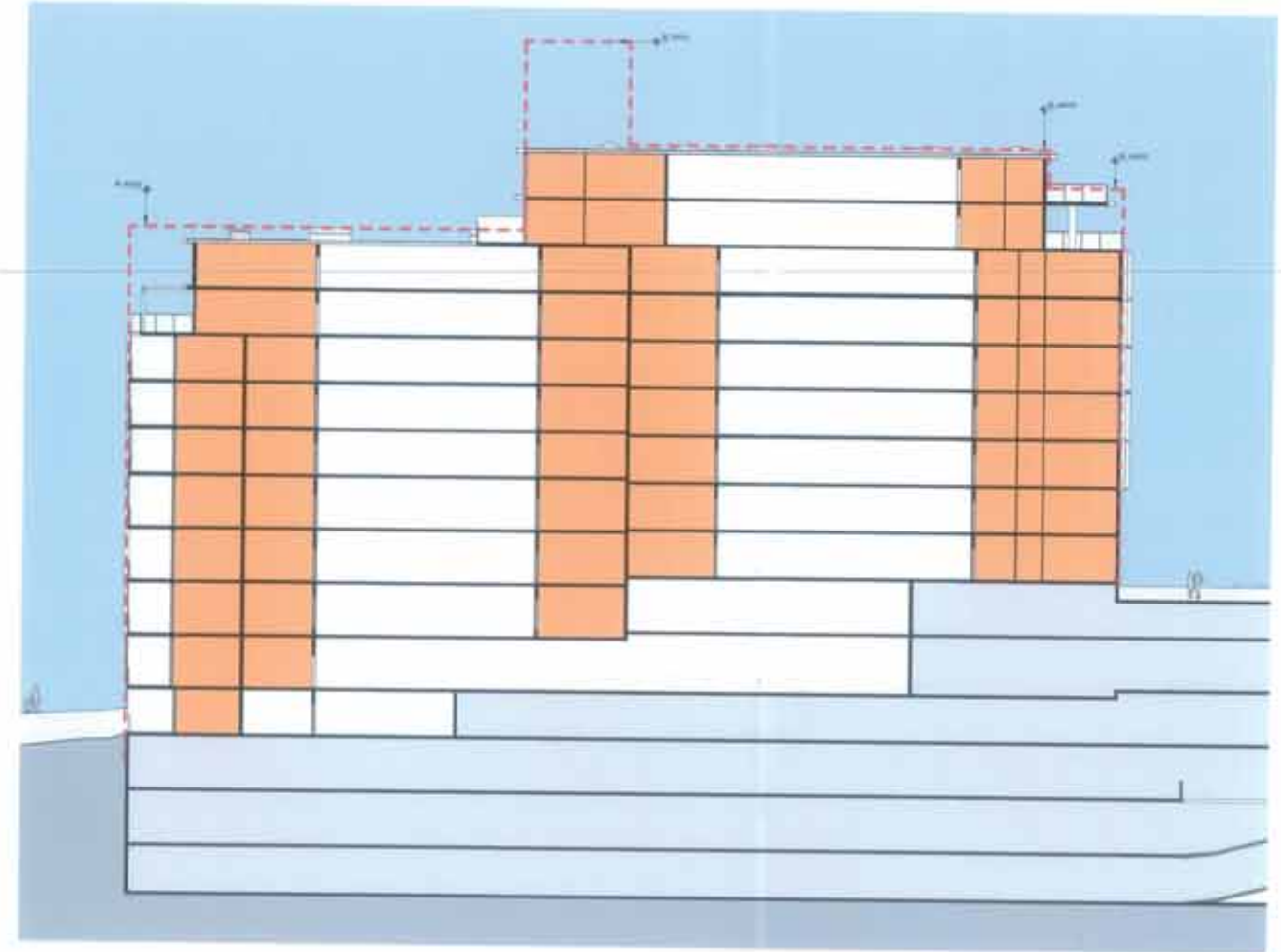
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 DATE: 15th December 2014
 PROJECT # 10068.3

Drawing Number
DA-23-303/A

STAGE 3



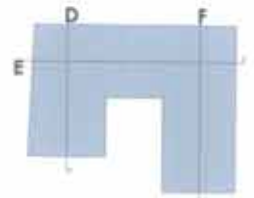
SECTION D



SECTION E

RESIDENTIAL
 CORRIDORS
 COMMUNITY
 CAFE
 CAR PARKING, STORAGE, PLANT

--- APPROVED ENVELOPE



DEVELOPMENT APPLICATION
 Concept Plan Approval
 (MP 09_0216)
 STAGE 2 & 3

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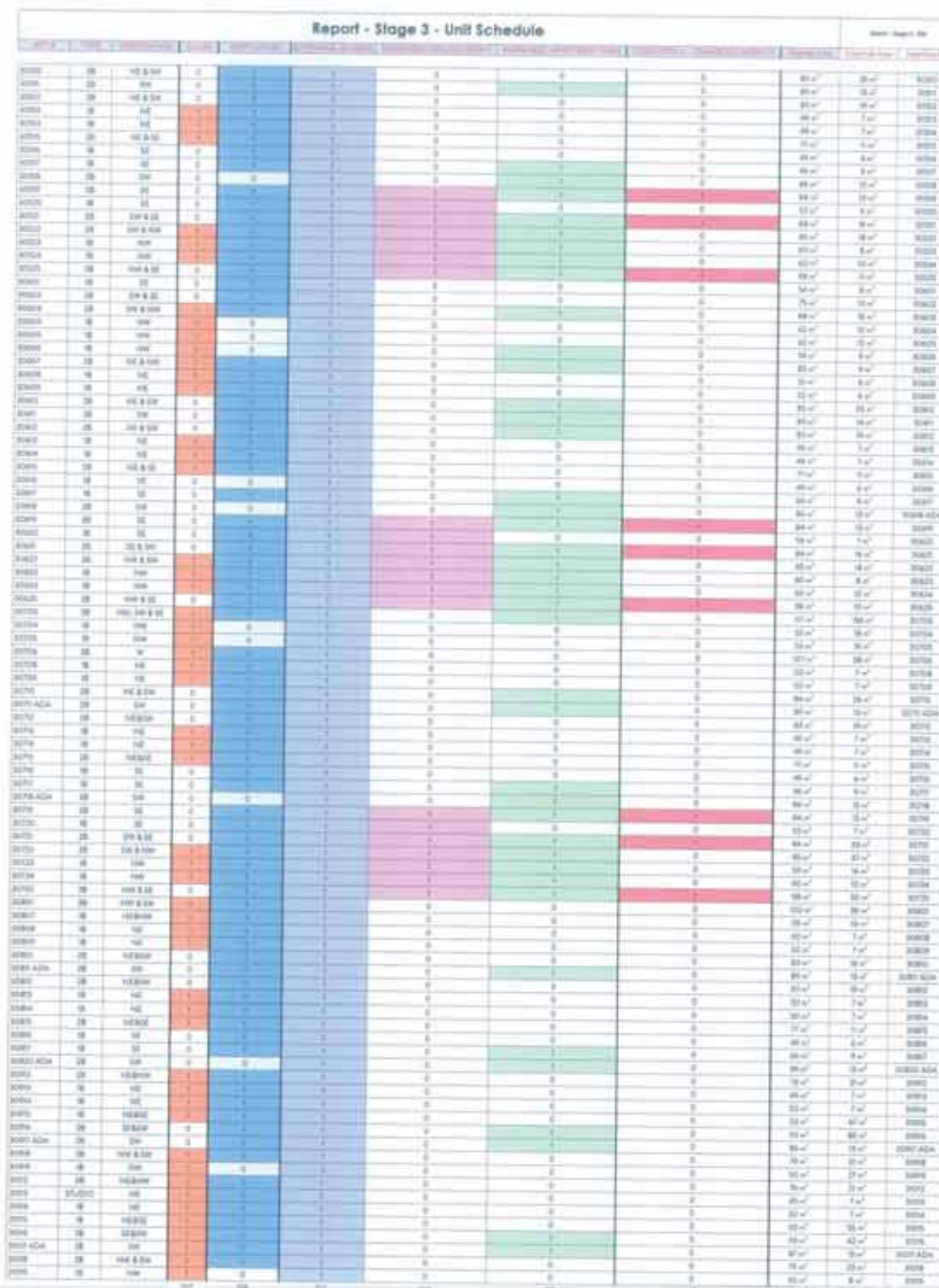
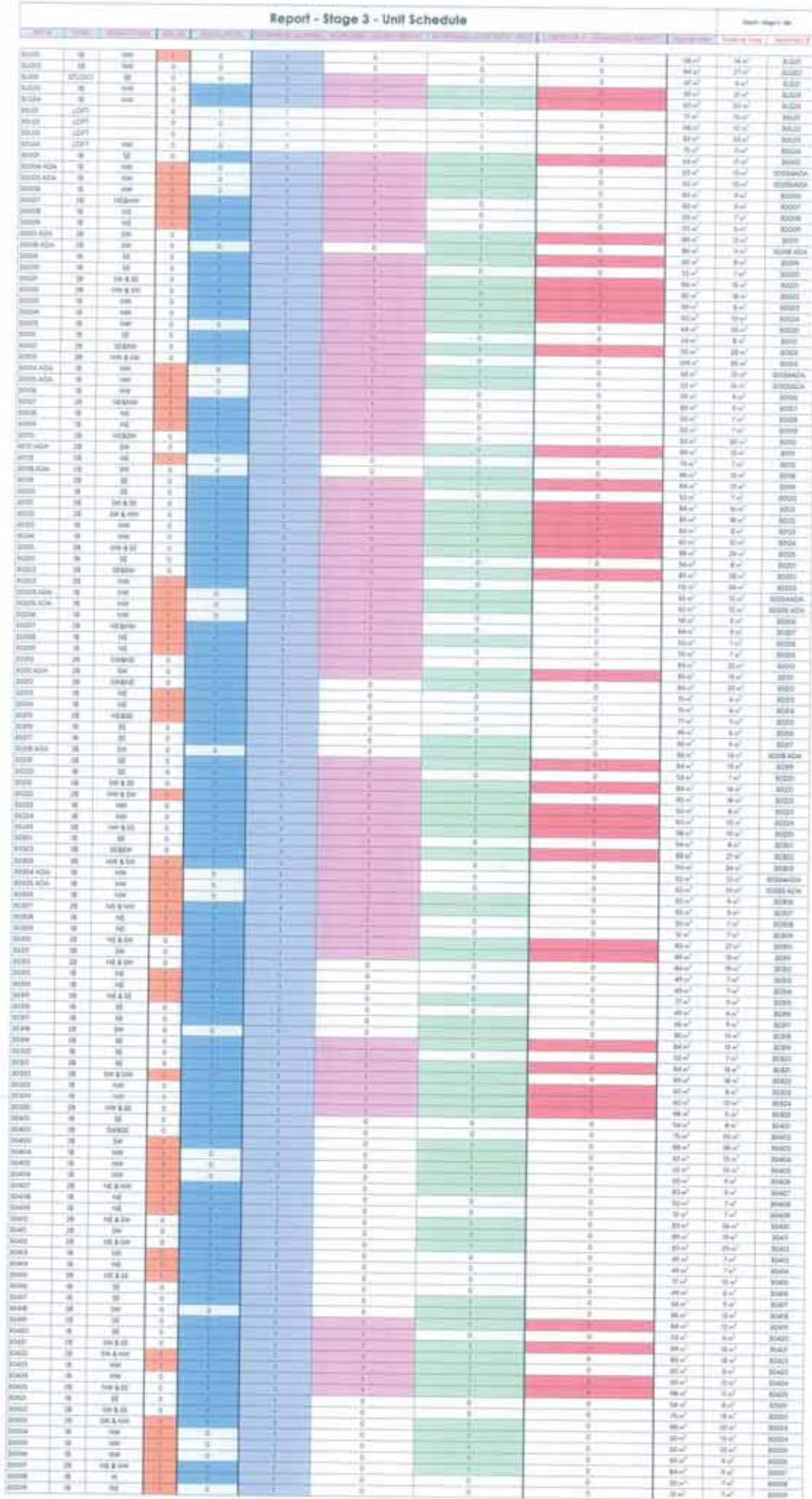
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NOTES
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 Louvre panels, if shown, are indicative only.
 All dimensions and levels shown are approximate.
 Any finishes nominated are indicative only and subject to change.
 Articulations shown on the facade are indicative only and are subject to further design development and change.
 Storage allocations and areas are not necessarily shown on the drawings and are subject to change.

REVISIONS		DATE	BY
1	Issue for comment	11/02/2014	RM



DA Submission
 DRAWING TITLE
STAGE 3 SECTIONS - 1
 SCALE: As indicated (S01)
 DATE: 19th December 2014
 PROJECT #: 10068-3
 Drawing Number
DA-23-304/A
ROBERTSON+MARKS



DEVELOPMENT
APPLICATION
Concept Plan Approval
(MP 09_0216)
STAGE 2 & 3

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REVISIONS
Rev. Date Description
1 07/02/2014

TRUE NORTH & KEY PLAN



DRAWING TITLE
STAGE 3 SCHEDULES

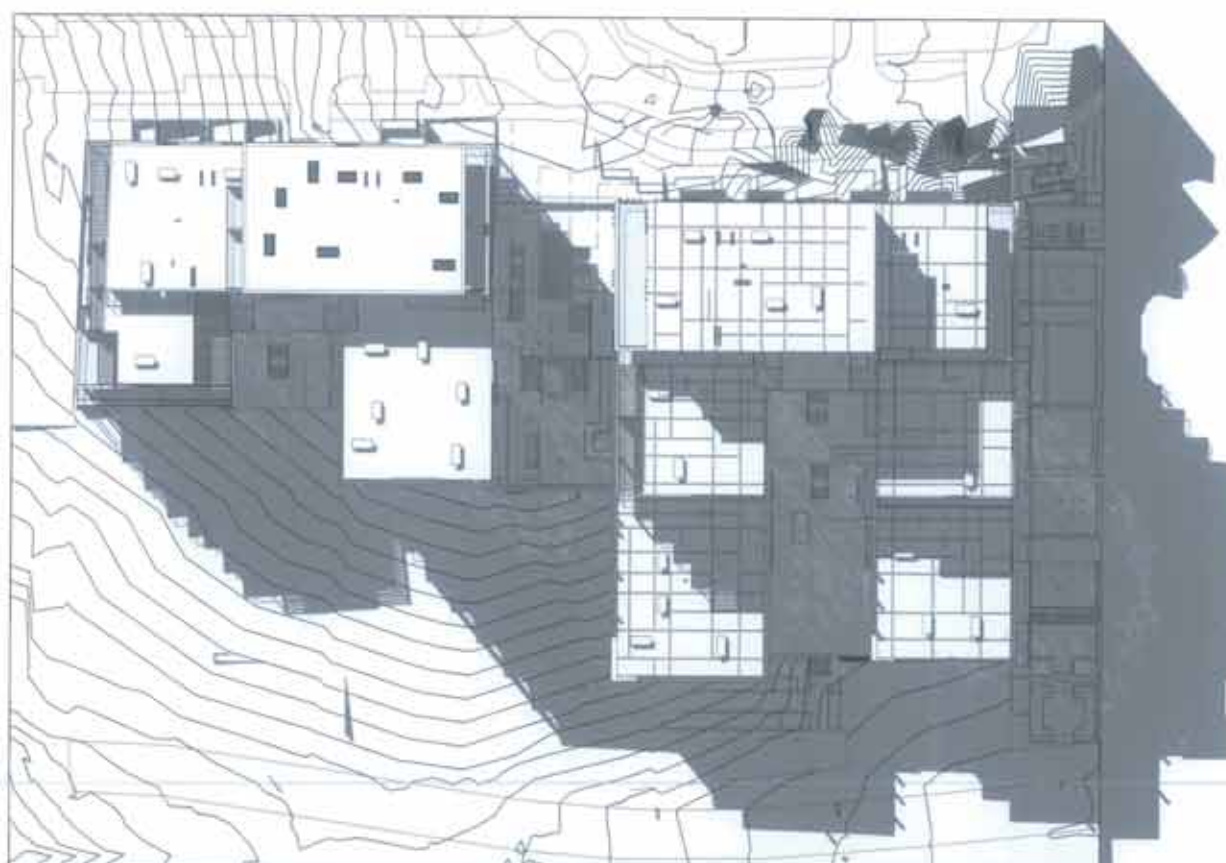
SCALE: 1/800
DATE: 09/10/14
PROJECT # 10068-3

Drawing Number
DA-23-502/A

ROBERTSON+MARKS



1 Shadow June 21 - 0900Hrs



2 Shadow June 21 - 1200Hrs



3 Shadow June 21 - 1500Hrs

DA Submission

DEVELOPMENT
APPLICATION
Concept Plan Approval
(MP 09_0216)
STAGE 2 & 3

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Any finishes mentioned are indicative only and subject to change.
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Storage allocations and areas are not necessarily shown on the drawings and are subject to change.

REV	DATE	DESCRIPTION	BY
1	11/02/2014	1st Submission	RM

TRUE NORTH & KEY PLAN



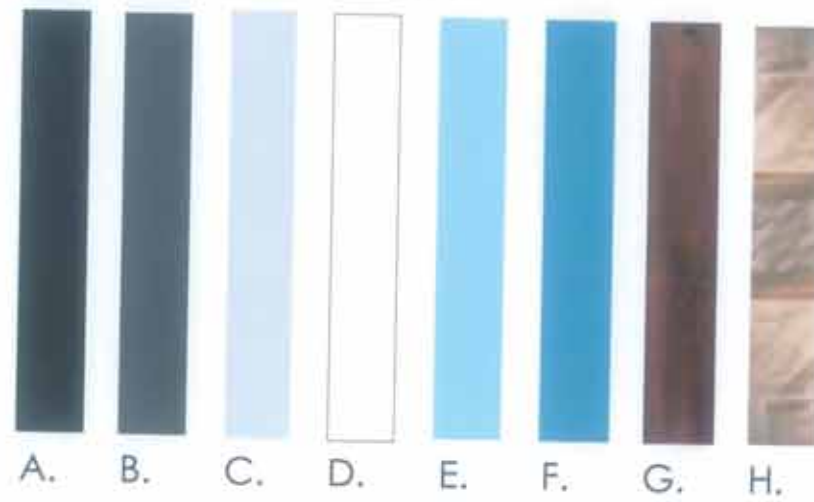
DRAWING TITLE
STAGE 2&3 - SHADOW DIAGRAMS
SCALE: GRP
DATE: 19th December 2014
PROJECT # 10048-3
Drawing Number
DA-23-600/A

ROBERTSON+MARKS

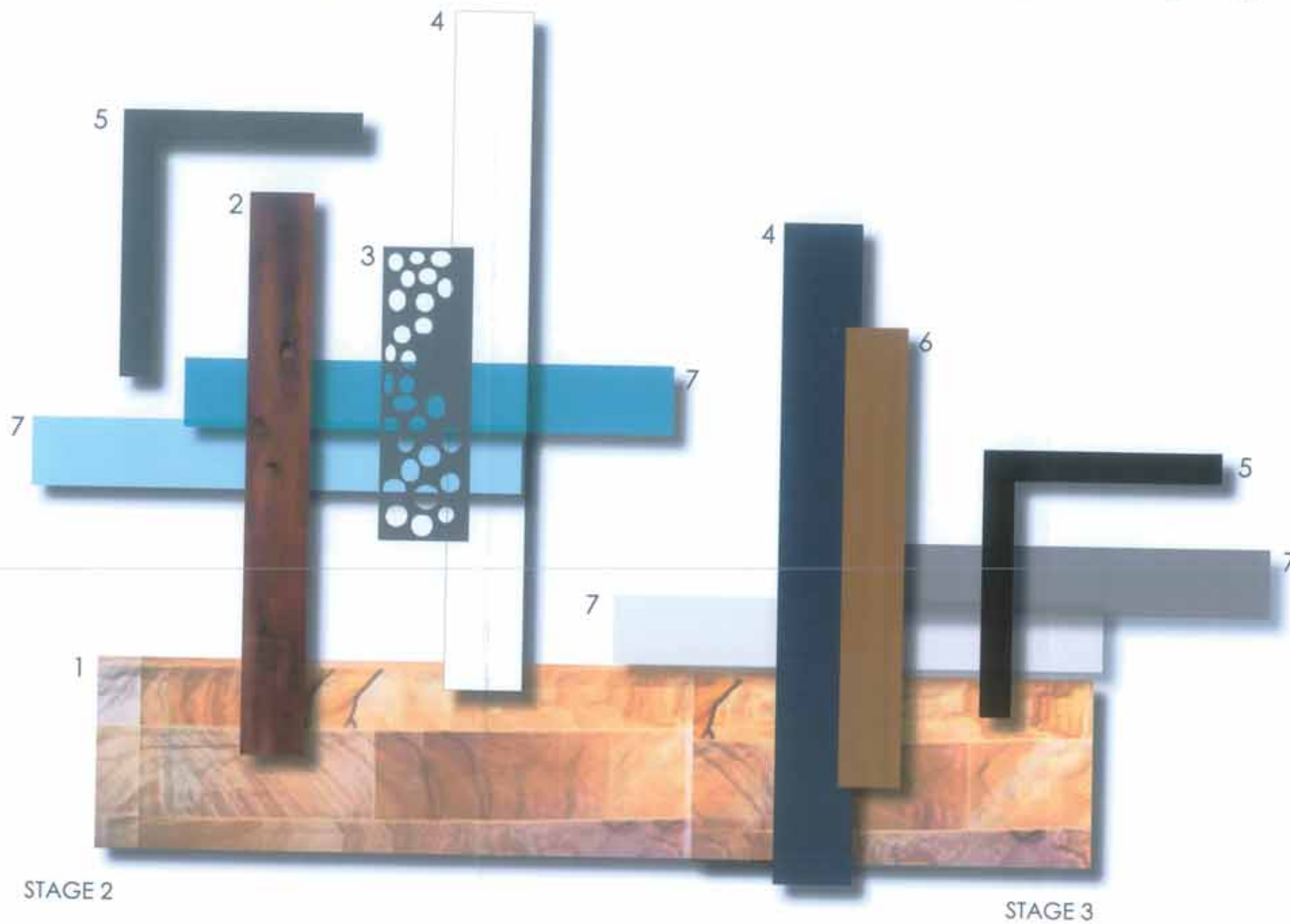
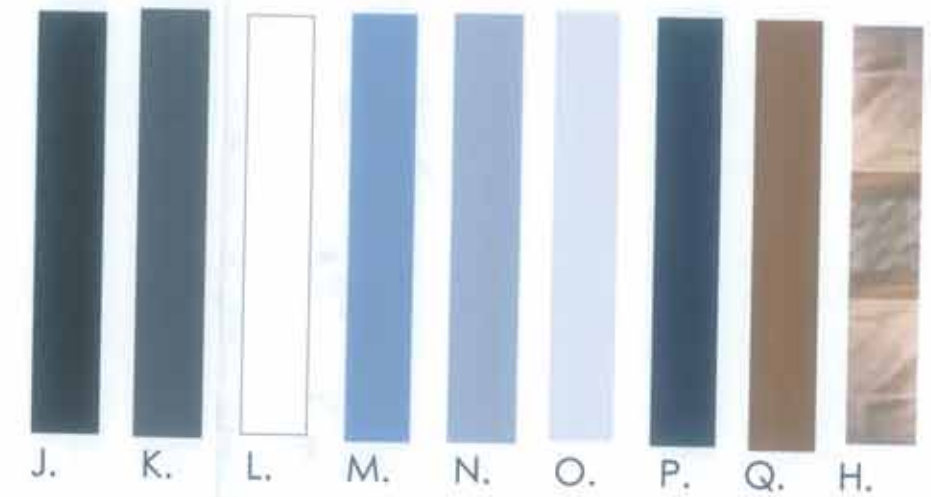
EXTERNAL FINISHES:

- 1. SANDSTONE CLADDING • LOWER LEVELS
- 2. RECYCLED TIMBER • AWNINGS & FEATURES
- 3. ZINC or SIMILAR • SCREENS
- 4. ALUMINIUM CLADDING • WALLS, FRAMES & SLABS
- 5. POWDERCOAT • WINDOW FRAMES, BALUSTRADES
- 6. COPPER CLADDING • FRAMES
- 7. GLASS • BALUSTRADES
- A. - D. & J. - M. • PAINT

STAGE 2 • COLOUR PALETTE



STAGE 3 • COLOUR PALETTE



4., 5. & PAINT FINISH



6.



4.



7.



2. & 4.



1.



As per survey of 10/11/2014 - Date of Plan 20/11/2014

NO COVENANTS AND/OR RESTRICTIONS HAVE BEEN INDICATED BY H. RAMSAY & CO.

NOTE: PIPE LEVELS SHOWN ARE 50 INVERT OF FIN

LEVELS SHOWN ARE TO INVERT OF FIN UNLESS NOTED OTHERWISE

- (A) EASEMENT TO DRAIN WATER VIDE DP 1072555
- (B) RIGHT OF WAY AND EASEMENT FOR ELECTRICITY PURPOSES VIDE 1 57380
- (C) EASEMENT FOR ELECTRICAL PURPOSES 2.895 WIDE VIDE G 710843
- (D) EASEMENT FOR WATER SUPPLY 183 WIDE VIDE K21109

ORIGIN OF M.S.A. CO-ORDINATES - 55M 122875 - E32281215; 4625613284 CLASS 1 ORDER 3 AND 55M 122864 - E322143284; 4625613108 CLASS 1 ORDER 3 5/07/2008

VARIOUS EASEMENTS AFFECTING INTERNAL LOTS ARE TO BE RELEASED

NOTES
 INTERNAL DETAIL AND LEVELS BY OTHERS
 DIAMETER, HEIGHT & SPREAD OF TREES ARE APPROXIMATE ONLY
 NO BOUNDARY SURVEY HAS BEEN CARRIED OUT
 DETAIL ON THIS PLAN HAS BEEN LOCATED FOR PLOTTING PURPOSES ONLY
 SERVICES ETC. UNLESS NOTED HAVE NOT BEEN LOCATED
 SERVICES SHOWN ARE INDICATIVE ONLY. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN. THEREFORE, FIELD CONFIRMATION OF THE EXACT POSITION SHOULD BE MADE PRIOR TO COMMENCEMENT OF ANY EXCAVATION.
 ANY POINT OR FEATURE CRITICAL TO THE PREPARATION OF PLANS AND/OR CONSTRUCTION SHOULD BE ACCURATELY LOCATED PRIOR TO COMPLETION OF THESE PLANS AND/OR COMMENCEMENT OF CONSTRUCTION.
 DIMENSIONS AND BEARINGS FROM VARIOUS PLANS
 ORIGIN OF LEVELS: GCM 864 RL 250 (AHD) CLASS LC ORDER 13
 USE STATED DIMENSIONS. DO NOT SCALE

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AMENDMENTS		L.O.A.	INSTRUCTED BY:
DATE	DESCRIPTION		
		RYDE	MR G YOUSSEF
		LOCALITY:	REL
		RYDE	HOLDMARK DEVELOPMENTS P/L

H. RAMSAY & CO
 SURVEYORS EST. 1862
 H. Ramsay & Company Pty Limited ACN 088 867 813
 CARLINGFORD CENTRAL SUITE 15, 241-245 PENNANT HILLS RD, CARLINGFORD NSW 2116
 P.O. BOX 9082 HARRIS PARK NSW 2150 Ph (02) 9633 3840 Fax (02) 9606 0027
 EMAIL: surveyor@hramsay.com.au www.hramsay.com.au

PLAN SHOWING DETAIL AND LEVELS OVER
 LOT 1 DP 1072555, LOT 1 DP 322641,
 LOT 1 DP 703858 AND LOT 11-16 INCLUSIVE
 AND LOT 18 DP 7130
 ROTHESAY AVENUE AND NANCARROW AVENUE
 SHEPHERDS BAY

SCALE:	1:500/841
DATE:	1/11
SCALE:	OC 5M
DP:	1/11
DATE:	20/11/2014
REV:	002/13
SHEET 1 OF 1 SHEETS	

