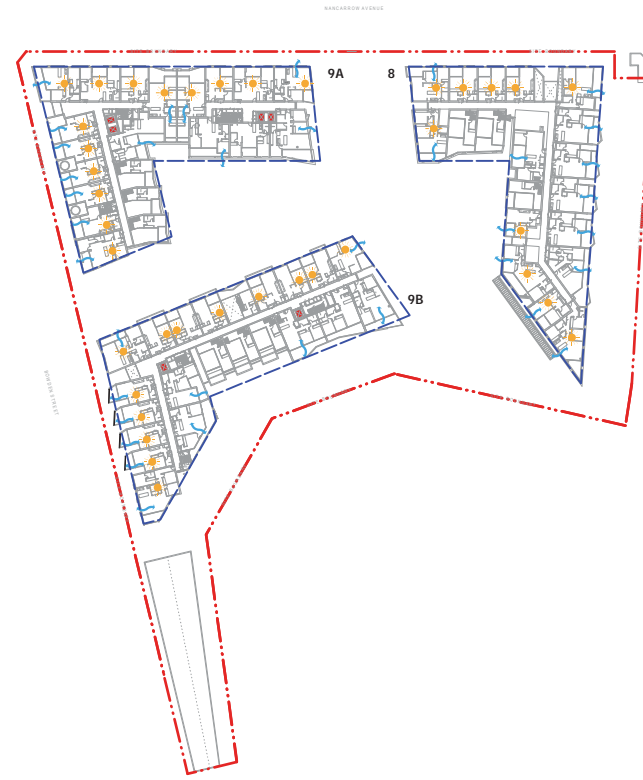
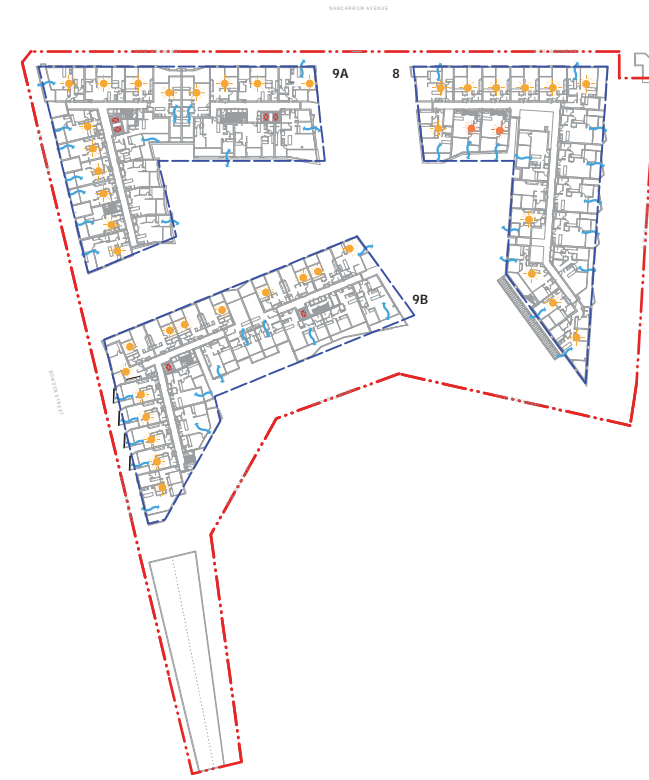


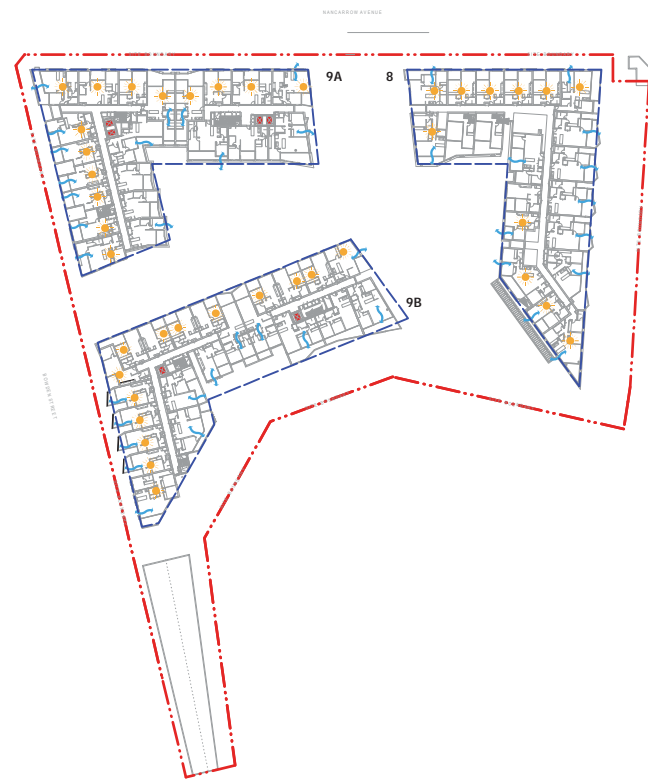
LEVEL 01



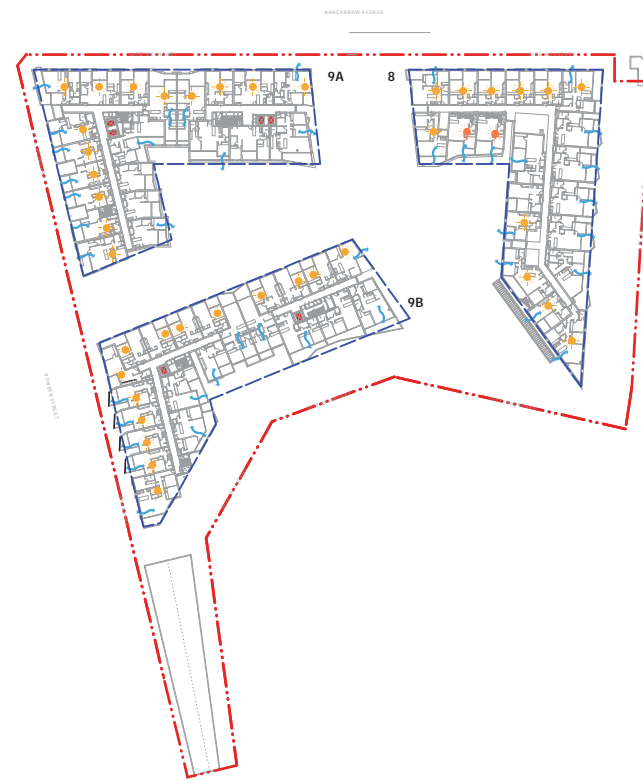
LEVEL 02



LEVEL 03



LEVEL 04



LEVEL 05



LEVEL 06



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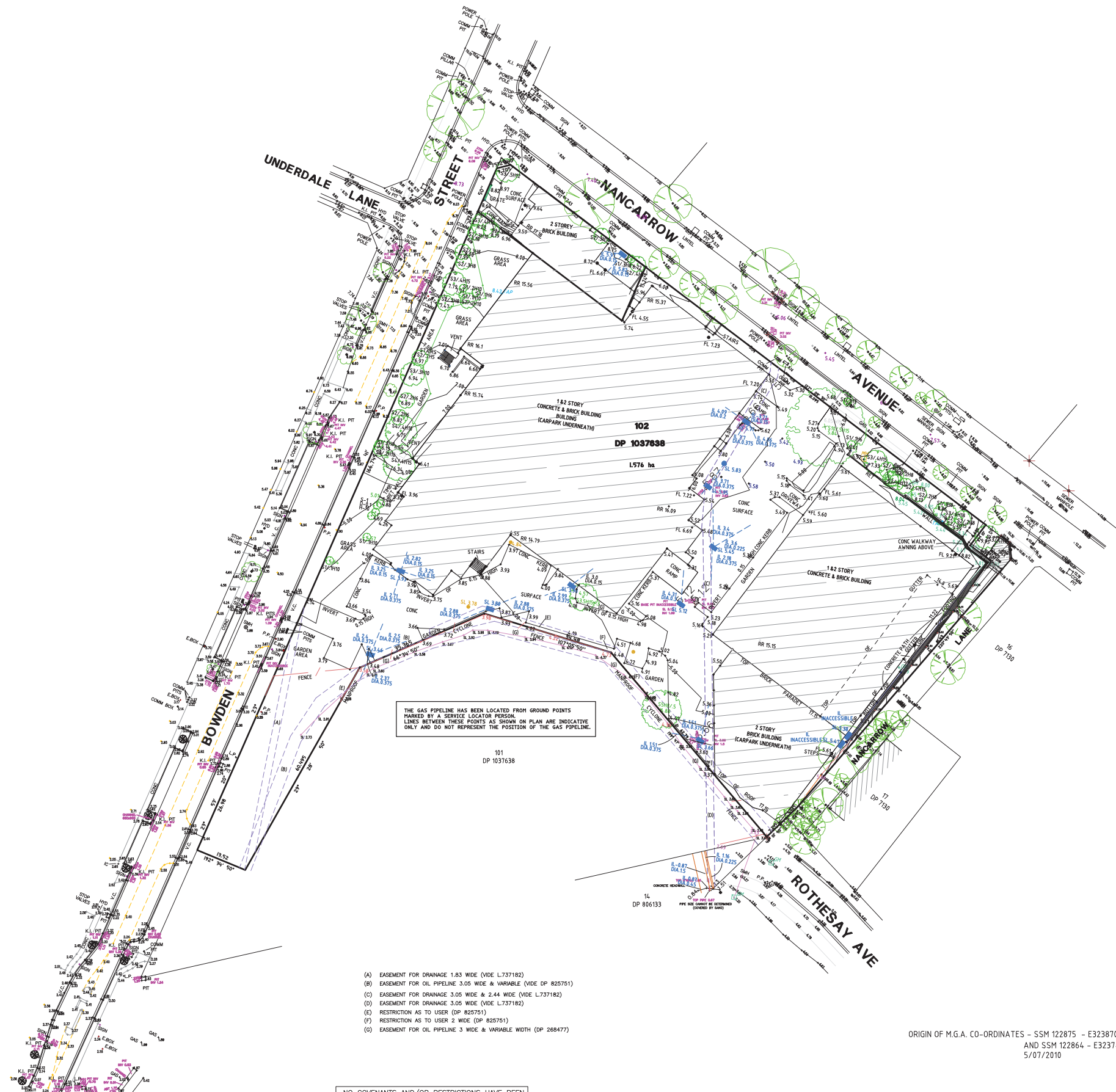
Suite 2/2-4 Giffnock Avenue, Macquarie Park NSW 2113
T 02 9889 5540

Internal levels shown are indicative only for information purposes and are not to be used for further design development and change.
Window markers, if shown, are indicative only.
Level markers, if shown, are indicative only.
All dimensions and levels shown are approximate.
Any fixtures included are indicative only and are not to be used for further design development and change.
Adjustments shown on the site are indicative only and are not to be used for further design development and change.
Storage, circulation and other are not necessarily shown on the drawings and are not to be used for design.

Project Title
20-36 Nancarrow Ave, 116-118 Bowden St, Meadowbank NSW 2114
Drawing Title

M	16/11/15	AM	DA - Submission
C	23/12/14	AM	DA - Client Review
B	01/12/14	AM	Issued for Information
A	14/05/14	AM	Issued for Information
Rev.	Date	Approved by	Revision Notes
Scale		Product No.	Drawn by
Status		Dwg No.	Rev

M.G.A.



THE GAS PIPELINE HAS BEEN LOCATED FROM GROUND POINTS MARKED BY A SERVICE LOCATOR PERSON. LINES BETWEEN THESE POINTS AS SHOWN ON PLAN ARE INDICATIVE ONLY AND DO NOT REPRESENT THE POSITION OF THE GAS PIPELINE.

- (A) EASEMENT FOR DRAINAGE 1.83 WIDE (VIDE L737182)
- (B) EASEMENT FOR OIL PIPELINE 3.05 WIDE & VARIABLE (VIDE DP 825751)
- (C) EASEMENT FOR DRAINAGE 3.05 WIDE & 2.44 WIDE (VIDE L737182)
- (D) EASEMENT FOR DRAINAGE 3.05 WIDE (VIDE L737182)
- (E) RESTRICTION AS TO USER (DP 825751)
- (F) RESTRICTION AS TO USER 2 WIDE (DP 825751)
- (G) EASEMENT FOR OIL PIPELINE 3 WIDE & VARIABLE WIDTH (DP 268477)

NO COVENANTS AND/OR RESTRICTIONS HAVE BEEN INVESTIGATED BY H RAMSAY & CO.



LEGEND

COMM PIT	COMMUNICATION PIT
HYD	HYDRANT
K.I. PIT	KEYS INLET PIT
SMH	SEWER MANHOLE
P.P.	POWER POLE
L.P.	LIGHT POLE
E.BOX	ELECTRICAL BOX

ORIGIN OF M.G.A. CO-ORDINATES - SSM 122875 - E323870.315, N6256240.804 CLASS C ORDER 3
AND SSM 122864 - E323745.396, N6256107.178 CLASS C ORDER 3
5/07/2010

NOTES:
INTERNAL DETAIL AND LEVELS BY Sra+Surv Surveyors.
DIAMETER, HEIGHT & SPREAD OF TREES ARE APPROXIMATE ONLY
NO BOUNDARY SURVEY HAS BEEN CARRIED OUT.
DETAIL ON THIS PLAN HAS BEEN LOCATED FOR PLOTTING PURPOSES ONLY.
SERVICES ETC. UNLESS NOTED HAVE NOT BEEN LOCATED.
SERVICES SHOWN ARE INDICATIVE ONLY. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN. THEREFORE, FIELD CONFIRMATION OF THE EXACT POSITION SHOULD BE MADE PRIOR TO COMMENCEMENT OF ANY EXCAVATION.
ANY POINT OR FEATURE CRITICAL TO THE PREPARATION OF PLANS AND/OR CONSTRUCTION SHOULD BE ACCURATELY LOCATED PRIOR TO COMPLETION OF THOSE PLANS AND/OR COMMENCEMENT OF CONSTRUCTION
DIMENSIONS & AREA HAVE BEEN TAKEN FROM DP 1037638
ORIGIN OF LEVELS: SSM 104.4 RL 2.55 (AHD) CLASS LC ORDER L3
USE STATED DIMENSIONS. DO NOT SCALE.

AMENDMENTS	
DATE	DESCRIPTION

L.G.A	RYDE
LOCALITY:	RYDE
INSTRUCTED BY:	MR G YOUSSEF
RE:	HOLDMARK DEVELOPMENTS P/L

H RAMSAY & CO.
SURVEYORS EST. 1962
H Ramsay & Company Pty Limited ACN 069 967 817
"CARLINGFORD CENTRAL" SUITE 15, 241-245 PENNANT HILLS RD, CARLINGFORD NSW 2118
P.O. BOX 9082 HARRIS PARK NSW 2150 PH: (02) 9635 5840 FAX: (02) 9806 0027
EMAIL: surveyor@hramsays.com.au www.hramsays.com.au

PLAN SHOWING DETAIL AND LEVELS OVER
LOT 2 DP 792836 AND LOT 102 DP 1037638
BOWDEN STREET, NANCARROW AVENUE AND
NANCARROW LANE SHEPHERDS BAY

SCALE	1:600@A1
DATUM	AHD
SURVEY	GC NM
DRAWN	PVB CSM
DATE	12/12/2014
OUR REF	8181/14
SHEET 1 OF 1 SHEETS	

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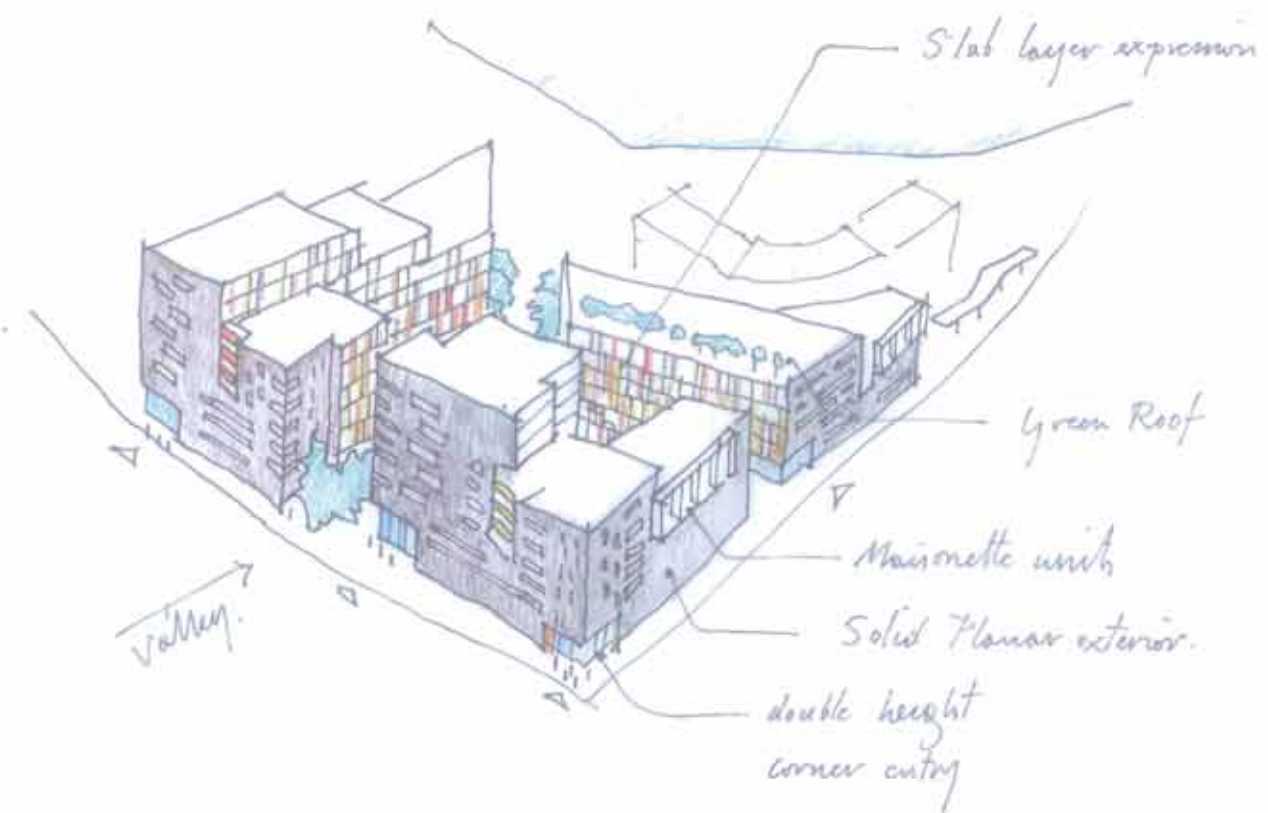
SHEPHERDS BAY - Blocks 8 + 9

DEVELOPMENT APPLICATION

DRAWING LIST

SERIES			
CONTEXT	Cover Sheet & Drawing List	DA-000-001	
	Site Plan - Context / Location Plan	DA-100-001	
	Site Plan - Precinct Development	DA-100-002	
	Site Plan - Site Analysis	DA-100-003	
	Site Plan - Building Heights & Setbacks	DA-100-004	
OVERALL SITE PLANS	Site Plan - Basement Level B5	DA-110-003	
	Site Plan - Basement Level B4	DA-110-004	
	Site Plan - Basement Level B3	DA-110-005	
	Site Plan - Basement Level B2	DA-110-006	
	Site Plan - Basement Level B1	DA-110-007	
	Site Plan - Level 01	DA-110-010	
	Site Plan - Level 02	DA-110-020	
	Site Plan - Level 03	DA-110-030	
	Site Plan - Level 04	DA-110-040	
	Site Plan - Level 05	DA-110-050	
	Site Plan - Level 06	DA-110-060	
	Site Plan - Level 07	DA-110-070	
	Site Plan - Level 08	DA-110-080	
	Site Plan - Level 09	DA-110-090	
	Site Plan - Level 10	DA-110-100	
	Site Plan - Level 11	DA-110-110	
	Site Plan - Level 12 Roof	DA-110-120	
	GA DETAIL PLANS	GA Plan (Building 8) - Basement Level B5	DA-111-003
		GA Plan (Building 8) - Basement Level B4	DA-111-004
		GA Plan (Building 8) - Basement Level B3	DA-111-005
GA Plan (Building 8) - Basement Level B2		DA-111-006	
GA Plan (Building 8) - Basement Level B1		DA-111-007	
GA Plan (Building 8) - Level 01		DA-111-010	
GA Plan (Building 8) - Level 02		DA-111-020	
GA Plan (Building 8) - Level 03		DA-111-030	
GA Plan (Building 8) - Level 04		DA-111-040	
GA Plan (Building 8) - Level 05		DA-111-050	
GA Plan (Building 8) - Level 06		DA-111-060	
GA Plan (Building 8) - Level 07		DA-111-070	
GA Plan (Building 8) - Level 08		DA-111-080	
GA Plan (Building 8) - Level 09		DA-111-090	
GA Plan (Building 8) - Level 10		DA-111-100	
GA Plan (Building 8) - Level 11		DA-111-110	
GA Plan (Building 8) - Level 12 Roof		DA-111-120	
GA Plan (Building 9) - Basement Levels B3		DA-112-003	
GA Plan (Building 9) - Basement Levels B2		DA-112-004	
GA Plan (Building 9) - Basement Level B2		DA-112-005	
GA Plan (Building 9) - Basement Level B1		DA-112-007	
GA Plan (Building 9A) - Level 01		DA-112-010	
GA Plan (Building 9A) - Level 02		DA-112-020	
GA Plan (Building 9A) - Typical Levels 03-05		DA-112-030	
GA Plan (Building 9A) - Level 06		DA-112-060	
GA Plan (Building 9A) - Level 07		DA-112-070	
GA Plan (Building 9A) - Typical Levels 08-09		DA-112-080	
GA Plan (Building 9A) - Level 10		DA-112-100	
GA Plan (Building 9A) - Level 11		DA-112-110	
GA Plan (Building 9A) - Level 12 Roof		DA-112-120	
GA Plan (Building 9B) - Level 01		DA-113-010	
GA Plan (Building 9B) - Level 02		DA-113-020	
GA Plan (Building 9B) - Typical Levels 03-05		DA-113-030	
GA Plan (Building 9B) - Level 06		DA-113-060	
GA Plan (Building 9B) - Level 07		DA-113-070	
GA Plan (Building 9B) - Level 08 Roof		DA-113-080	

SERIES		
GA DETAIL PLANS	GA Plan (Building 9 Commercial) - Level 01	DA-114-010
	GA Plan (Building 9 Commercial) - Level 02 Roof	DA-114-020
ELEVATIONS	Building 8 - North Elevation	DA-250-001
	Building 8 - East Elevation	DA-250-002
	Building 8 - South Elevation	DA-250-003
	Building 8 - West Elevation	DA-250-004
	Building 9A - North Elevation	DA-250-005
	Building 9A - East Elevation	DA-250-006
	Building 9A - South Elevation	DA-250-007
	Building 9A - West Elevation	DA-250-008
	Building 9B - North Elevation	DA-250-009
	Building 9B - East Elevation	DA-250-010
SECTIONS	Sections AA	DA-350-001
	Sections BB	DA-350-002
	Sections CC	DA-350-003
ANALYSIS	Shadow Diagrams 01	DA-700-001
	Apartment Amenity Diagrams 01	DA-840-001
	Apartment Amenity Diagrams 02	DA-840-002
PERSPECTIVES	Perspectives 01	DA-900-001
	Perspectives 02	DA-900-002





NOTES
 1. This site plan is a conceptual plan and is not intended to be used for construction purposes. It is subject to the approval of the relevant authorities.
 2. The site plan is based on the information provided by the client and is not intended to be used for construction purposes.
 3. The site plan is based on the information provided by the client and is not intended to be used for construction purposes.
 4. The site plan is based on the information provided by the client and is not intended to be used for construction purposes.
 5. The site plan is based on the information provided by the client and is not intended to be used for construction purposes.

PROJECT
 ROTHESAY AVENUE DEVELOPMENTS
 Suite 20-4 Gifford Avenue, Macquarie Park, NSW 2113
 T 02 9555 5545

DESIGNED BY
 TURNER
 20-24 Rossmore Ave, 115-118 Swales St, Macquarie Park NSW 2114
 T 02 9555 5545

LEGEND
 - - - - - Boundary
 - - - - - Proposed
 - - - - - Existing
 - - - - - Other



Project No.
 SHEPHERDS BAY - BUILDINGS 8 & 9
 20-24 Rossmore Ave, 115-118 Swales St, Macquarie Park NSW 2114
Site Plan - Location & Context

Client	13067	Scale	1:2000
Project No.	13067	Scale	1:2000
Site No.	DA-100-001	Scale	1:2000
Project Name	SHEPHERDS BAY - BUILDINGS 8 & 9	Scale	1:2000
Project Address	20-24 Rossmore Ave, 115-118 Swales St, Macquarie Park NSW 2114	Scale	1:2000
Project Date	13/06/2023	Scale	1:2000
Project Status	13067	Scale	1:2000
Project Type	DA-100-001	Scale	1:2000
Project Manager	M	Scale	1:2000

turner.



NOTES:
 1. All dimensions are in metres unless otherwise stated.
 2. All dimensions are to the centre of the line unless otherwise stated.
 3. All dimensions are to the face of the wall unless otherwise stated.
 4. All dimensions are to the face of the slab unless otherwise stated.
 5. All dimensions are to the face of the concrete unless otherwise stated.
 6. All dimensions are to the face of the brickwork unless otherwise stated.
 7. All dimensions are to the face of the masonry unless otherwise stated.
 8. All dimensions are to the face of the steelwork unless otherwise stated.
 9. All dimensions are to the face of the timber unless otherwise stated.
 10. All dimensions are to the face of the glass unless otherwise stated.
 11. All dimensions are to the face of the paint unless otherwise stated.
 12. All dimensions are to the face of the finish unless otherwise stated.
 13. All dimensions are to the face of the work unless otherwise stated.
 14. All dimensions are to the face of the structure unless otherwise stated.
 15. All dimensions are to the face of the element unless otherwise stated.

ROTHESAY AVENUE DEVELOPMENTS
 Suite 202-4 Offroad Avenue, Marquata Park, NSW 2113
 T: 02 9885 5542

TURNER GROUP
 Suite 202-4 Offroad Avenue, Marquata Park, NSW 2113
 T: 02 9885 5542

DA-100-002
 SHEPHERDS BAY - BUILDINGS 8 & 9
 20-26 Nancarrow Ave, 115-118 Swain St, Meadowbank NSW 2114

DA-100-002
 SHEPHERDS BAY - BUILDINGS 8 & 9
 20-26 Nancarrow Ave, 115-118 Swain St, Meadowbank NSW 2114

DA-100-002
 SHEPHERDS BAY - BUILDINGS 8 & 9
 20-26 Nancarrow Ave, 115-118 Swain St, Meadowbank NSW 2114

DA-100-002
 SHEPHERDS BAY - BUILDINGS 8 & 9
 20-26 Nancarrow Ave, 115-118 Swain St, Meadowbank NSW 2114

DA-100-002
 SHEPHERDS BAY - BUILDINGS 8 & 9
 20-26 Nancarrow Ave, 115-118 Swain St, Meadowbank NSW 2114

DA-100-002
 SHEPHERDS BAY - BUILDINGS 8 & 9
 20-26 Nancarrow Ave, 115-118 Swain St, Meadowbank NSW 2114

DA-100-002
 SHEPHERDS BAY - BUILDINGS 8 & 9
 20-26 Nancarrow Ave, 115-118 Swain St, Meadowbank NSW 2114



NOTES
 1. THIS PLAN IS A PRELIMINARY DESIGN AND SHOULD NOT BE USED FOR CONSTRUCTION OR AS A BASIS FOR ANY OTHER DESIGN OR CONTRACT. THE DESIGNER ACCEPTS NO LIABILITY FOR ANY LOSS OR DAMAGE ARISING FROM THE USE OF THIS PLAN.
 2. THE DESIGNER HAS CONDUCTED VISUAL IMPACT ASSESSMENTS FOR THIS DEVELOPMENT. VISUAL IMPACT STATEMENTS ARE AVAILABLE FOR REVIEW AT THE PROJECT OFFICE.
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 17. THE DESIGNER HAS CONDUCTED GEOTECHNICAL ASSESSMENTS FOR THIS DEVELOPMENT. GEOTECHNICAL STATEMENTS ARE AVAILABLE FOR REVIEW AT THE PROJECT OFFICE.
 18. THE DESIGNER HAS CONDUCTED SEISMIC ASSESSMENTS FOR THIS DEVELOPMENT. SEISMIC STATEMENTS ARE AVAILABLE FOR REVIEW AT THE PROJECT OFFICE.
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 20. THE DESIGNER HAS CONDUCTED HISTORICAL ASSESSMENTS FOR THIS DEVELOPMENT. HISTORICAL STATEMENTS ARE AVAILABLE FOR REVIEW AT THE PROJECT OFFICE.
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 25. THE DESIGNER HAS CONDUCTED FLOOD ASSESSMENTS FOR THIS DEVELOPMENT. FLOOD STATEMENTS ARE AVAILABLE FOR REVIEW AT THE PROJECT OFFICE.
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 28. THE DESIGNER HAS CONDUCTED INTERFERENCE ASSESSMENTS FOR THIS DEVELOPMENT. INTERFERENCE STATEMENTS ARE AVAILABLE FOR REVIEW AT THE PROJECT OFFICE.
 29. THE DESIGNER HAS CONDUCTED INTERFERENCE ASSESSMENTS FOR THIS DEVELOPMENT. INTERFERENCE STATEMENTS ARE AVAILABLE FOR REVIEW AT THE PROJECT OFFICE.
 30. THE DESIGNER HAS CONDUCTED INTERFERENCE ASSESSMENTS FOR THIS DEVELOPMENT. INTERFERENCE STATEMENTS ARE AVAILABLE FOR REVIEW AT THE PROJECT OFFICE.

ROTHESAY AVENUE DEVELOPMENTS
 Suite 20-4 Gifford Avenue, Marquardt Park, NSW 2115
 T: 02 9888 1542

DESIGNER
 TURNER
 20-28 Nancarrow Ave, 118-119 Bowden St, Murrumbidgee NSW 2114
 T: 02 9888 1542

DATE
 13/08/2024

SCALE
 1:1000

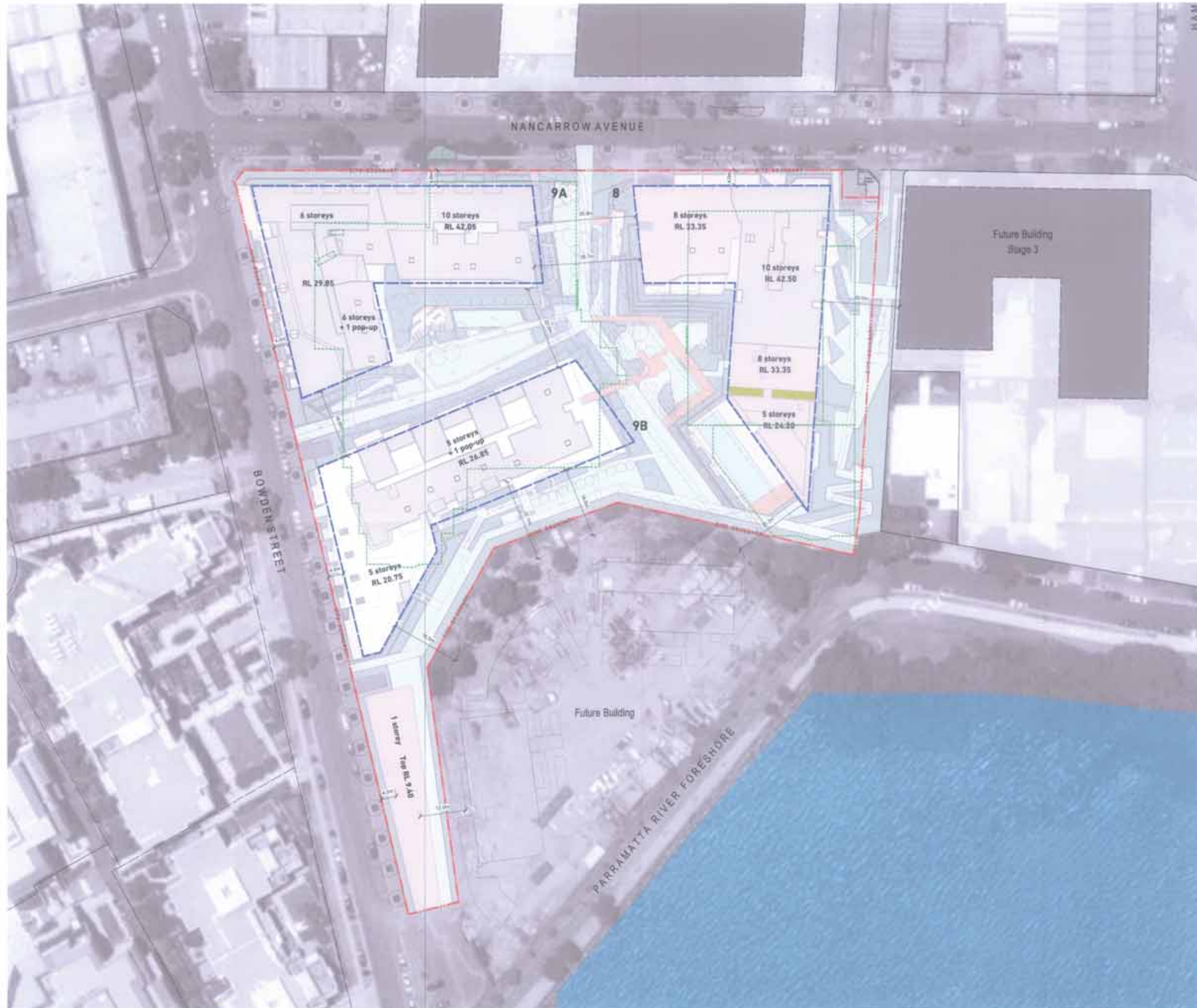
PROJECT
 SHEPHERDS BAY - BUILDINGS 8 & 9

CLIENT
 SHEPHERDS BAY DEVELOPMENTS

PROJECT NO.
 13067

DATE
 13/08/2024

SCALE
 1:1000



10/20
 ROTHSAY AVENUE DEVELOPMENTS
 Suite 20-4 Gillock Avenue, Macquarie Park NSW 2113
 T 02 9439 5540

SHEPHERDS BAY - BUILDINGS 8 & 9
 20-26 Nancarrow Ave, 110-118 Bowden St, Macquarie Park NSW 2114
 Drawing Title
 Site Plan - Building Heights & Setbacks

13067
 DA-100_004
 M



Project Title
 SHEPHERDS BAY - BUILDINGS 8 & 9
 20-26 Nancarrow Ave, 110-118 Bowden St, Macquarie Park NSW 2114
 Drawing Title
 Site Plan - Building Heights & Setbacks

13067
 DA-100_004
 M

Project Title
 SHEPHERDS BAY - BUILDINGS 8 & 9
 20-26 Nancarrow Ave, 110-118 Bowden St, Macquarie Park NSW 2114
 Drawing Title
 Site Plan - Building Heights & Setbacks

13067
 DA-100_004
 M

Project Title
 SHEPHERDS BAY - BUILDINGS 8 & 9
 20-26 Nancarrow Ave, 110-118 Bowden St, Macquarie Park NSW 2114
 Drawing Title
 Site Plan - Building Heights & Setbacks

13067
 DA-100_004
 M





- NOTES**
1. Internal levels shown are indicative only for information purposes and are subject to further design development and change.
 2. Window mullions, if shown, are indicative only.
 3. Louvre panels, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any fixtures highlighted are indicative only and subject to change.
 6. Attention drawn on the details are indicative only and are subject to further design development and change.
 7. Storage allocations and areas are not necessarily shown on the drawings and are subject to change.

NOTES

1. The information on this drawing is for information purposes only and is subject to change without notice. It is not to be used for any other purpose without the written consent of the architect.

2. The architect is not responsible for any errors or omissions on this drawing or for any consequences arising therefrom.

3. The architect is not responsible for any construction or other work carried out in reliance on this drawing.

4. The architect is not responsible for any damage to property or persons arising from the use of this drawing.

5. The architect is not responsible for any loss of profit or other financial loss arising from the use of this drawing.

6. The architect is not responsible for any other loss or damage arising from the use of this drawing.

ROTHESAY AVENUE DEVELOPMENTS
 Suite 20-4 Gifford Avenue, Margate Park NSW 2111
 T 02 9588 5542

PROJECT INFORMATION

Project Name: SHEPHERDS BAY - BUILDINGS 8 & 9
 Project Location: 20-26 Nancarrow Ave, 116-118 Bowen St, Murrumbidgee NSW 2114
 Project Status: Design Development
 Project Start: 2023
 Project End: 2024

NO.	REVISION	DATE	BY	DESCRIPTION
1	ISSUED FOR PERMIT	15/08/2023	ARCHITECT	ISSUED FOR PERMIT
2	ISSUED FOR CONSTRUCTION	15/08/2023	ARCHITECT	ISSUED FOR CONSTRUCTION
3	ISSUED FOR CONSTRUCTION	15/08/2023	ARCHITECT	ISSUED FOR CONSTRUCTION
4	ISSUED FOR CONSTRUCTION	15/08/2023	ARCHITECT	ISSUED FOR CONSTRUCTION
5	ISSUED FOR CONSTRUCTION	15/08/2023	ARCHITECT	ISSUED FOR CONSTRUCTION
6	ISSUED FOR CONSTRUCTION	15/08/2023	ARCHITECT	ISSUED FOR CONSTRUCTION
7	ISSUED FOR CONSTRUCTION	15/08/2023	ARCHITECT	ISSUED FOR CONSTRUCTION
8	ISSUED FOR CONSTRUCTION	15/08/2023	ARCHITECT	ISSUED FOR CONSTRUCTION
9	ISSUED FOR CONSTRUCTION	15/08/2023	ARCHITECT	ISSUED FOR CONSTRUCTION
10	ISSUED FOR CONSTRUCTION	15/08/2023	ARCHITECT	ISSUED FOR CONSTRUCTION

Project Title: SHEPHERDS BAY - BUILDINGS 8 & 9
 20-26 Nancarrow Ave, 116-118 Bowen St, Murrumbidgee NSW 2114

Drawing Title: Site Plan - Basement Level B5

Scale: 1:500 (S41) (S41G4)

Project No: 13067

DA-110_003

turner.



- NOTES**
1. Original levels shown are indicative only for information purposes and are subject to further design development and change.
 2. Window mullions, if shown, are indicative only.
 3. Level markers, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any finishes mentioned are indicative only and subject to change.
 6. All locations shown on this page are indicative only and are subject to further design development and change.
 7. Storage locations and areas are not necessarily shown on the drawings and are subject to change.

Project No.	13067	Client	DA-110_004
Site No.	DA-110_004	Scale	M
Project Name	SHEPHERDS BAY - BUILDINGS 8 & 9		
Address	25-31 Nancarrow Ave, 115-118 Bowen St, Meadowbank NSW 2114		
Drawing Title	Site Plan - Basement Level 04		

NOTES

1. All dimensions are in millimetres unless otherwise stated.

2. All levels are in metres above sea level unless otherwise stated.

3. All dimensions and levels shown are approximate.

4. Any finishes mentioned are indicative only and subject to change.

5. All locations shown on this page are indicative only and are subject to further design development and change.

6. Storage locations and areas are not necessarily shown on the drawings and are subject to change.

ROTHESAY AVENUE DEVELOPMENTS

Site 27-4 Cliffrock Avenue, Macquarie Park NSW 2113

T 02 9655 0540

GENERAL NOTES

1. All dimensions are in millimetres unless otherwise stated.

2. All levels are in metres above sea level unless otherwise stated.

3. All dimensions and levels shown are approximate.

4. Any finishes mentioned are indicative only and subject to change.

5. All locations shown on this page are indicative only and are subject to further design development and change.

6. Storage locations and areas are not necessarily shown on the drawings and are subject to change.

NO.	REVISION	DATE	BY	DESCRIPTION
1	Issue for Approval	10/10/2014	AS	Issue for Approval
2	Issue for Construction	10/10/2014	AS	Issue for Construction
3	Issue for Construction	10/10/2014	AS	Issue for Construction
4	Issue for Construction	10/10/2014	AS	Issue for Construction
5	Issue for Construction	10/10/2014	AS	Issue for Construction
6	Issue for Construction	10/10/2014	AS	Issue for Construction
7	Issue for Construction	10/10/2014	AS	Issue for Construction
8	Issue for Construction	10/10/2014	AS	Issue for Construction
9	Issue for Construction	10/10/2014	AS	Issue for Construction
10	Issue for Construction	10/10/2014	AS	Issue for Construction

Project No. **13067**

Client **DA-110_004**

Site No. **DA-110_004**

Scale **M**

Project Name **SHEPHERDS BAY - BUILDINGS 8 & 9**

Address **25-31 Nancarrow Ave, 115-118 Bowen St, Meadowbank NSW 2114**

Drawing Title **Site Plan - Basement Level 04**



- NOTES**
1. Internal layout shown are indicative only for information purposes and are subject to further design development and change.
 2. Window mullions, if shown, are indicative only.
 3. Layout panels, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any fixtures indicated are indicative only and subject to change.
 6. Annotations shown on the facade are indicative only and are subject to further design development and change.
 7. Storage dimensions and areas are not necessarily shown on the drawings and are subject to change.

1:500	DA-110_005	13067	DA-110_005
DA-110_005	DA-110_005	DA-110_005	DA-110_005

ROTHESAY AVENUE DEVELOPMENTS
 Suite 210 4 Offshore Avenue, Murrumbidgee Park, NSW 2113
 T 02 9888 5542

ROTHESAY AVENUE DEVELOPMENTS
 Suite 210 4 Offshore Avenue, Murrumbidgee Park, NSW 2113
 T 02 9888 5542

NO.	REVISION	DATE	BY	CHKD.	DESCRIPTION
1	ISSUED FOR PERMIT	10/10/2023	DA-110_005	DA-110_005	ISSUED FOR PERMIT
2	ISSUED FOR PERMIT	10/10/2023	DA-110_005	DA-110_005	ISSUED FOR PERMIT

SHEPHERDS BAY - BUILDINGS 8 & 9
 20-30 Hancarrow Ave, 115-119 Bowden St, Murrumbidgee NSW 2114
 Site Plan - Basement Level B3





- NOTES**
1. Internal levels shown are indicative only for information purposes and are subject to further design development and change.
 2. Window mullions, if shown, are indicative only.
 3. Luxury panels, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Area boundaries indicated are indicative only and subject to change.
 6. Articulations shown on the facade are indicative only and are subject to further design development and change.
 7. Storage allocations and areas are not necessarily shown on the drawings and are subject to change.

NOTES

1. All dimensions and levels shown are approximate.

2. Area boundaries indicated are indicative only and subject to change.

3. Articulations shown on the facade are indicative only and are subject to further design development and change.

4. Storage allocations and areas are not necessarily shown on the drawings and are subject to change.

ROTHESAY AVENUE DEVELOPMENTS
 Suite 20-4 Gilbrook Avenue, Murrumbidgee Park, NSW 2113
 T (02) 9688 5540

REVISIONS

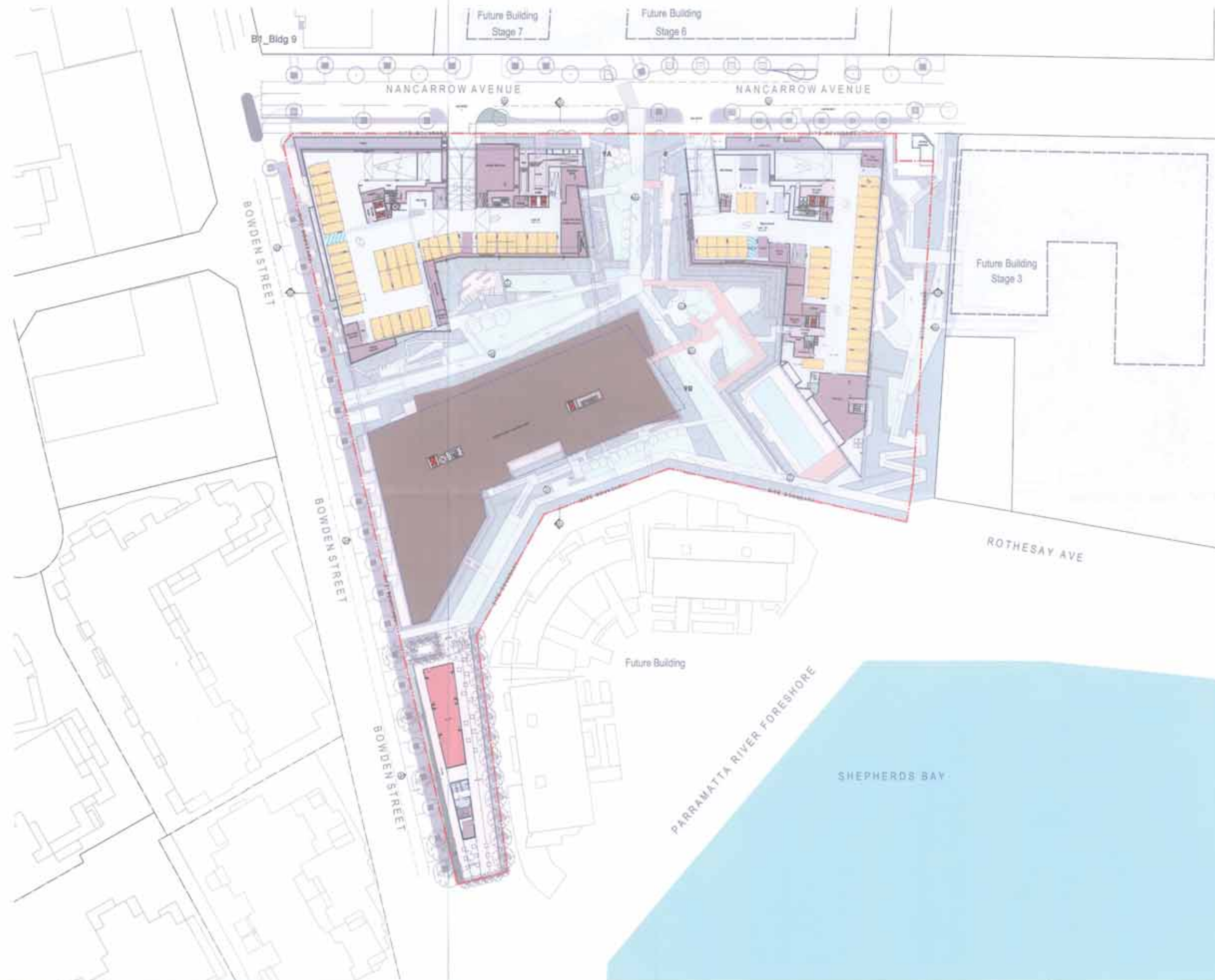
No.	Description	Date
1	Issue for tender	10/10/2023
2	Issue for construction	10/10/2023

Room No.	Room Name	Area (sqm)	Volume (cu m)	Level	Notes
8-01	Garage	100	100	B1	
8-02	Garage	100	100	B1	
8-03	Garage	100	100	B1	
8-04	Garage	100	100	B1	
8-05	Garage	100	100	B1	
8-06	Garage	100	100	B1	
8-07	Garage	100	100	B1	
8-08	Garage	100	100	B1	
8-09	Garage	100	100	B1	
8-10	Garage	100	100	B1	
8-11	Garage	100	100	B1	
8-12	Garage	100	100	B1	
8-13	Garage	100	100	B1	
8-14	Garage	100	100	B1	
8-15	Garage	100	100	B1	
8-16	Garage	100	100	B1	
8-17	Garage	100	100	B1	
8-18	Garage	100	100	B1	
8-19	Garage	100	100	B1	
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8-27	Garage	100	100	B1	
8-28	Garage	100	100	B1	
8-29	Garage	100	100	B1	
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8-98	Garage	100	100	B1	
8-99	Garage	100	100	B1	
8-100	Garage	100	100	B1	

SHEPHERDS BAY - BUILDINGS 8 & 9
 20-30 Nancarrow Ave, 115-118 Bowen St, Macquarie Park, NSW 2114

Project No: 13067
 Drawing No: DA-110_006
 Scale: M





- NOTES**
1. Internal levels shown are indicative only for information purposes and are subject to further design development and change.
 2. Window patterns, if shown, are indicative only.
 3. Louvre panels, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any fixtures mentioned are indicative only and subject to change.
 6. Circulations shown on the facade are indicative only and are subject to further design development and change.
 7. Storage allocations and areas are not necessarily shown on the drawings and are subject to change.

NOTES

1. This drawing is for information only. It is not intended to be used for construction purposes. It is subject to change without notice. It is not to be used for any other purpose without the written consent of the architect.

ROTHESAY AVENUE DEVELOPMENTS
 Suite 20-4 Ullbrook Avenue, Maysbrook Park, NSW 2113
 T 02 9688 5540

PROJECT INFORMATION

Project Name: SHEPHERDS BAY - BUILDINGS 8 & 9
 Project Location: 20-36 Nancarrow Ave, 115-119 Bowden St, Maysbrook Park, NSW 2113
 Project Status: Design Development

NO.	REVISION	DATE	BY	DESCRIPTION
1	Issue for Information	15/08/2024	AS	Initial Design
2	Design Development	22/08/2024	AS	Finalized Design
3	Final Design	29/08/2024	AS	Final Design

PROJECT INFO
 SHEPHERDS BAY - BUILDINGS 8 & 9
 20-36 Nancarrow Ave, 115-119 Bowden St, Maysbrook Park, NSW 2113
 Drawing Title: Site Plan - Basement Level B1

turner

13067
 DA-110_007
 M



- NOTES**
1. Internal layouts shown are indicative only for information purposes and are subject to further design development and change.
 2. Outdoor furniture, if shown, are indicative only.
 3. Landscaping, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any fixtures indicated are indicative only and subject to change.
 6. Schedule shown on the plan are indicative only and are subject to further design development and change.
 7. Storage locations and areas are not necessarily shown on the drawings and are subject to change.

NOTES

1. This drawing is a site plan and is not to be used for construction purposes without the approval of the relevant authorities.

2. All dimensions and levels shown are approximate.

3. Any fixtures indicated are indicative only and subject to change.

4. Schedule shown on the plan are indicative only and are subject to further design development and change.

5. Storage locations and areas are not necessarily shown on the drawings and are subject to change.

ROTHESAY AVENUE DEVELOPMENTS
 Suite 204 Clifford Avenue, Macquarie Park NSW 2113
 T 02 9889 5440

GENERAL NOTES

1. All dimensions and levels shown are approximate.

2. Any fixtures indicated are indicative only and subject to change.

3. Schedule shown on the plan are indicative only and are subject to further design development and change.

4. Storage locations and areas are not necessarily shown on the drawings and are subject to change.

NO.	DESCRIPTION	DATE	BY	CHECKED	SCALE
01	Site Plan - Level 01	10/10/2014	J. Smith	M. Jones	1:500 @ A1
02	Site Plan - Level 01	10/10/2014	J. Smith	M. Jones	1:500 @ A1
03	Site Plan - Level 01	10/10/2014	J. Smith	M. Jones	1:500 @ A1
04	Site Plan - Level 01	10/10/2014	J. Smith	M. Jones	1:500 @ A1
05	Site Plan - Level 01	10/10/2014	J. Smith	M. Jones	1:500 @ A1
06	Site Plan - Level 01	10/10/2014	J. Smith	M. Jones	1:500 @ A1
07	Site Plan - Level 01	10/10/2014	J. Smith	M. Jones	1:500 @ A1
08	Site Plan - Level 01	10/10/2014	J. Smith	M. Jones	1:500 @ A1
09	Site Plan - Level 01	10/10/2014	J. Smith	M. Jones	1:500 @ A1
10	Site Plan - Level 01	10/10/2014	J. Smith	M. Jones	1:500 @ A1

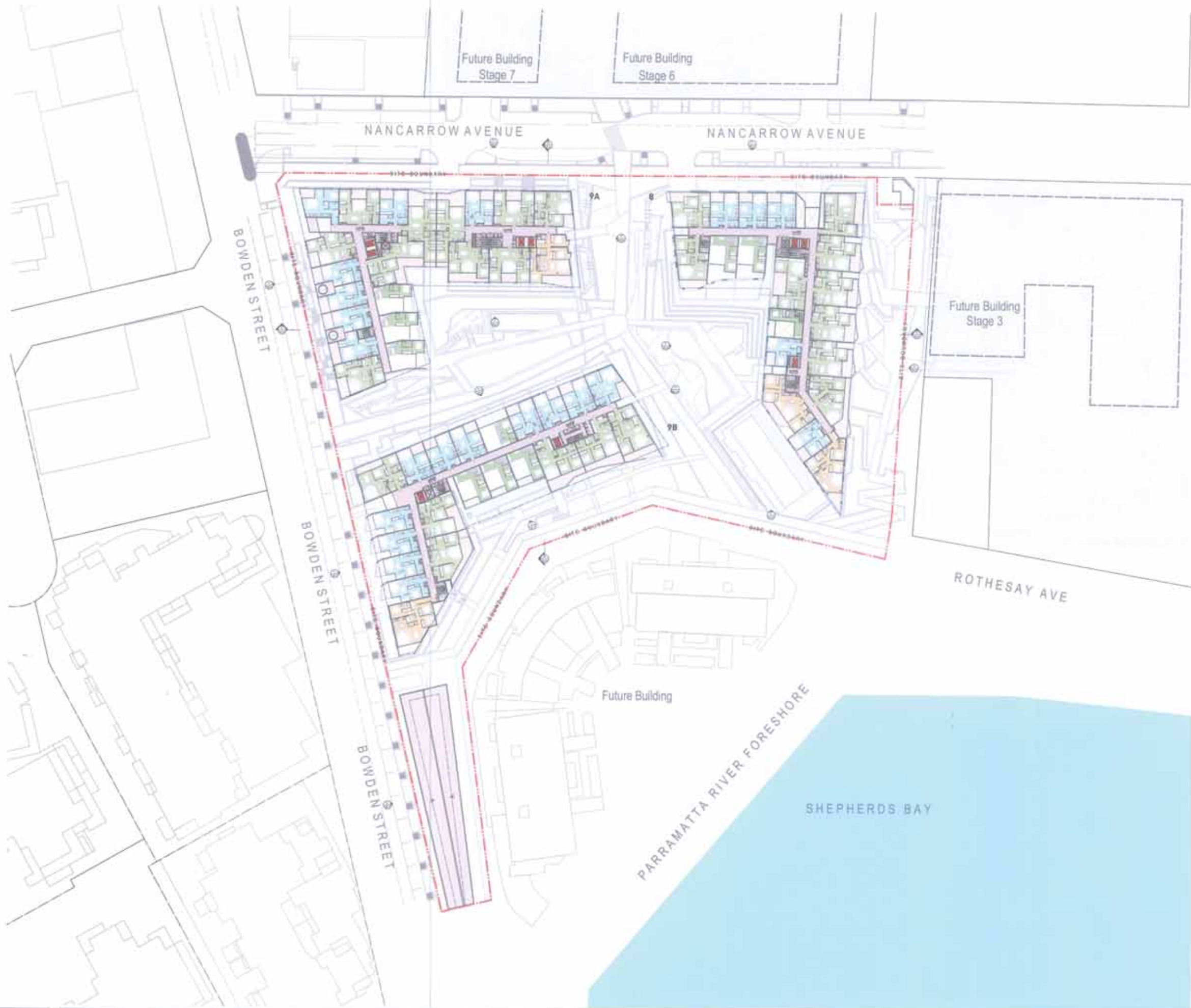
PROJECT INFO

SHEPHERDS BAY - BUILDINGS 8 & 9
 20-24 Nancarrow Ave, 715-718 Bowden St, Macquarie Park NSW 2114

Client: [Redacted]
Architect: [Redacted]
Scale: 1:500 @ A1
Drawn by: J. Smith
Checked by: M. Jones
Date: 10/10/2014

PROJECT NO: 13067
DATE: 10/10/2014
SCALE: 1:500 @ A1
PROJECT NAME: SHEPHERDS BAY - BUILDINGS 8 & 9
CLIENT: [Redacted]
ARCHITECT: [Redacted]





- NOTES**
1. Internal layouts shown are indicative only for information purposes and are subject to further design development and change.
 2. Windows, columns, if shown, are indicative only.
 3. Lobbies, stairs, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any fixtures connected are indicative only and subject to change.
 6. Architectural photos on the facade are indicative only and are subject to further design development and change.
 7. Storage situations and areas are not necessarily shown on the drawings and are subject to change.

NOTES

For information and consultation on this project, contact the project manager at the address below.

PROJECT: SHEPHERDS BAY - BUILDINGS 6 & 9

DATE: 13/07/2016

PROJECT MANAGER: JAMES WILSON

ARCHITECT: TURNER

TURNER ARCHITECTURE

20/26 NANCARROW AVENUE, SYDNEY NSW 2114

T 02 9550 3540

ROTHESAY AVENUE DEVELOPMENTS

Suite 20-4 Gilchrist Avenue, Macquarie Park NSW 2113

T 02 9550 3540

REVISIONS

NO.	DATE	DESCRIPTION
01	13/07/2016	ISSUED FOR PERMIT
02	13/07/2016	ISSUED FOR PERMIT
03	13/07/2016	ISSUED FOR PERMIT
04	13/07/2016	ISSUED FOR PERMIT
05	13/07/2016	ISSUED FOR PERMIT
06	13/07/2016	ISSUED FOR PERMIT
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99	13/07/2016	ISSUED FOR PERMIT
100	13/07/2016	ISSUED FOR PERMIT

PROJECT INFO

SHEPHERDS BAY - BUILDINGS 6 & 9

20/26 NANCARROW AVENUE, 110/118 BOWDEN ST, MACQUARIE PARK NSW 2114

Scale: 1:300

Project No: 13067

Client: G20

For Information: DA-110_820

Site Plan - Level G2



- NOTES**
1. Internal levels shown are indicative only for information purposes and are subject to further design development and change.
 2. Shading indicates, if shown, are indicative only.
 3. Levels shown, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any fixtures mentioned are indicative only and subject to change.
 6. Annotations shown on this layout are indicative only and are subject to further design development and change.
 7. Storage situations and areas are not necessarily shown on this drawing and are subject to change.

NOTES

The information contained on this drawing is for information purposes only and is subject to change without notice. It is the responsibility of the client to ensure that the information is up to date and accurate. The information is provided as a guide only and is not intended to be used as a basis for any design or construction. The information is provided as a guide only and is not intended to be used as a basis for any design or construction.

ROTHESAY AVENUE DEVELOPMENTS
 Suite 20-4 Gillick Avenue, Macquarie Park NSW 2113
 T 02 9600 0040

PROJECT NAME
 SHEPHERDS BAY - BUILDINGS 6 & 9

NO.	DESCRIPTION	DATE	BY	CHECKED BY	APPROVED BY
1	Issue for Information	10/10/2023	J. Smith	M. Jones	P. Brown
2	Issue for Design	15/10/2023	J. Smith	M. Jones	P. Brown
3	Issue for Construction	20/10/2023	J. Smith	M. Jones	P. Brown

PROJECT TITLE
 SHEPHERDS BAY - BUILDINGS 6 & 9
 25-35 Nancarrow Ave, 110-118 Bowden St, Macquarie Park NSW 2114

CLIENT
 ROTHESAY AVENUE DEVELOPMENTS

DATE
 10/10/2023

SCALE
 1:500 @ A1

PROJECT NO.
 13067

CLIENT NO.
 DA-110_030

PROJECT MANAGER
 M





- NOTES**
1. Internal layout shown are indicative only for information purposes and are subject to further design development and change.
 2. Window mullions, if shown, are indicative only.
 3. Loose panels, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any fixtures mentioned are indicative only and subject to change.
 6. Attic/roofs shown on the layout are indicative only and are subject to further design development and change.
 7. Storage situations and areas are not necessarily shown on the drawings and are subject to change.

NOTES

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ROTHESAY AVENUE DEVELOPMENTS
 Suite 20-4 Gifford Avenue, Meadowbank NSW 2115
 T 02 9891 1040

PROJECT NO: 13067
 SHEPHERDS BAY - BUILDINGS 8 & 9
 20-30 Nancarrow Ave, 110-118 Bowden St, Meadowbank NSW 2114

NO.	DESCRIPTION	DATE	BY	CHECKED BY
1	Issue for Information	10/10/2023	[Signature]	[Signature]
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64	Issue for Construction	10/10/2023	[Signature]	[Signature]
65	Issue for Construction	10/10/2023	[Signature]	[Signature]
66	Issue for Construction	10/10/2023	[Signature]	[Signature]
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69	Issue for Construction	10/10/2023	[Signature]	[Signature]
70	Issue for Construction	10/10/2023	[Signature]	[Signature]
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72	Issue for Construction	10/10/2023	[Signature]	[Signature]
73	Issue for Construction	10/10/2023	[Signature]	[Signature]
74	Issue for Construction	10/10/2023	[Signature]	[Signature]
75	Issue for Construction	10/10/2023	[Signature]	[Signature]
76	Issue for Construction	10/10/2023	[Signature]	[Signature]
77	Issue for Construction	10/10/2023	[Signature]	[Signature]
78	Issue for Construction	10/10/2023	[Signature]	[Signature]
79	Issue for Construction	10/10/2023	[Signature]	[Signature]
80	Issue for Construction	10/10/2023	[Signature]	[Signature]
81	Issue for Construction	10/10/2023	[Signature]	[Signature]
82	Issue for Construction	10/10/2023	[Signature]	[Signature]
83	Issue for Construction	10/10/2023	[Signature]	[Signature]
84	Issue for Construction	10/10/2023	[Signature]	[Signature]
85	Issue for Construction	10/10/2023	[Signature]	[Signature]
86	Issue for Construction	10/10/2023	[Signature]	[Signature]
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90	Issue for Construction	10/10/2023	[Signature]	[Signature]
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93	Issue for Construction	10/10/2023	[Signature]	[Signature]
94	Issue for Construction	10/10/2023	[Signature]	[Signature]
95	Issue for Construction	10/10/2023	[Signature]	[Signature]
96	Issue for Construction	10/10/2023	[Signature]	[Signature]
97	Issue for Construction	10/10/2023	[Signature]	[Signature]
98	Issue for Construction	10/10/2023	[Signature]	[Signature]
99	Issue for Construction	10/10/2023	[Signature]	[Signature]
100	Issue for Construction	10/10/2023	[Signature]	[Signature]

Project No: 13067
Project Name: SHEPHERDS BAY - BUILDINGS 8 & 9
 20-30 Nancarrow Ave, 110-118 Bowden St, Meadowbank NSW 2114
Client: [Name]
Scale: 1:500 @ A1
Drawn by: [Name]
Checked by: [Name]
Date: 10/10/2023
Sheet No: DA-110_040
Total Sheets: M
Scale: M





- NOTES**
1. Internal levels shown are indicative only for information purposes and are subject to further design development and change.
 2. Window mullions, if shown, are indicative only.
 3. Louvre panels, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any fixtures mentioned are indicative only and subject to change.
 6. Annotations shown on the facade are indicative only and are subject to further design development and change.
 7. Storage allocations and areas are not necessarily shown on the drawings and are subject to change.

NOTES

1. All dimensions and levels shown are approximate and subject to change.

2. All dimensions and levels shown are approximate and subject to change.

3. All dimensions and levels shown are approximate and subject to change.

4. All dimensions and levels shown are approximate and subject to change.

5. All dimensions and levels shown are approximate and subject to change.

6. All dimensions and levels shown are approximate and subject to change.

7. All dimensions and levels shown are approximate and subject to change.

8. All dimensions and levels shown are approximate and subject to change.

9. All dimensions and levels shown are approximate and subject to change.

10. All dimensions and levels shown are approximate and subject to change.

ROTHESAY AVENUE DEVELOPMENTS

Units 20-4 Gifford Avenue, Macquarie Park NSW 2113
 T 02 9669 0540

REVISIONS

No.	Description	Date
1	Issue for tender	10/10/2018
2	Issue for construction	10/10/2018
3	Issue for construction	10/10/2018
4	Issue for construction	10/10/2018
5	Issue for construction	10/10/2018
6	Issue for construction	10/10/2018
7	Issue for construction	10/10/2018
8	Issue for construction	10/10/2018
9	Issue for construction	10/10/2018
10	Issue for construction	10/10/2018

NO.	DESCRIPTION	DATE	BY	CHECKED BY
1	Issue for tender	10/10/2018	J. Smith	M. Jones
2	Issue for construction	10/10/2018	J. Smith	M. Jones
3	Issue for construction	10/10/2018	J. Smith	M. Jones
4	Issue for construction	10/10/2018	J. Smith	M. Jones
5	Issue for construction	10/10/2018	J. Smith	M. Jones
6	Issue for construction	10/10/2018	J. Smith	M. Jones
7	Issue for construction	10/10/2018	J. Smith	M. Jones
8	Issue for construction	10/10/2018	J. Smith	M. Jones
9	Issue for construction	10/10/2018	J. Smith	M. Jones
10	Issue for construction	10/10/2018	J. Smith	M. Jones

Project Title
 SHEPHERDS BAY - BUILDINGS 6 & 9
 20-24 Nancarrow Ave, 110-118 Bowden St, Macquarie Park NSW 2114

Client
 DA-116_050

Scale
 1:500 @ A1

Drawn By
 J. Smith

Checked By
 M. Jones

Project No.
 13067

Drawn No.
 0001

Scale
 M

Site Plan - Level 06





- NOTES**
1. Internal layout shown are indicative only for information purposes and are subject to further design development and change.
 2. Window patterns, if shown, are indicative only.
 3. Layout panels, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any fixtures, materials and finishes are indicative only and subject to change.
 6. Alternative views on the facade are indicative only and are subject to further design development and change.
 7. Storage allocations and areas are not necessarily shown on the drawings and are subject to change.

NOTES
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ROTHESAY AVENUE DEVELOPMENTS
 Suite 20-4 Offroad Avenue, Macquarie Park NSW 2113
 T 02 9869 1540

PROJECT NO: 13067
 SHEPHERDS BAY - BUILDINGS 8 & 9
 20-31 Nancarrow Ave, 115-118 Bowden St, Macquarie Park NSW 2113

NO.	DESCRIPTION	DATE	BY	CHECKED BY	REVISION
1	Issue for Information	10/10/2014	[Signature]	[Signature]	1
2	Issue for Design Development	15/11/2014	[Signature]	[Signature]	2
3	Issue for Construction	15/11/2014	[Signature]	[Signature]	3

Project No: **13067**
 SHEPHERDS BAY - BUILDINGS 8 & 9
 20-31 Nancarrow Ave, 115-118 Bowden St, Macquarie Park NSW 2113
 Drawing No: **DA-110_060**
 Title: **Site Plan - Level 06**

Scale: 1:500
 Date: 10/10/2014
 Project No: 13067
 Drawing No: DA-110_060
 Title: Site Plan - Level 06



- NOTES
1. Internal levels shown are indicative only for information purposes and are subject to further design development and change.
 2. Window sashings, if shown, are indicative only.
 3. Louvre panels, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any fixtures furnished are indicative only and subject to change.
 6. Architectural notes on the layout are indicative only and are subject to further design development and change.
 7. Storage allocations and areas are not necessarily shown on the drawings and are subject to change.

13067
 25/36 NANCARROW AVE, 110-119 BOWDEN ST, MACKENZIE NSW 2114
 SHEPHERDS BAY - BUILDINGS 8 & 9
 Site Plan - Level 07

ROTHESAY AVENUE DEVELOPMENTS
 Suite 20-4 Gilbrook Avenue, Murrumbidgee Park NSW 2113
 T: 02 9888 5542

DATE: 15/10/2024
 PROJECT NO: 13067
 SHEET NO: 02/02

REVISIONS		REVISIONS	
No	Description	No	Description
01	Issue for RFP	01	Issue for RFP
02	Issue for RFP	02	Issue for RFP
03	Issue for RFP	03	Issue for RFP
04	Issue for RFP	04	Issue for RFP
05	Issue for RFP	05	Issue for RFP
06	Issue for RFP	06	Issue for RFP
07	Issue for RFP	07	Issue for RFP
08	Issue for RFP	08	Issue for RFP
09	Issue for RFP	09	Issue for RFP
10	Issue for RFP	10	Issue for RFP

Project No: 13067
 SHEPHERDS BAY - BUILDINGS 8 & 9
 25-36 Nancarrow Ave, 110-119 Bowden St, Mackenzie NSW 2114
 Date: 15/10/2024
 Drawing No: DA-110_070
 Scale: M
 Author: [Name]
 Designer: [Name]
 Checker: [Name]
 Approver: [Name]





- NOTES**
1. Internal layout shown are indicative only for information purposes and are subject to further design development and change.
 2. Shaded footprints, if shown, are indicative only.
 3. Layouts shown, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any fixtures mentioned are indicative only and subject to change.
 6. Annotations shown on the site are indicative only and are subject to further design development and change.
 7. Storage allocations and areas are not necessarily shown on the drawings and are subject to change.

ROTHESAY AVENUE DEVELOPMENTS
 Suite 20-4 Cliffbank Avenue, Meadowbank NSW 2113
 T 02 9662 1040

NO.	DESCRIPTION	DATE	BY	CHECKED BY	REVISION
01	Issue for Information	10/10/2023	J. Smith	M. Jones	Initial Issue
02	Revised for Design Development	15/10/2023	J. Smith	M. Jones	Design Development
03	Final Design	20/10/2023	J. Smith	M. Jones	Final Design

Project No: SHEPHERDS BAY - BUILDINGS 8 & 9
 20-26 Nancarrow Ave, 115-117 Bowden St, Meadowbank NSW 2114

Client: DA-110_080

Scale: 1:500

Drawn by: M

Checked by: M

Date: 10/10/2023

Project No: 13067

Scale: 1:500

Drawn by: M

Checked by: M

Date: 10/10/2023

Project No: DA-110_080

Scale: 1:500

Drawn by: M

Checked by: M

Date: 10/10/2023



- NOTES**
1. Internal layout shown is illustrative only for information purposes and we intend to further design development and change.
 2. Window locations, if shown, are illustrative only.
 3. Layout panels, if shown, are illustrative only.
 4. All dimensions and levels shown are approximate.
 5. Any fixtures included are illustrative only and subject to change.
 6. All fixtures shown in the layout are illustrative only and are subject to further design development and change.
 7. Storage allocations and areas are not necessarily shown on the drawings and we subject to change.

NOTES
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ROTHESAY AVENUE DEVELOPMENTS
 Suite 20-4 Gilbrook Avenue, Meadowbank NSW 2113
 T 02 9889 5540

PROJECT INFORMATION
 Project Name: SHEPHERDS BAY - BUILDINGS 4 & 5
 Project Location: 25-35 Nancarrow Ave, 110-118 Bowden St, Meadowbank NSW 2114
 Project Status: Design Development
 Project Start: 2023
 Project End: 2024

NO.	DESCRIPTION	DATE	BY	CHKD BY	APP'D BY
1	Issue for Design Development	2023-10-20	JM	AM	AM
2	Issue for Construction	2024-03-15	JM	AM	AM

NO.	DESCRIPTION	DATE	BY	CHKD BY	APP'D BY
1	Issue for Design Development	2023-10-20	JM	AM	AM
2	Issue for Construction	2024-03-15	JM	AM	AM

Project Info
SHEPHERDS BAY - BUILDINGS 4 & 5
 25-35 Nancarrow Ave, 110-118 Bowden St, Meadowbank NSW 2114
Site Plan - Level 00

Scale	1:500 @ A1	1:100 @ A3	1:300 @ A4	1:500 @ A0
Drawn	JM	AM	AM	AM
Checked	AM	AM	AM	AM
Approved	AM	AM	AM	AM
Project No.	13067	DA-110_090	M	





- NOTES**
1. Internal levels shown are indicative only for information purposes and are subject to further design development and change.
 2. Window mullions, if shown, are indicative only.
 3. Locals panels, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any fixtures mentioned are indicative only and subject to change.
 6. Attachments shown on the facade are indicative only and are subject to further design development and change.
 7. Storage elevations and areas are not necessarily shown on the drawings and are subject to change.

NOTES

1. This drawing is a preliminary design and is subject to change without notice. It is not to be used for construction purposes.

2. All dimensions and levels shown are approximate.

3. Any fixtures mentioned are indicative only and subject to change.

4. Attachments shown on the facade are indicative only and are subject to further design development and change.

5. Storage elevations and areas are not necessarily shown on the drawings and are subject to change.

CLIENT
ROTHESAY AVENUE DEVELOPMENTS
 Suite 20-4 Gifford Avenue, Macquarie Park NSW 2113
 T 152 8559 2542

DESIGN TEAM

NO.	NAME	ROLE	COMPANY
1	John Gifford	Principal Architect	John Gifford Architects
2	Michael Gifford	Senior Architect	John Gifford Architects
3	David Gifford	Architect	John Gifford Architects
4	James Gifford	Architect	John Gifford Architects
5	Robert Gifford	Architect	John Gifford Architects
6	Simon Gifford	Architect	John Gifford Architects
7	Thomas Gifford	Architect	John Gifford Architects
8	William Gifford	Architect	John Gifford Architects
9	Charles Gifford	Architect	John Gifford Architects
10	John Gifford	Architect	John Gifford Architects

NO.	NAME	ROLE	COMPANY
11	Michael Gifford	Senior Architect	John Gifford Architects
12	David Gifford	Architect	John Gifford Architects
13	James Gifford	Architect	John Gifford Architects
14	Robert Gifford	Architect	John Gifford Architects
15	Simon Gifford	Architect	John Gifford Architects
16	Thomas Gifford	Architect	John Gifford Architects
17	William Gifford	Architect	John Gifford Architects
18	Charles Gifford	Architect	John Gifford Architects
19	John Gifford	Architect	John Gifford Architects
20	Michael Gifford	Senior Architect	John Gifford Architects

PROJECT
SHEPHERDS BAY - BUILDINGS 8 & 9
 20-20 Nancarrow Ave, 116, 118 Bowden St, Macquarie Park NSW 2114

DATE
 13/06/2023

SCALE
 1:500

PROJECT NO.
 DA-116-100

CLIENT
 ROTHESAY AVENUE DEVELOPMENTS

DESIGNER
 JOHN GIFFORD ARCHITECTS

DATE
 13/06/2023

SCALE
 1:500

PROJECT NO.
 DA-116-100

CLIENT
 ROTHESAY AVENUE DEVELOPMENTS

DESIGNER
 JOHN GIFFORD ARCHITECTS





- NOTES**
1. Internal layout lines are indicative only for information purposes and are subject to further design development and change.
 2. Window mullions, if shown, are indicative only.
 3. Column panels, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any fixtures connected via indicative lines and subject to change.
 6. All fixtures shown on the layout are indicative only and are subject to further design development and change.
 7. Storage structures and areas are not necessarily shown on the drawings and are subject to change.

NOTES

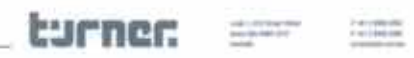
1. This drawing is the property of Turner & Townsend Pty Ltd. It is to be used only for the project and site for which it is prepared. It is not to be used for any other purpose without the written consent of Turner & Townsend Pty Ltd. The drawings are not to be used for any other purpose without the written consent of Turner & Townsend Pty Ltd. The drawings are not to be used for any other purpose without the written consent of Turner & Townsend Pty Ltd.

ROTHESAY AVENUE DEVELOPMENTS
 Suite 22-4 Colford Avenue, Macquarie Park, NSW 2113
 T 02 9669 5540

PROJECT NO: 13067
 SHEPHERDS BAY - BUILDINGS 8 & 9
 SHEPHERDS BAY - BUILDINGS 8 & 9
 SHEPHERDS BAY - BUILDINGS 8 & 9

NO.	DESCRIPTION	DATE	BY	CHECKED	APPROVED
1	Issue for Information	10/10/2014	J. Smith	M. Jones	P. Brown
2	Issue for Construction	10/10/2014	J. Smith	M. Jones	P. Brown
3	Issue for Construction	10/10/2014	J. Smith	M. Jones	P. Brown
4	Issue for Construction	10/10/2014	J. Smith	M. Jones	P. Brown
5	Issue for Construction	10/10/2014	J. Smith	M. Jones	P. Brown
6	Issue for Construction	10/10/2014	J. Smith	M. Jones	P. Brown
7	Issue for Construction	10/10/2014	J. Smith	M. Jones	P. Brown
8	Issue for Construction	10/10/2014	J. Smith	M. Jones	P. Brown
9	Issue for Construction	10/10/2014	J. Smith	M. Jones	P. Brown
10	Issue for Construction	10/10/2014	J. Smith	M. Jones	P. Brown

Project No: 13067
Site Plan - Level 11
 20-30 Nancarrow Ave, 115-119 Bowden St, Meadowbank NSW 2114





- NOTES**
1. Internal layout shown are indicative only for information purposes and are subject to further design development and change.
 2. Window trusses, if shown, are indicative only.
 3. Louvre panels, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any fixtures mentioned are indicative only and subject to change.
 6. Alternative views of the facade are indicative only and are subject to further design development and change.
 7. Storage alternatives and areas are not necessarily shown on this drawing and are subject to change.

NOTES

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ROTHESAY AVENUE DEVELOPMENTS
 Suite 20-4 Gilford Avenue, Mayspark Park NSW 2113
 T 02 9681 5540

GENERAL NOTES

1. All dimensions are in millimetres unless otherwise stated.

2. All levels are in metres above sea level unless otherwise stated.

3. All dimensions and levels shown are approximate.

4. All dimensions and levels shown are approximate.

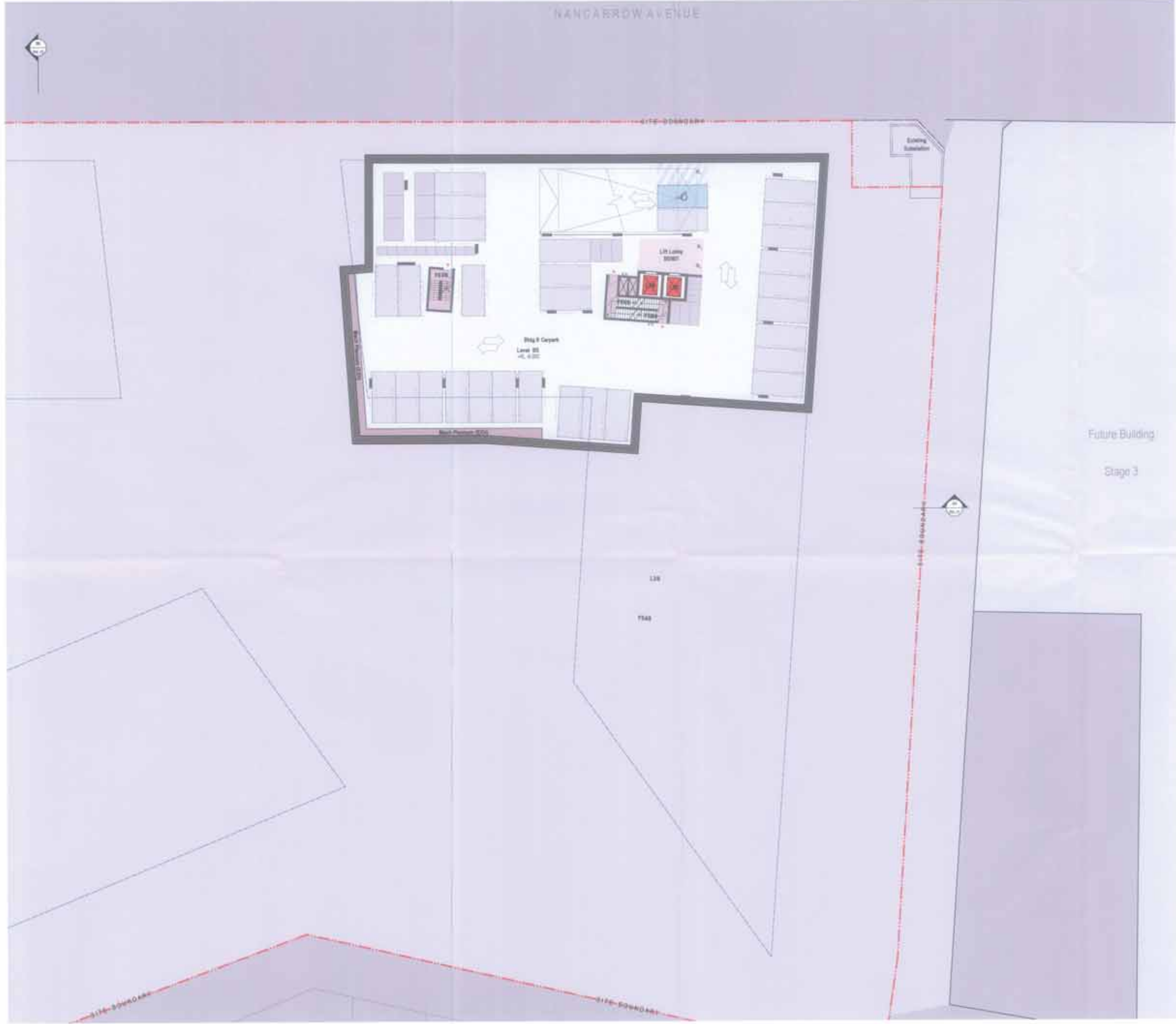
5. All dimensions and levels shown are approximate.

NO.	DESCRIPTION	DATE	BY	CHECKED	SCALE	STATUS
1	Issue for Information	10/10/2014	J. Smith	M. Jones	1:1	Information
2	Issue for Approval	15/10/2014	J. Smith	M. Jones	1:1	Approval
3	Issue for Construction	20/10/2014	J. Smith	M. Jones	1:1	Construction

Project No: **13067**
 SHEPHERDS BAY - BUILDINGS 8 & 9
 20-04 Nancarrow Ave, 110-112 Bowden St, Meadowbank NSW 2114

Scale: **1:100**
 Date: **10/10/2014**
 For Information: **DA-110_120**

Site Plan - Level 12 Roof Plan



- NOTES**
1. Internal layouts shown are indicative only for information purposes and are subject to further design development and change.
 2. Window locations, if shown, are indicative only.
 3. Luggage points, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any fixtures mentioned are indicative only and subject to change.
 6. All fixtures shown on the facade are indicative only and are subject to further design development and change.
 7. Storage allocations and areas are not necessarily shown on the drawings and are subject to change.

CLIENT
ROTHESAY AVENUE DEVELOPMENTS
 Suite 22-4 Offroad Avenue, Macquarie Park NSW 2111
 T 02 9888 1540

DESIGN INTENT NOTES

1. All dimensions and levels shown are approximate.

2. All fixtures shown on the facade are indicative only and are subject to further design development and change.

3. Storage allocations and areas are not necessarily shown on the drawings and are subject to change.

NO.	REVISION	DATE	BY	DESCRIPTION
1	Issue for Approval	10/10/2023	Turner	Final Design
2	Issue for Construction	10/10/2023	Turner	Final Design

Project No: **13067**
 SHEPHERDS BAY - BUILDINGS 8 & 9
 30-34 Nancarrow Ave, 110-118 Bowden St, Macquarie Park NSW 2114
 Drawing No: **GA Plan (Building 6) - Basement Level B5**
 Scale: **H**
 Date: **10/10/2023**
 Project No: **13067**
 Drawing No: **DA-111_003**
 Scale: **H**



- NOTES**
1. Internal levels shown are indicative only for information purposes and are subject to further design development and change.
 2. Window locations, if shown, are indicative only.
 3. Levels, panels, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any finishes indicated are indicative only and subject to change.
 6. Attachments shown on the layout are indicative only and are subject to further design development and change.
 7. Storage dimensions and areas are not necessarily shown on the drawings and are subject to change.

NOTES

1. This drawing is the property of TURNER ARCHITECTURE AND ENGINEERING and shall not be used for any other project without the written consent of TURNER ARCHITECTURE AND ENGINEERING. 2. This drawing is the property of TURNER ARCHITECTURE AND ENGINEERING and shall not be used for any other project without the written consent of TURNER ARCHITECTURE AND ENGINEERING. 3. This drawing is the property of TURNER ARCHITECTURE AND ENGINEERING and shall not be used for any other project without the written consent of TURNER ARCHITECTURE AND ENGINEERING.

CLIENT
ROTHESAY AVENUE DEVELOPMENTS
 Suite 22-4 Giffnock Avenue, Glasgow Park NSW 2113
 T 61 2 955 5542

DESIGN HISTORY

NO.	DATE	DESCRIPTION
1	10/10/2014	Initial Design
2	15/11/2014	Final Design
3	10/12/2014	Final Design

GENERAL NOTES

1. All dimensions are in millimeters unless otherwise stated.

2. All levels are in meters above sea level unless otherwise stated.

3. All materials are to be specified in the schedule of materials.

4. All work is to be in accordance with the Australian Standards.

REVISIONS

NO.	DATE	DESCRIPTION
1	10/10/2014	Initial Design
2	15/11/2014	Final Design
3	10/12/2014	Final Design

PROJECT INFORMATION

Project Name: SHEPHERDS BAY - BUILDINGS 8 & 9
 Project Address: 20-38 Rossmore Ave, 110-110 Swales St, Macquarie Park NSW 2114
 Project No: DA-111-004
 Project Stage: M

TURNER ARCHITECTURE AND ENGINEERING

10/10/2014
 15/11/2014
 10/12/2014

PROJECT INFORMATION

Project Name: SHEPHERDS BAY - BUILDINGS 8 & 9
 Project Address: 20-38 Rossmore Ave, 110-110 Swales St, Macquarie Park NSW 2114
 Project No: DA-111-004
 Project Stage: M

turner

10/10/2014
 15/11/2014
 10/12/2014

MANGAROW AVENUE



- NOTES
1. Internal layout shown are indicative only for information purposes and are subject to further design development and change.
 2. Window mullions, if shown, are indicative only.
 3. Layout points, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any fixtures connected are indicative only and subject to change.
 6. All fixtures shown on the figure are indicative only and are subject to further design development and change.
 7. Storage locations and areas are not necessarily shown on the drawings and are subject to change.

ROTHESAY AVENUE DEVELOPMENTS
 Suite 20-4 Gibbick Avenue, Marsfield Park NSW 2111
 T (02) 888 5540

REVISIONS

NO.	DATE	DESCRIPTION
1	10/01/2024	ISSUED FOR PERMIT
2	10/01/2024	REVISED PER PERMIT COMMENTS
3	10/01/2024	REVISED PER PERMIT COMMENTS
4	10/01/2024	REVISED PER PERMIT COMMENTS
5	10/01/2024	REVISED PER PERMIT COMMENTS
6	10/01/2024	REVISED PER PERMIT COMMENTS
7	10/01/2024	REVISED PER PERMIT COMMENTS
8	10/01/2024	REVISED PER PERMIT COMMENTS
9	10/01/2024	REVISED PER PERMIT COMMENTS
10	10/01/2024	REVISED PER PERMIT COMMENTS

LEGEND

SYMBOL	DESCRIPTION
[Symbol]	Structural Column
[Symbol]	Structural Wall
[Symbol]	Structural Slab
[Symbol]	Structural Beam
[Symbol]	Structural Stair
[Symbol]	Structural Lift
[Symbol]	Structural Core
[Symbol]	Structural Wall
[Symbol]	Structural Slab
[Symbol]	Structural Beam
[Symbol]	Structural Stair
[Symbol]	Structural Lift
[Symbol]	Structural Core
[Symbol]	Structural Wall
[Symbol]	Structural Slab
[Symbol]	Structural Beam
[Symbol]	Structural Stair
[Symbol]	Structural Lift
[Symbol]	Structural Core

PROJECT INFO
 SHEPHERDS BAY - BUILDINGS 8 & 9
 20-24 Rossmore Ave, 110-118 Bowden St, Macquarie Park NSW 2114
 Drawing No: **GA Plan (Building 8) - Basment Level B3**

turner

Project No: 13067
 Drawing No: DA-111_005
 Scale: 1:200
 Date: 10/01/2024



- NOTES**
1. Internal levels shown are indicative only for information purposes and are subject to further design development and change.
 2. Worked drawings, if shown, are indicative only.
 3. Layout panels, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any finishes mentioned are indicative only and subject to change.
 6. Articulations shown on the facade are indicative only and are subject to further design development and change.
 7. Change allocations and areas are not necessarily shown on the drawings and are subject to change.

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 Suite 20-4 Offshore Avenue, Macquarie Park NSW 2113
 T 02 9699 5540

DESIGN NOTES

1. All dimensions are in millimeters unless otherwise stated.
 2. All levels are in meters above sea level unless otherwise stated.
 3. All materials are to be specified in the schedule of materials.
 4. All finishes are to be specified in the schedule of finishes.
 5. All construction is to be in accordance with the relevant Australian Standards.

NO.	REVISION	DATE	BY	CHKD.	DESCRIPTION
01	ISSUED FOR PERMIT	15/08/2023
02
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PROJECT
SHEPHERDS BAY - BUILDINGS B & V
 20-26 Harcourt Ave, 110-118 Bowden St, Meadowbank NSW 2114

CLIENT
 ROTHESAY AVENUE DEVELOPMENTS

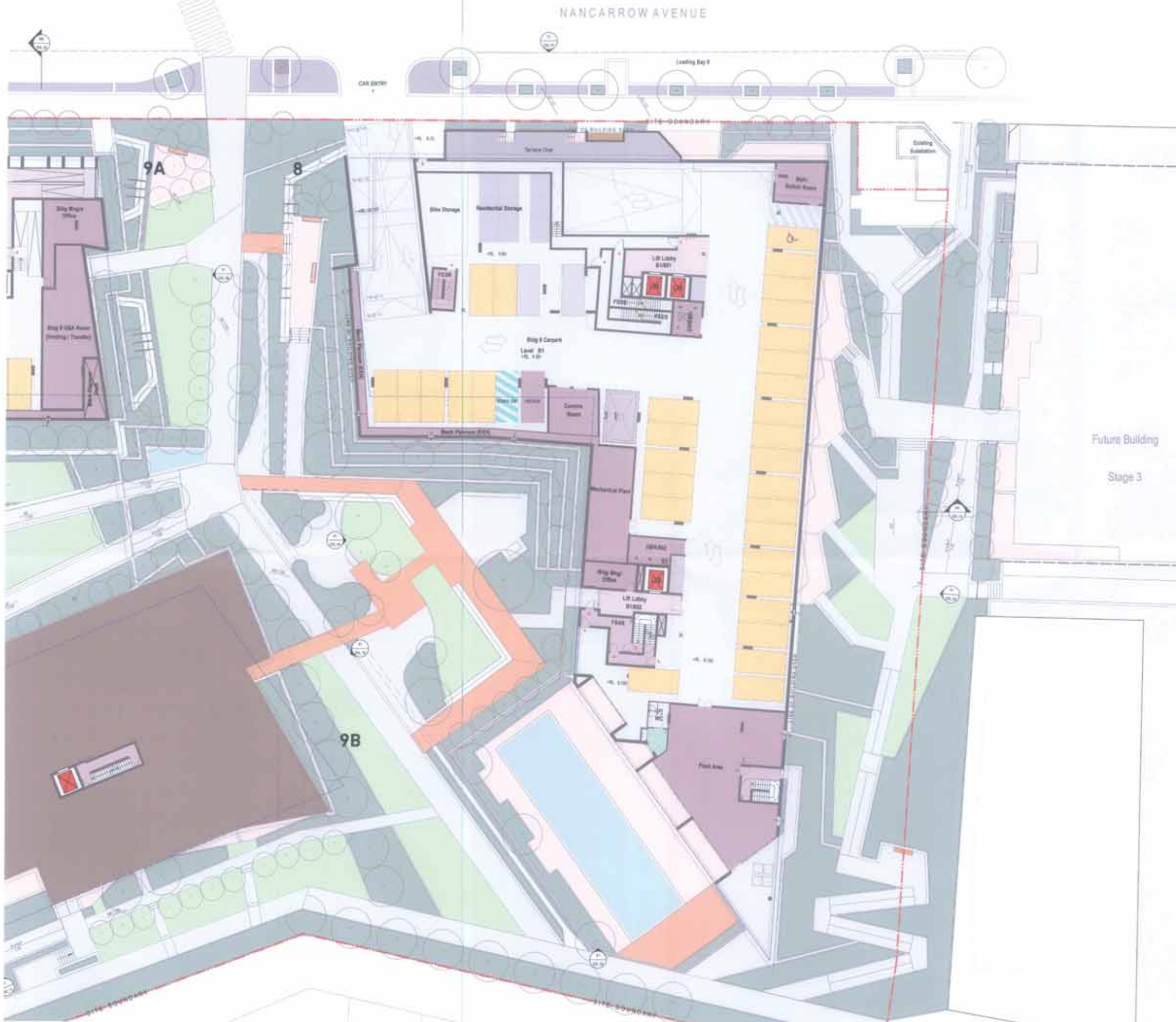
DATE
 15/08/2023

SCALE
 1:100

PROJECT NO.
 DA-111_006

REVISION
 01





- NOTES
1. Internal details shown are indicative only for information purposes and are subject to further design development and change.
 2. Window locations, if shown, are indicative only.
 3. Louvre panels, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any fixtures represented are indicative only and subject to change.
 6. All fixtures shown on the layout are indicative only and are subject to further design development and change.
 7. Storage allocations and areas are not necessarily shown on the drawings and are subject to change.

ROTHESAY AVENUE DEVELOPMENTS
 Suite 20-4 Gibbick Avenue, Macquarie Park NSW 2113
 T 02 9882 2242

REVISIONS

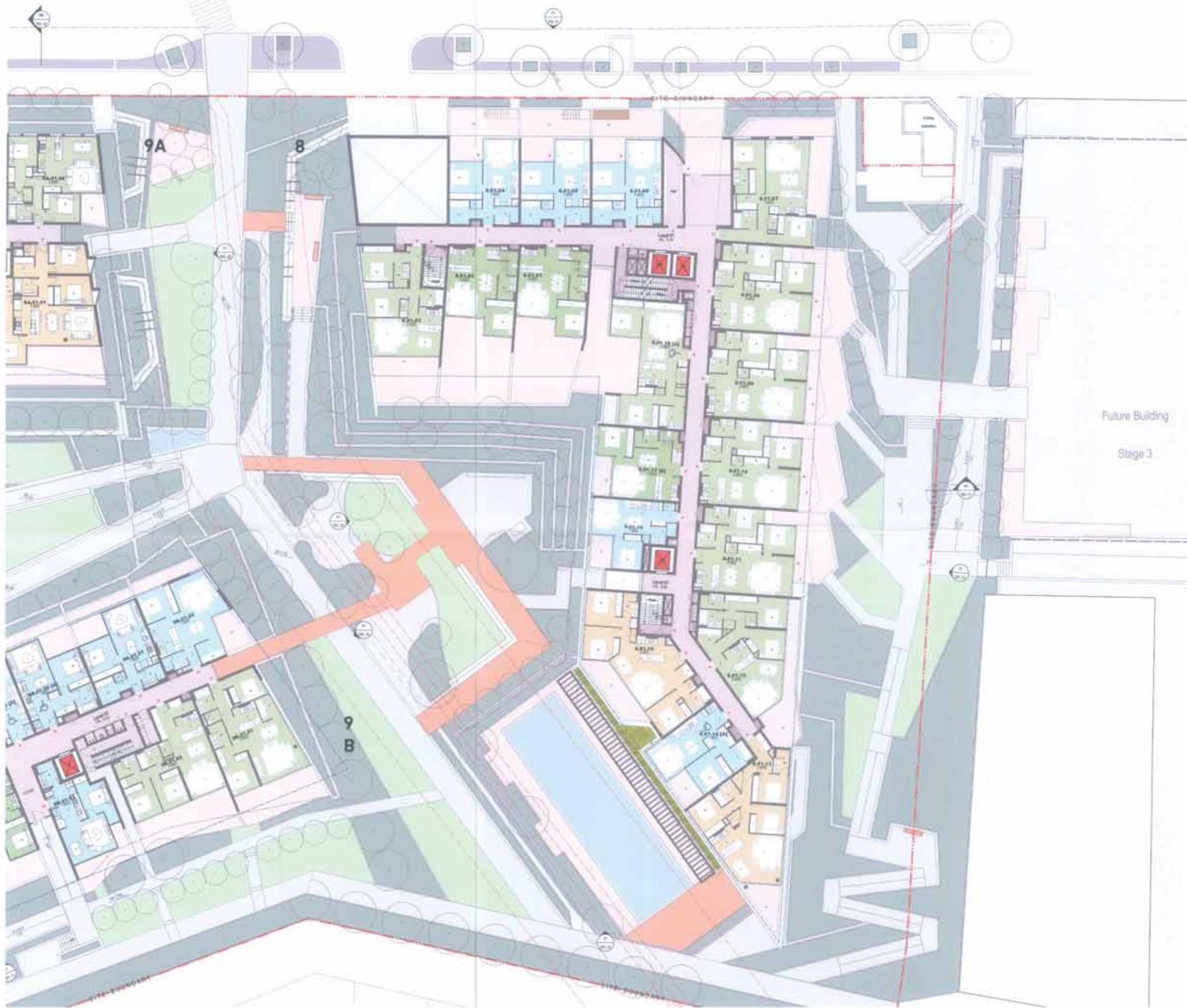
NO.	DATE	DESCRIPTION
1	10/10/2018	ISSUED FOR PERMIT
2	10/10/2018	ISSUED FOR PERMIT
3	10/10/2018	ISSUED FOR PERMIT
4	10/10/2018	ISSUED FOR PERMIT
5	10/10/2018	ISSUED FOR PERMIT
6	10/10/2018	ISSUED FOR PERMIT
7	10/10/2018	ISSUED FOR PERMIT
8	10/10/2018	ISSUED FOR PERMIT
9	10/10/2018	ISSUED FOR PERMIT
10	10/10/2018	ISSUED FOR PERMIT

LEGEND

SYMBOL	DESCRIPTION
(Symbol)	Structural Grid
(Symbol)	Room
(Symbol)	Wall
(Symbol)	Door
(Symbol)	Window
(Symbol)	Stair
(Symbol)	Lift
(Symbol)	Plant Area
(Symbol)	Garage
(Symbol)	Storage
(Symbol)	Mechanical Plant
(Symbol)	LR Lobby
(Symbol)	Wash Room
(Symbol)	Service Door
(Symbol)	Car Entry
(Symbol)	Future Building Stage 3

Project No: SHEPHERDS BAY - BUILDINGS 8 & 9
 20-26 Venorence Ave, 116-118 Bowden St, Macquarie Park NSW 2114
 Drawing No: GA Plan (Building 8) - Basement Level B1
 Project No: 13067
 Drawing No: DA-111_007
 Scale: 1:200
 Date: 10/10/2018
 Author: [Name]
 Checker: [Name]
 Approver: [Name]

NANCARROW AVENUE



Future Building
Stage 3

- NOTES
1. Internal layouts shown are indicative only for information purposes and are subject to further design development and change.
 2. Module numbers, if shown, are indicative only.
 3. Layouts shown, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any fixtures mentioned are indicative only and subject to change.
 6. Alterations shown on the facade are indicative only and are subject to further design development and change.
 7. Storage allocations and areas are not necessarily shown on the drawings and are subject to change.

NOTES

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3. The architect is not responsible for the accuracy of any information provided by third parties.

4. The architect is not responsible for the accuracy of any information provided by third parties.

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PROJECT NO. 13067

13067 - SHEPHERDS BAY - BUILDINGS 8 & 9

13067 - SHEPHERDS BAY - BUILDINGS 8 & 9

13067 - SHEPHERDS BAY - BUILDINGS 8 & 9

NO.	REVISION	DATE	BY	CHKD.	DESCRIPTION
1	ISSUED FOR PERMIT	15/08/2024
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Project No. **13067**

SHEPHERDS BAY - BUILDINGS 8 & 9

20-35 Nancarrow Ave, 115-118 Broken St, Macquarie Park NSW 2113

Client: **DA-111 010**

Scale: **M**

Drawn by: **GA Plan (Building 8) - Level 01**

Checked by: **M**

Turner logo and contact information.



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 2. Window locations, if shown, are indicative only.
 3. Location panels, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any fixtures contained are indicative only and subject to change.
 6. All locations shown on the layout are indicative only and are subject to further design development and change.
 7. Storage allocation and areas are not necessarily shown on the drawings and are subject to change.

NOTES
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Room No.	Room Name	Area (sqm)	Volume (cu m)	Notes
01	RECEPTION	15.0	15.0	
02	OFFICE	120.0	120.0	
03	CONFERENCE	30.0	30.0	
04	STORAGE	10.0	10.0	
05	RESTROOM	5.0	5.0	
06	STAIR	10.0	10.0	
07	MECHANICAL	10.0	10.0	
08	UTILITY	10.0	10.0	
09	LOBBY	20.0	20.0	
10	ENTRANCE	10.0	10.0	

LEGEND

□	Room	□	Structural Column
□	Room	□	Structural Wall
□	Room	□	Structural Slab
□	Room	□	Structural Beam
□	Room	□	Structural Column
□	Room	□	Structural Wall
□	Room	□	Structural Slab
□	Room	□	Structural Beam
□	Room	□	Structural Column
□	Room	□	Structural Wall
□	Room	□	Structural Slab
□	Room	□	Structural Beam

Project No: **SHEPHERDS BAY - BUILDINGS 8 & 9**
 20-36 Nancarrow Ave, 116-118 Bowler St, Maresfield Park NSW 2114
 Drawing No: **GA Plan (Building 8) - Level 02**

Client: **DA-111_020**
 Date: **13/06/20**
 Scale: **1:100**
 Drawing No: **13067**
 Project No: **DA-111_020**
 Client Ref: **M**

turner.

NANCARROW AVENUE



- NOTES**
1. Internal levels shown are indicative only for information purposes and are subject to further design development and change.
 2. Window patterns, if shown, are indicative only.
 3. Layout patterns, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any fixtures mentioned are indicative only and subject to change.
 6. Allotments shown on the layout are indicative only and are subject to further design development and change.
 7. Storage situations and areas are not necessarily shown on the drawings and are subject to change.

ROTHESAY AVENUE DEVELOPMENTS
 Suite 20-4 Gifford Avenue, Macquarie Park NSW 2113
 T 02 9889 5540

GENERAL NOTES

1. All dimensions are in millimetres unless otherwise stated.
2. All levels are in Australian Height Datum (AHD) unless otherwise stated.
3. All materials and finishes are to be as specified in the schedule of materials.
4. All work is to be in accordance with the relevant Australian Standards and Codes of Practice.
5. All work is to be completed in accordance with the relevant Australian Standards and Codes of Practice.

NO.	DESCRIPTION	UNIT	QTY	REMARKS
01	Concrete	m ³	100	Foundation
02	Brickwork	m ²	500	External walls
03	Roofing	m ²	200	Roof structure
04	Structural Steel	kg	5000	Internal columns
05	Reinforcement	kg	1000	Concrete slabs
06	Formwork	m ²	1000	Concrete walls
07	Paint	litres	500	Internal walls
08	Plaster	m ²	1000	Internal walls
09	Insulation	m ²	500	Roof and walls
10	Windows	no.	100	External walls
11	Doors	no.	50	External walls
12	Roof Tiles	m ²	2000	Roof structure
13	Roof Trusses	no.	100	Roof structure
14	Roof Rafters	no.	2000	Roof structure
15	Roof Bracing	kg	1000	Roof structure
16	Roof Decking	m ²	2000	Roof structure
17	Roof Guttering	m	100	Roof structure
18	Roof Downpipes	no.	5	Roof structure
19	Roof Flashing	m ²	100	Roof structure
20	Roof Ventilation	no.	5	Roof structure

Project Title: **SHEPHERDS BAY - BUILDINGS 8 & 9**
 20-26 Nancarrow Ave, 110-118 Swanton St, Meadowbank NSW 2114

Client: **13067**
 Drawing No: **DA-111_030**

Scale: **M**

For Information: **DA-111_030**





- NOTES**
1. Internal layouts shown are indicative only for information purposes and are subject to further design development and change.
 2. Window mullions, if shown, are indicative only.
 3. Column panels, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any fixtures mentioned are indicative only and are subject to change.
 6. Articulations shown on Façade are indicative only and are subject to further design development and change.
 7. Storage alternatives and areas are not necessarily shown on the drawings and are subject to change.

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 Suite 20-4 Cliffrock Avenue, Marquana Park NSW 2113
 T 02 9889 0540

GENERAL NOTES

1. All dimensions are in millimeters unless otherwise stated.
 2. All levels are in meters above sea level unless otherwise stated.
 3. All materials and finishes are to be as specified in the schedule of materials and finishes.
 4. All work is to be in accordance with the Australian Standards and other relevant codes of practice.
 5. All work is to be completed in accordance with the program of works.

NO.	DESCRIPTION	UNIT	QTY	REMARKS
1	Concrete Slab	m ²	100	
2	Reinforcement	kg	5000	
3	Formwork	m ²	200	
4	Paint	liters	100	
5	Plaster	m ²	150	
6	Brickwork	m ²	50	
7	Roofing	m ²	100	
8	Glazing	m ²	200	
9	MEP Services	kg	1000	
10	Finishes	m ²	100	

PROJECT
 SHEPHERDS SAY - BUILDINGS 8 & 9
 20-26 Nancarrow Ave, 110-118 Swinton St, Macquarie Park NSW 2114

CLIENT
 DA-111_040

DATE
 13/06/2024

SCALE
 1:100

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1000 Macquarie Street, Sydney NSW 2000
 T 02 9550 6000
 F 02 9550 6001
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 2. Window mullions, if shown, are indicative only.
 3. Louvre panels, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any fixtures nominated are indicative only and subject to change.
 6. Accoutrements shown on the typical are indicative only and are subject to further design development and change.
 7. Storage elevations and areas are not necessarily shown on the drawings and are subject to change.

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NO.	DESCRIPTION	DATE	BY	CHECKED	APPROVED
1	Issue for Information	10/10/2023	J. Smith	M. Jones	P. Brown
2	Issue for Design Development	15/10/2023	J. Smith	M. Jones	P. Brown
3	Issue for Construction	20/10/2023	J. Smith	M. Jones	P. Brown

NO.	DESCRIPTION	DATE	BY	CHECKED	APPROVED
4	Issue for Information	10/10/2023	J. Smith	M. Jones	P. Brown
5	Issue for Design Development	15/10/2023	J. Smith	M. Jones	P. Brown
6	Issue for Construction	20/10/2023	J. Smith	M. Jones	P. Brown

Project Title
 SHEPHERDS BAY - BUILDINGS 8 & 9
 20-26 Nancarrow Ave, 110-118 Swales St, Manly Park NSW 2114
Drawing Title
 GA Plan (Building 8) - Level 05

turner

Project No: 13067
 Drawing No: DA-111_050
 Date: 10/10/2023
 Scale: 1:100
 Sheet: 05 of 05



- NOTES**
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 2. Window locations, if shown, are indicative only.
 3. Layout panels, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any fixtures indicated are indicative only and subject to change.
 6. Annotations shown on the layout are indicative only and are subject to further design development and change.
 7. Storage allocations and areas are not necessarily shown on the drawings and are subject to change.

Author	Checked	Drawn	Scale
1:200 GA1	SINGAS	13067	M
Project No.		DA-111_060	

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 2. All levels are in metres above sea level unless otherwise stated.
 3. All materials and finishes are to be as specified in the schedule of materials and finishes.
 4. All work is to be in accordance with the Australian Standards and other relevant codes of practice.
 5. All work is to be completed in accordance with the program of works.

Room No.	Room Name	Area (sqm)	Volume (m3)	Notes
06-08	Office	1200	3600	
06-08	Meeting Room	100	300	
06-08	Reception	50	150	
06-08	Storage	200	600	
06-08	Corridor	100	300	
06-08	Staircase	50	150	
06-08	Lift	20	60	
06-08	Plant Room	100	300	
06-08	Garage	500	1500	
06-08	Landscaping	1000	3000	
06-08	Roof	2000	6000	

Project Title
 SHEPHERDS BAY - BUILDINGS 8 & 9
 20-26 Nancarrow Ave, 110-112 Sweden St, Murrumbidgee NSW 2111

GA Plan (Building 8) - Typical Levels 06-08





9A

8



9 B



Future Building
Stage 3

- NOTES
1. Internal layout shown are indicative only for information purposes and are subject to further design development and change.
 2. Window mullions, if shown, are indicative only.
 3. Layout panels, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any fixtures indicated are indicative only and subject to change.
 6. Finishes shown on the facade are indicative only and are subject to further design development and change.
 7. Storage volumes and areas are not necessarily shown on the drawings and are subject to change.

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4. The Architect is not responsible for any structural or geotechnical issues arising from the construction of the building.

5. The Architect is not responsible for any environmental or sustainability issues arising from the construction of the building.

6. The Architect is not responsible for any legal or regulatory issues arising from the construction of the building.

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8. The Architect is not responsible for any insurance or liability issues arising from the construction of the building.

9. The Architect is not responsible for any other issues arising from the construction of the building.

ROTHESAY AVENUE DEVELOPMENTS
 Suite 20-4 Giffnock Avenue, Midlothian Park NSW 2115
 T 02 8569 5540

PROJECT TEAM

Architect: Turner
 Structural Engineer: [Name]
 Mechanical Engineer: [Name]
 Electrical Engineer: [Name]
 Fire Engineer: [Name]
 Landscape Architect: [Name]
 Quantity Surveyor: [Name]
 Project Manager: [Name]

NO.	REVISION	DATE	BY	DESCRIPTION
01	ISSUED FOR PERMIT	10/10/2023	[Name]	[Description]
02	ISSUED FOR CONSTRUCTION	10/10/2023	[Name]	[Description]

NO.	REVISION	DATE	BY	DESCRIPTION
03	ISSUED FOR CONSTRUCTION	10/10/2023	[Name]	[Description]
04	ISSUED FOR CONSTRUCTION	10/10/2023	[Name]	[Description]

NO.	REVISION	DATE	BY	DESCRIPTION
05	ISSUED FOR CONSTRUCTION	10/10/2023	[Name]	[Description]
06	ISSUED FOR CONSTRUCTION	10/10/2023	[Name]	[Description]

NO.	REVISION	DATE	BY	DESCRIPTION
07	ISSUED FOR CONSTRUCTION	10/10/2023	[Name]	[Description]
08	ISSUED FOR CONSTRUCTION	10/10/2023	[Name]	[Description]

Project File:
SHEPHERDS BAY - BUILDINGS 8 & 9
 20-30 Nancarrow Ave, 110-118 Danden St, Moschmann NSW 2114

Drawing No:
GA Plan (Building 8) - Level 07

Project No: 13067
 Drawing No: GA-111_070
 Date: 10/10/2023
 Scale: 1:100
 Author: [Name]
 Checker: [Name]
 Approver: [Name]



- NOTES**
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 2. Window locations, if shown, are indicative only.
 3. Layout panels, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any fixtures provided are indicative only and subject to change.
 6. All fixtures shown on the layout are indicative only and are subject to further design development and change.
 7. Storage locations and areas are not necessarily shown on the drawings and are subject to change.

Client	DA-111_080	Project No.	13067
Scale	1:200 G.A.T.	Drawing	03
Date	10/11/2014	Sheet	M

Project Title
 SHEPHERDS BAY - BUILDINGS 8 & 9
 20-26 Nancarrow Ave, 116-118 Barden St, Mackay NSW 2114
For Information



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 T 02 9699 5542

GENERAL NOTES
 1. All dimensions are in millimeters unless otherwise stated.
 2. All levels are in meters above sea level unless otherwise stated.
 3. All materials and finishes are to be as specified in the schedule of materials and finishes.

Room No.	Room Name	Area (sqm)	Volume (cu m)	Notes
01	Garage	100.00	100.00	
02	Garage	100.00	100.00	
03	Garage	100.00	100.00	
04	Garage	100.00	100.00	
05	Garage	100.00	100.00	
06	Garage	100.00	100.00	
07	Garage	100.00	100.00	
08	Garage	100.00	100.00	
09	Garage	100.00	100.00	
10	Garage	100.00	100.00	
11	Garage	100.00	100.00	
12	Garage	100.00	100.00	
13	Garage	100.00	100.00	
14	Garage	100.00	100.00	
15	Garage	100.00	100.00	
16	Garage	100.00	100.00	
17	Garage	100.00	100.00	
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20	Garage	100.00	100.00	
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23	Garage	100.00	100.00	
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42	Garage	100.00	100.00	
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94	Garage	100.00	100.00	
95	Garage	100.00	100.00	
96	Garage	100.00	100.00	
97	Garage	100.00	100.00	
98	Garage	100.00	100.00	
99	Garage	100.00	100.00	
100	Garage	100.00	100.00	



- NOTES**
1. Internal levels shown are indicative only for information purposes and are subject to further design development and change.
 2. Window mullions, if shown, are indicative only.
 3. Layout panels, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any fixtures nominated are indicative only and subject to change.
 6. Articulations shown on the facade are indicative only and are subject to further design development and change.
 7. Storage locations and areas are not necessarily shown on this drawing and are subject to change.

Author	WJH	Drawn	WJH
Checked	WJH	Reviewed	WJH
Date	20/11/14	Scale	As Shown
Project	SHEPHERDS BAY - BUILDINGS 8 & 9		
Sheet	13067	Sheet Count	13067
Client	DA-111_090		

ROTHESAY AVENUE DEVELOPMENTS
 Suite 20-4 Gifford Avenue, Westgate Park NSW 2111
 T 02 9660 5546

REVISIONS

No.	Description	Date
1	Issue for tender	20/11/14
2	Revised for design development	20/11/14

Room No.	Room Name	Area (sqm)	Volume (m ³)	Level	Notes
09-01	Office	15.0	135.0	09	Open office
09-02	Office	15.0	135.0	09	Open office
09-03	Office	15.0	135.0	09	Open office
09-04	Office	15.0	135.0	09	Open office
09-05	Office	15.0	135.0	09	Open office
09-06	Office	15.0	135.0	09	Open office
09-07	Office	15.0	135.0	09	Open office
09-08	Office	15.0	135.0	09	Open office
09-09	Office	15.0	135.0	09	Open office
09-10	Office	15.0	135.0	09	Open office
09-11	Office	15.0	135.0	09	Open office
09-12	Office	15.0	135.0	09	Open office
09-13	Office	15.0	135.0	09	Open office
09-14	Office	15.0	135.0	09	Open office
09-15	Office	15.0	135.0	09	Open office
09-16	Office	15.0	135.0	09	Open office
09-17	Office	15.0	135.0	09	Open office
09-18	Office	15.0	135.0	09	Open office
09-19	Office	15.0	135.0	09	Open office
09-20	Office	15.0	135.0	09	Open office
09-21	Office	15.0	135.0	09	Open office
09-22	Office	15.0	135.0	09	Open office
09-23	Office	15.0	135.0	09	Open office
09-24	Office	15.0	135.0	09	Open office
09-25	Office	15.0	135.0	09	Open office
09-26	Office	15.0	135.0	09	Open office
09-27	Office	15.0	135.0	09	Open office
09-28	Office	15.0	135.0	09	Open office
09-29	Office	15.0	135.0	09	Open office
09-30	Office	15.0	135.0	09	Open office
09-31	Office	15.0	135.0	09	Open office
09-32	Office	15.0	135.0	09	Open office
09-33	Office	15.0	135.0	09	Open office
09-34	Office	15.0	135.0	09	Open office
09-35	Office	15.0	135.0	09	Open office
09-36	Office	15.0	135.0	09	Open office
09-37	Office	15.0	135.0	09	Open office
09-38	Office	15.0	135.0	09	Open office
09-39	Office	15.0	135.0	09	Open office
09-40	Office	15.0	135.0	09	Open office
09-41	Office	15.0	135.0	09	Open office
09-42	Office	15.0	135.0	09	Open office
09-43	Office	15.0	135.0	09	Open office
09-44	Office	15.0	135.0	09	Open office
09-45	Office	15.0	135.0	09	Open office
09-46	Office	15.0	135.0	09	Open office
09-47	Office	15.0	135.0	09	Open office
09-48	Office	15.0	135.0	09	Open office
09-49	Office	15.0	135.0	09	Open office
09-50	Office	15.0	135.0	09	Open office
09-51	Office	15.0	135.0	09	Open office
09-52	Office	15.0	135.0	09	Open office
09-53	Office	15.0	135.0	09	Open office
09-54	Office	15.0	135.0	09	Open office
09-55	Office	15.0	135.0	09	Open office
09-56	Office	15.0	135.0	09	Open office
09-57	Office	15.0	135.0	09	Open office
09-58	Office	15.0	135.0	09	Open office
09-59	Office	15.0	135.0	09	Open office
09-60	Office	15.0	135.0	09	Open office
09-61	Office	15.0	135.0	09	Open office
09-62	Office	15.0	135.0	09	Open office
09-63	Office	15.0	135.0	09	Open office
09-64	Office	15.0	135.0	09	Open office
09-65	Office	15.0	135.0	09	Open office
09-66	Office	15.0	135.0	09	Open office
09-67	Office	15.0	135.0	09	Open office
09-68	Office	15.0	135.0	09	Open office
09-69	Office	15.0	135.0	09	Open office
09-70	Office	15.0	135.0	09	Open office
09-71	Office	15.0	135.0	09	Open office
09-72	Office	15.0	135.0	09	Open office
09-73	Office	15.0	135.0	09	Open office
09-74	Office	15.0	135.0	09	Open office
09-75	Office	15.0	135.0	09	Open office
09-76	Office	15.0	135.0	09	Open office
09-77	Office	15.0	135.0	09	Open office
09-78	Office	15.0	135.0	09	Open office
09-79	Office	15.0	135.0	09	Open office
09-80	Office	15.0	135.0	09	Open office
09-81	Office	15.0	135.0	09	Open office
09-82	Office	15.0	135.0	09	Open office
09-83	Office	15.0	135.0	09	Open office
09-84	Office	15.0	135.0	09	Open office
09-85	Office	15.0	135.0	09	Open office
09-86	Office	15.0	135.0	09	Open office
09-87	Office	15.0	135.0	09	Open office
09-88	Office	15.0	135.0	09	Open office
09-89	Office	15.0	135.0	09	Open office
09-90	Office	15.0	135.0	09	Open office
09-91	Office	15.0	135.0	09	Open office
09-92	Office	15.0	135.0	09	Open office
09-93	Office	15.0	135.0	09	Open office
09-94	Office	15.0	135.0	09	Open office
09-95	Office	15.0	135.0	09	Open office
09-96	Office	15.0	135.0	09	Open office
09-97	Office	15.0	135.0	09	Open office
09-98	Office	15.0	135.0	09	Open office
09-99	Office	15.0	135.0	09	Open office
09-100	Office	15.0	135.0	09	Open office

turner

13067
 DA-111_090



- NOTES**
1. Internal layout shown are indicative only for information purposes and are subject to further design development and change.
 2. Window mullions, if shown, are indicative only.
 3. Layout panels, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any fixtures mentioned are indicative only and subject to change.
 6. All fixtures shown on the layout are indicative only and are subject to further design development and change.
 7. Storage locations and areas are not necessarily shown on the drawings and are subject to change.

NOTES
 This document is the contract and design instrument for the construction of the works shown herein. It is to be read in conjunction with the contract documents and the program of works. Any conflict between the drawings and the program of works shall be resolved in favour of the program of works. The drawings shall be read in conjunction with the contract documents and the program of works. Any conflict between the drawings and the program of works shall be resolved in favour of the program of works.

ROTHESAY AVENUE DEVELOPMENTS
 Suite 20-4 Offroad Avenue, Macquarie Park NSW 2113
 T 02 9889 5542

PROJECT NO: 13067
 SHEPHERDS BAY - BUILDINGS 8 & 9
 20-30 Nancarrow Ave, 110-118 Bowden St, Macquarie Park NSW 2114

NO.	REVISION	DATE	BY	CHKD	DESCRIPTION
1	ISSUED FOR PERMIT	10/10/2023
2
3
4
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LEGEND

- Structural Grid
- Site Boundary
- Future Building Stage 3
- ...

PROJECT NO: 13067
SHEPHERDS BAY - BUILDINGS 8 & 9
 20-30 Nancarrow Ave, 110-118 Bowden St, Macquarie Park NSW 2114
GA Plan (Building 8) - Level 10

turner

13067
 DA-111_100
 M



- NOTES**
1. Internal layout shown are indicative only for information purposes and are subject to further design development and change.
 2. Window locations, if shown, are indicative only.
 3. Layout panels, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Area finishes mentioned are indicative only and subject to change.
 6. Arrangements shown on the layout are indicative only and are subject to further design development and change.
 7. Storage allocations and areas are not necessarily shown on the drawings and are subject to change.

CLIENT
ROTHESAY AVENUE DEVELOPMENTS
 Suite 22-4 Gilfoyle Avenue, Mascotas Park NSW 2113
 T 02 8886 5540

LEGEND

Room No.	Room Name	Area (sqm)	Level
11.01	Office	120	11
11.02	Office	120	11
11.03	Office	120	11
11.04	Office	120	11
11.05	Office	120	11
11.06	Office	120	11
11.07	Office	120	11
11.08	Office	120	11
11.09	Office	120	11
11.10	Office	120	11
11.11	Office	120	11
11.12	Office	120	11
11.13	Office	120	11
11.14	Office	120	11
11.15	Office	120	11
11.16	Office	120	11
11.17	Office	120	11
11.18	Office	120	11
11.19	Office	120	11
11.20	Office	120	11
11.21	Office	120	11
11.22	Office	120	11
11.23	Office	120	11
11.24	Office	120	11
11.25	Office	120	11
11.26	Office	120	11
11.27	Office	120	11
11.28	Office	120	11
11.29	Office	120	11
11.30	Office	120	11
11.31	Office	120	11
11.32	Office	120	11
11.33	Office	120	11
11.34	Office	120	11
11.35	Office	120	11
11.36	Office	120	11
11.37	Office	120	11
11.38	Office	120	11
11.39	Office	120	11
11.40	Office	120	11
11.41	Office	120	11
11.42	Office	120	11
11.43	Office	120	11
11.44	Office	120	11
11.45	Office	120	11
11.46	Office	120	11
11.47	Office	120	11
11.48	Office	120	11
11.49	Office	120	11
11.50	Office	120	11
11.51	Office	120	11
11.52	Office	120	11
11.53	Office	120	11
11.54	Office	120	11
11.55	Office	120	11
11.56	Office	120	11
11.57	Office	120	11
11.58	Office	120	11
11.59	Office	120	11
11.60	Office	120	11

Room No.	Room Name	Area (sqm)	Level
11.01	Office	120	11
11.02	Office	120	11
11.03	Office	120	11
11.04	Office	120	11
11.05	Office	120	11
11.06	Office	120	11
11.07	Office	120	11
11.08	Office	120	11
11.09	Office	120	11
11.10	Office	120	11
11.11	Office	120	11
11.12	Office	120	11
11.13	Office	120	11
11.14	Office	120	11
11.15	Office	120	11
11.16	Office	120	11
11.17	Office	120	11
11.18	Office	120	11
11.19	Office	120	11
11.20	Office	120	11
11.21	Office	120	11
11.22	Office	120	11
11.23	Office	120	11
11.24	Office	120	11
11.25	Office	120	11
11.26	Office	120	11
11.27	Office	120	11
11.28	Office	120	11
11.29	Office	120	11
11.30	Office	120	11
11.31	Office	120	11
11.32	Office	120	11
11.33	Office	120	11
11.34	Office	120	11
11.35	Office	120	11
11.36	Office	120	11
11.37	Office	120	11
11.38	Office	120	11
11.39	Office	120	11
11.40	Office	120	11
11.41	Office	120	11
11.42	Office	120	11
11.43	Office	120	11
11.44	Office	120	11
11.45	Office	120	11
11.46	Office	120	11
11.47	Office	120	11
11.48	Office	120	11
11.49	Office	120	11
11.50	Office	120	11
11.51	Office	120	11
11.52	Office	120	11
11.53	Office	120	11
11.54	Office	120	11
11.55	Office	120	11
11.56	Office	120	11
11.57	Office	120	11
11.58	Office	120	11
11.59	Office	120	11
11.60	Office	120	11

Project No: **13067**
 SHEPHERD'S BAY - BUILDINGS 8 & 9
 25-30 Nancarrow Ave, 110-118 Bowden St, Mascotas NSW 2114
 Drawing No: **DA-111_110**
 Title: **GA Plan (Building 8) - Level 11**

Scale: 1:500
 Date: 10/11/2023
 Project No: 13067
 Drawing No: DA-111_110
 Title: GA Plan (Building 8) - Level 11

Client: ROTHESAY AVENUE DEVELOPMENTS
 Architect: TURNER
 Date: 10/11/2023

Turner
 100 Pitt Street Sydney NSW 2000
 T 02 9232 3000
 F 02 9232 3001
 www.turner.com.au



NOTES

1. Internal heights shown are indicative only for information purposes and are subject to further design development and change.
2. Window mullions, if shown, are indicative only.
3. Layout details, if shown, are indicative only.
4. All dimensions and levels shown are approximate.
5. Any fixtures highlighted are indicative only and subject to change.
6. Attachments shown on the facade are indicative only and are subject to further design development and change.
7. Storage locations and areas are not necessarily shown on the drawings and are subject to change.

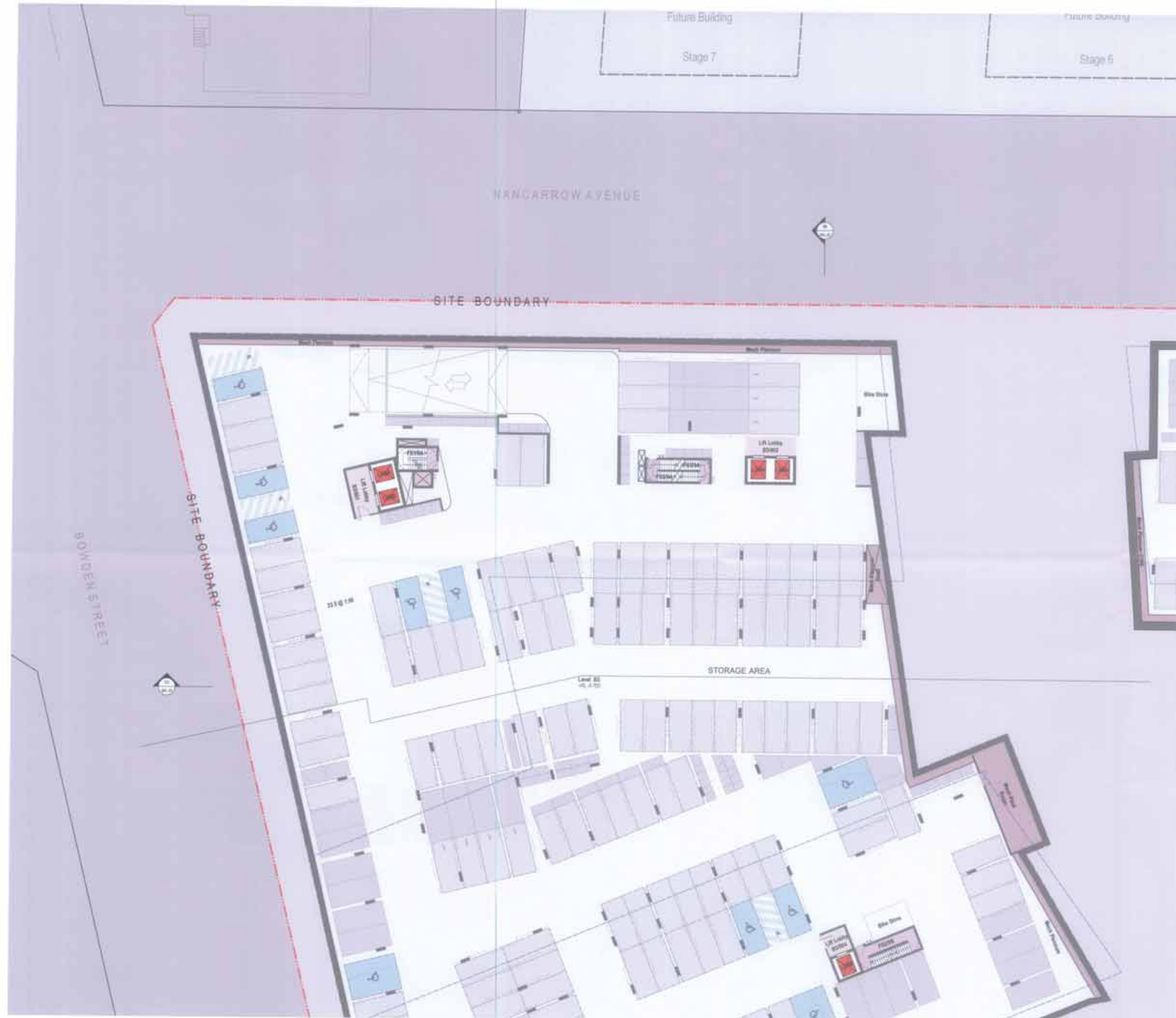
NO	DATE	BY	DESCRIPTION
1	13/06/21	AK	Issue for Information
2	13/06/21	AK	Issue for Information
3	13/06/21	AK	Issue for Information
4	13/06/21	AK	Issue for Information

ROTHESAY AVENUE DEVELOPMENTS
 Suite 20-4 Offroad Avenue, Meadowbank NSW 2113
 T 02 9888 2542

PROJECT NAME
 SHEPHERDS BAY - BUILDINGS 8 & 9
 20-26 Nancarrow Ave, 175-178 Broken St, Meadowbank NSW 2114

NO	DATE	BY	DESCRIPTION
1	13/06/21	AK	Issue for Information
2	13/06/21	AK	Issue for Information
3	13/06/21	AK	Issue for Information
4	13/06/21	AK	Issue for Information

PROJECT NO
 13067
CLIENT
 DA-111_120
SCALE
 M



- NOTES**
1. Internal layout shown are indicative only for information purposes and are subject to further design development and change.
 2. Window locations, if shown, are indicative only.
 3. Lounge panels, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any finishes indicated are indicative only and subject to change.
 6. Architectural shown on the facade are indicative only and are subject to further design development and change.
 7. Storage situations and areas are not necessarily shown on the drawings and are subject to change.

CLIENT
ROTHESAY AVENUE DEVELOPMENTS
 Suite 20-4 O'Brien Avenue, Marquardt Park NSW 2115
 T 02 8886 5540

NO.	DESCRIPTION	DATE	BY	CHECKED BY	REVISION
1	Issue for GA	10/10/2023
2
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PROJECT
SHEPHERDS BAY - BUILDINGS 8 & 9
 20-26 Nancarrow Ave, 115-116 Dowler St, Murrumbidgee NSW 2514

DATE 13/09/2023
SCALE 1:500
PROJECT NO. 13067
CLIENT NO. DA-112-003

GA Plan (Building 9A) - Basement Level B1, Sheet 1

turner



- NOTES**
1. Internal levels shown are indicative only for information purposes and are subject to further design development and change.
 2. Window markers, if shown, are indicative only.
 3. Louvre panels, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any fixtures nominated are indicative only and subject to change.
 6. Architectural power on the site is indicative only and is subject to further design development and change.
 7. Storage locations and areas are not necessarily shown on the drawings and are subject to change.

NOTES

1. This drawing is the property of Turner & Townsend and is not to be used for any other purpose without the written consent of Turner & Townsend. It is to be used only for the project and site identified on the title block. It is not to be used for any other project or site without the written consent of Turner & Townsend. It is not to be used for any other purpose without the written consent of Turner & Townsend.

CLIENT
ROTHESAY AVENUE DEVELOPMENTS
 Suite 20-4 Giffnock Avenue, Margate Park, N19R 2Y1
 T 01 958 5040

DESIGNER
 Turner & Townsend
 100 Giffnock Avenue, Margate Park, N19R 2Y1
 T 01 958 5040

NO.	REVISION	DATE	BY	CHKD.	DESCRIPTION
01	ISSUED FOR PERMIT	15/08/2024	AS	AS	Final design for permit submission
02	ISSUED FOR CONSTRUCTION	15/08/2024	AS	AS	Final design for construction

PROJECT
SHEPHERDS BAY - BUILDINGS 8 & 9
 20-26 Haysman Ave, 115-116 Bowden St, Meadowbank, N19R 2Y1

DATE
 15/08/2024

SCALE
 1:100

PROJECT NO.
 13067

CLIENT
 ROTHESAY AVENUE DEVELOPMENTS

DESIGNER
 TURNER & TOWNSEND

PROJECT NO.
 DA-112_004

SCALE
 M



- NOTES**
1. Internal heights shown are indicative only for information purposes and are subject to further design development and change.
 2. Window markers, if shown, are indicative only.
 3. Layout markers, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any fixtures mentioned are indicative only and subject to change.
 6. Annotations shown on the sheets are indicative only and are subject to further design development and change.
 7. Storage locations and areas are not necessarily shown on the drawings and are subject to change.

DR	13/03/20	DR	13/03/20
DC	13/03/20	DC	13/03/20
DA	13/03/20	DA	13/03/20
DR	13/03/20	DR	13/03/20
DC	13/03/20	DC	13/03/20
DA	13/03/20	DA	13/03/20
DR	13/03/20	DR	13/03/20
DC	13/03/20	DC	13/03/20
DA	13/03/20	DA	13/03/20

NOTES

1. This document is for information only. It is not to be used for construction purposes. All dimensions and levels shown are approximate. Any fixtures mentioned are indicative only and subject to change. Annotations shown on the sheets are indicative only and are subject to further design development and change. Storage locations and areas are not necessarily shown on the drawings and are subject to change.

ROTHESAY AVENUE DEVELOPMENTS
 Suite 35-4 Offshore Avenue, Manly Park NSW 2115
 T 02 9889 5542

PROJECT NAME
 SHEPHERDS BAY - BUILDINGS 8 & 9

NO.	REVISION	DATE	BY	CHKD	DESCRIPTION
1	Issue for Information	13/03/20	DR	DC	Issue for Information
2	Issue for Design	13/03/20	DR	DC	Issue for Design
3	Issue for Construction	13/03/20	DR	DC	Issue for Construction

NO.	REVISION	DATE	BY	CHKD	DESCRIPTION
1	Issue for Information	13/03/20	DR	DC	Issue for Information
2	Issue for Design	13/03/20	DR	DC	Issue for Design
3	Issue for Construction	13/03/20	DR	DC	Issue for Construction

Project No: 13067
Client: BSG
Site: 20-26 Hancarrow Ave, 115-118 Bowden St, Manly Park NSW 2115
Scale: 1:100
Sheet: GA Plan (Building 8A) - Basement Level B2, Sheet 1





- NOTES
1. Internal layout shown are indicative only for information purposes and are subject to further design development and change.
 2. Window mullions, T shows, are indicative only.
 3. Louvre panels, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any finishes mentioned are indicative only and subject to change.
 6. All fixtures shown on the facade are indicative only and are subject to further design development and change.
 7. Storage situations and areas are not necessarily shown on the drawings and are subject to change.

NOTES
 The information on this drawing is for general information only and is not intended to be used as a contract document. It is the responsibility of the client to ensure that the information on this drawing is accurate and that it is used in accordance with its intended purpose. The information on this drawing is not to be used for any other purpose without the written consent of the architect.

ROTHESAY AVENUE DEVELOPMENTS
 Suite 20-4 Gibbick Avenue, Mosman Park NSW 2113
 T 02 9868 1542

REVISIONS
 No. Description
 1. Issue for tender
 2. Issue for tender
 3. Issue for tender
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 100. Issue for tender

NO.	DESCRIPTION	DATE	BY	CHECKED BY
1	Issue for tender			
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24	Issue for tender			
25	Issue for tender			
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35	Issue for tender			
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40	Issue for tender			
41	Issue for tender			
42	Issue for tender			
43	Issue for tender			
44	Issue for tender			
45	Issue for tender			
46	Issue for tender			
47	Issue for tender			
48	Issue for tender			
49	Issue for tender			
50	Issue for tender			
51	Issue for tender			
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97	Issue for tender			
98	Issue for tender			
99	Issue for tender			
100	Issue for tender			

Project Title: SHEPHERDS BAY - BUILDINGS 8 & 9
 20-36 Vancouver Ave, 110-118 Bowden St, Mackay QLD 4730
 Drawing Title: GA Plan (Building 9A) - Basement Level B2, Sheet 2

Scale: 1:100
 Date: 13/06/20
 Drawn by: [Name]
 Checked by: [Name]

Client: [Name]
 Project No: 13067
 Drawing No: DA-112_006

B1_Bldg 9

Future Building

Future Building

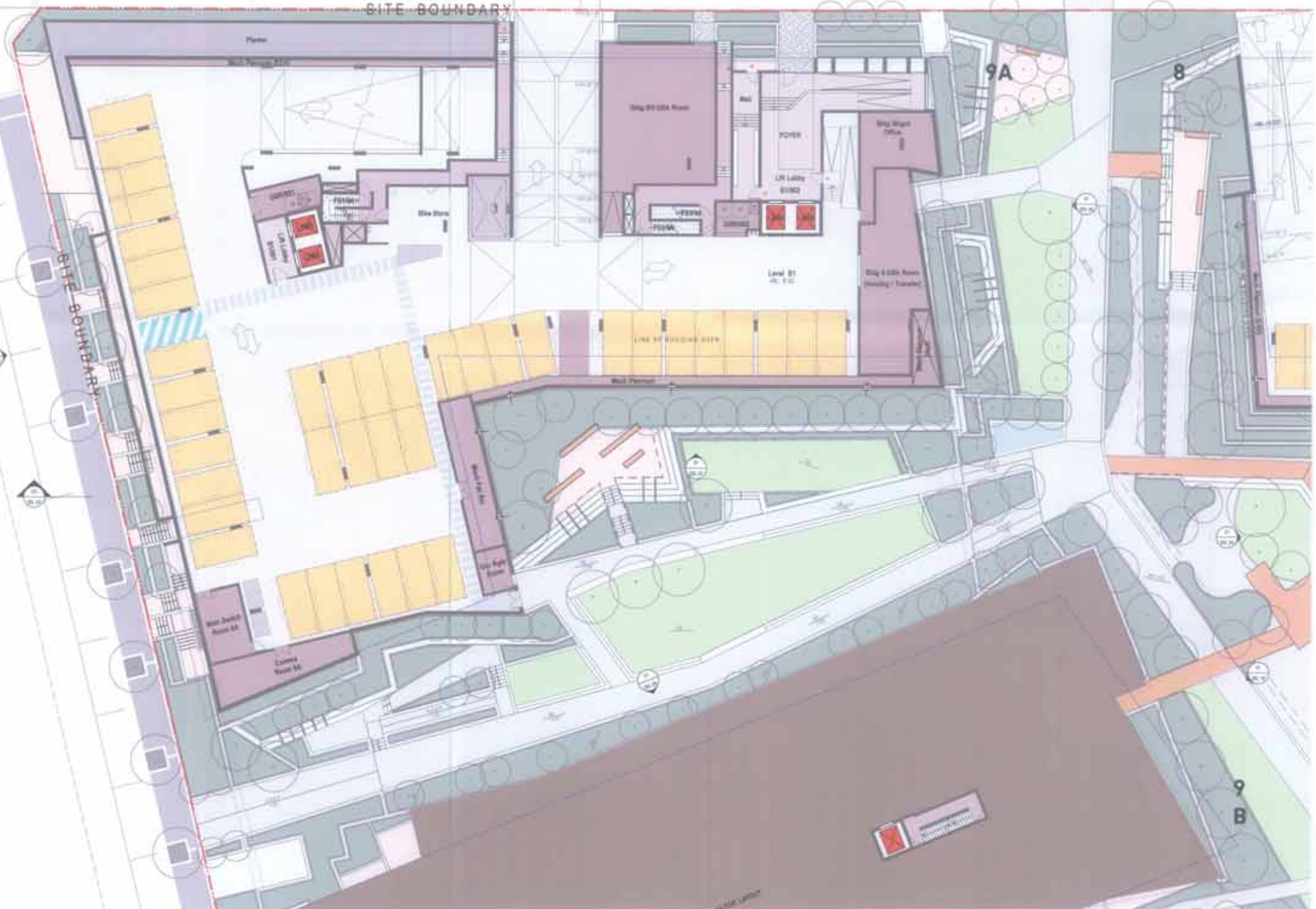
Stage 7

Stage 6

NANCARROW AVENUE

BOWDEN STREET

SITE BOUNDARY



- NOTES
1. Internal layouts shown are indicative only for information purposes and are subject to further design development and change.
 2. Window positions, if shown, are indicative only.
 3. Layouts shown, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any finishes indicated are indicative only and subject to change.
 6. Articulations shown on the facade are indicative only and are subject to further design development and change.
 7. Storage structures and areas are not necessarily shown on the drawings and are subject to change.

PROJECT
ROTHESAY AVENUE DEVELOPMENTS
 Suite 202-4 Gifford Avenue, Meadowbank NSW 2112
 T 02 9888 5042

CLIENT
ROTHESAY AVENUE DEVELOPMENTS
 Suite 202-4 Gifford Avenue, Meadowbank NSW 2112
 T 02 9888 5042

DESIGNER
TURNER
 20/30 Nancarrow Ave, 110/118 Bowden St, Meadowbank NSW 2114
 T 02 9888 5042

NO.	DATE	DESCRIPTION	BY	CHECKED	STATUS
1	10/10/2023	Issue for Information	AS	AS	Information
2	10/10/2023	Issue for Design	AS	AS	Design
3	10/10/2023	Issue for Construction	AS	AS	Construction

Project No: **13067**
 SHEPHERDS BAY - BUILDINGS 8 & 9
 20/30 Nancarrow Ave, 110/118 Bowden St, Meadowbank NSW 2114
 Drawing No: **DA-112_007**
 GA Plan (Building 9A) - Basement Level B1
 Scale: **M**





- NOTES**
1. Internal levels shown are indicative only for information purposes and are subject to further design development and change.
 2. Window mullions, if shown, are indicative only.
 3. Layout panels, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any fixtures mentioned are indicative only and subject to change.
 6. Attachments shown on the legends are indicative only and are subject to further design development and change.
 7. Storage situations and areas are not necessarily shown on the drawings and are subject to change.

Client	Turner & Townsend	Project No.	13067
Architect	DA-112_010	Scale	M
Drawn by	DA-112_010	Date	DEC 2014
Checked by	DA-112_010	Revision	01

Project Title
SHEPHERDS BAY - BUILDINGS 8 & 9
 20-31 Nancarrow Ave, 115-119 Bowden St, Meadowbank NSW 2114
 Drawing Title
GA Plan (Building 9A) - Level 01

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 Storage situations and areas are not necessarily shown on the drawings and are subject to change.

CLIENT
 ROTHEASAY AVENUE DEVELOPMENTS
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 T 02 9863 0542

DESIGNER
 TURNER & TOWNSEND
 20-31 Nancarrow Ave, Meadowbank NSW 2114
 T 02 9863 0542

NO.	REVISION	DATE	BY	CHKD.	DESCRIPTION
1	ISSUED FOR PERMIT	12/11/14	DA-112_010	DA-112_010	ISSUED FOR PERMIT
2	ISSUED FOR CONSTRUCTION	12/11/14	DA-112_010	DA-112_010	ISSUED FOR CONSTRUCTION



- NOTES**
1. Internal levels shown are indicative only for information purposes and are subject to further design development and change.
 2. Window sillings, if shown, are indicative only.
 3. Louvre panels, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any fixtures nominated are indicative only and subject to change.
 6. Articulations shown on the facade are indicative only and are subject to further design development and change.
 7. Change alterations and areas are not necessarily shown on the drawings and are subject to change.

Author	13067	13067	13067
Check	13067	13067	13067
Scale	1:300 (A1)	1:300 (A1)	1:300 (A1)
Project	13067	13067	13067
Client	13067	13067	13067
Revision	13067	13067	13067

NOTES

1. This drawing is a preliminary design and is subject to change without notice. It is not to be used for construction purposes.

2. All dimensions and levels shown are approximate.

3. Any fixtures nominated are indicative only and subject to change.

4. Change alterations and areas are not necessarily shown on the drawings and are subject to change.

ROTHESAY AVENUE DEVELOPMENTS
 Sully 22-4 Cliffrock Avenue, Merivale Park 1028 2113
 T 02 9880 5543

NO.	DESCRIPTION	DATE	BY	CHECKED	SCALE	PROJECT	CLIENT	REVISION
1	Issue for Information	13/06/2020	13067	13067	1:300 (A1)	13067	13067	13067
2	Issue for Construction	13/06/2020	13067	13067	1:300 (A1)	13067	13067	13067

Project No: **13067**
 SHEPHERDS BAY - BUILDINGS 8 & 9
 20-22 Nancarrow Ave 115-118 Bowden St, Meadowbank 1028 2114
 Drawing No: **GA Plan (Building 9A) - Level 02**





- NOTES
1. Interior spaces shown are indicative only for information purposes and are subject to further design development and change.
 2. Window locations, if shown, are indicative only.
 3. Loose panels, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any fixtures contained are indicative only and subject to change.
 6. Annotations shown on the layout are indicative only and are subject to further design development and change.
 7. Change situations and notes are not necessarily shown on the drawings and are subject to change.

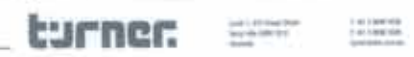
1	2000	13067	13067
2	2000	13067	13067
3	2000	13067	13067
4	2000	13067	13067

ROTHESAY AVENUE DEVELOPMENTS
 Suite 20-4 Gifford Avenue, Macquarie Park, NSW 2113
 T 02 9888 5542

GENERAL NOTES
 1. All dimensions are in millimetres unless otherwise stated.
 2. All levels are in Australian Height Datum (AHD) unless otherwise stated.
 3. All materials and finishes are to be as specified in the schedule of materials and finishes.
 4. All work is to be in accordance with the Australian Standards and other relevant codes of practice.
 5. All work is to be completed in accordance with the program of works.

NO.	DESCRIPTION	QUANTITY	UNIT	REMARKS
1	Concrete	100	m ³	
2	Brickwork	100	m ²	
3	Roofing	100	m ²	
4	Paintwork	100	m ²	
5	Glazing	100	m ²	
6	Electrical	100	m	
7	Plumbing	100	m	
8	Mechanical	100	m	
9	Structural Steel	100	m	
10	Timber	100	m	
11	Insulation	100	m ²	
12	Roofing	100	m ²	
13	Paintwork	100	m ²	
14	Glazing	100	m ²	
15	Electrical	100	m	
16	Plumbing	100	m	
17	Mechanical	100	m	
18	Structural Steel	100	m	
19	Timber	100	m	
20	Insulation	100	m ²	

Project No: **13067**
 SHEPHERDS BAY - BUILDINGS 8 & 9
 20-26 Nancarrow Ave, 116-118 Bowden St, Macquarie Park NSW 2114
 Drawing No: **GA-112_030**
 GA Plan (Building 9A) - Typical Levels 03 - 05





- NOTES**
1. Internal layout shown are indicative only for information purposes and are subject to further design development and change.
 2. Window mullions, if shown, are indicative only.
 3. Louvre panels, if shown, are indicative only.
 4. All dimensions and areas shown are approximate.
 5. Any fixtures nominated are indicative only and subject to change.
 6. All fixtures shown on the layout are indicative only and are subject to further design development and change.
 7. Storage locations and areas are not necessarily shown on the drawings and are subject to change.

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ROTHESAY AVENUE DEVELOPMENTS
 Suite 20-4 Gibcock Avenue, Marquarie Park NSW 2113
 T 02 9889 5542

GENERAL NOTES

1. All dimensions are in millimetres unless otherwise stated.

2. All dimensions are to the face of the work unless otherwise stated.

3. All dimensions are to the centre of the work unless otherwise stated.

4. All dimensions are to the centre of the work unless otherwise stated.

NO.	REVISION	DATE	BY	DESCRIPTION
01	ISSUED FOR PERMIT	15/08/2024	MM	ISSUED FOR PERMIT
02	ISSUED FOR PERMIT	15/08/2024	MM	ISSUED FOR PERMIT
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Project No: SHEPHERDS BAY - BUILDINGS 8 & 9
 20-26 Nancarrow Ave, 116-118 Bowden St, Unadornah NSW 2114

Drawing No: GA Plan (Building 9A) - Level 06

Scale: 1:100

Client: SHEPHERDS BAY

Project No: 13067

Drawing No: DA-112_060

Scale: M

Turner



- NOTES
1. Internal details shown are indicative only for information purposes and are subject to further design development and change.
 2. Window mullions, if shown, are indicative only.
 3. Louvre panels, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any borders mentioned are indicative only and subject to change.
 6. Annotations shown on the sheets are indicative only and are subject to further design development and change.
 7. Storage allocations and sizes are not necessarily shown on the drawings and are subject to change.

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ROTHESAY AVENUE DEVELOPMENTS
 Suite 207-4 Gilchrist Avenue, Mascotas Park NSW 2113
 T 02 5880 5542

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 1. All dimensions are in millimeters unless otherwise stated.
 2. All levels are in meters above sea level unless otherwise stated.
 3. All materials and finishes are to be as specified in the schedule of materials and finishes.
 4. All work is to be in accordance with the Australian Standards and relevant codes of practice.
 5. All work is to be completed in accordance with the program of works.

GENERAL PLAN

NO.	REVISION	DATE	BY	DESCRIPTION
01	Issue for tender	10/10/2023	AS	Issue for tender
02	Issue for construction	10/10/2023	AS	Issue for construction

NO.	REVISION	DATE	BY	DESCRIPTION
01	Issue for tender	10/10/2023	AS	Issue for tender
02	Issue for construction	10/10/2023	AS	Issue for construction

PROJECT INFORMATION
 SHEPHERDS BAY - BUILDINGS 8 & 9
 20-26 Nancarrow Ave, 115-119 Bowden St, Mascotas NSW 2114
 Drawing No: GA Plan (Building 9A) - Level 07

NO.	REVISION	DATE	BY	DESCRIPTION
01	Issue for tender	10/10/2023	AS	Issue for tender
02	Issue for construction	10/10/2023	AS	Issue for construction



NANCARROW AVENUE

BOWDEN STREET



- NOTES
1. Internal levels shown are indicative only for information purposes and are subject to further design development and change.
 2. Window mullions, if shown, are indicative only.
 3. Louvre panels, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any fixtures mentioned are indicative only and subject to change.
 6. A full schedule shown on the figures are indicative only and are subject to further design development and change.
 7. Storage situations and sizes are not necessarily shown on the drawings and are subject to change.

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ROTHESAY AVENUE DEVELOPMENTS
 Suite 25-4 Difford Avenue, Mascotas Park NSW 2113
 T: 02 9660 5540

DESIGN NOTES
 1. All dimensions are in millimetres unless otherwise stated.
 2. All levels are in millimetres unless otherwise stated.
 3. All dimensions and levels shown are approximate.
 4. All dimensions and levels shown are approximate.

NO.	REVISION	DATE	BY	CHKD.	DESCRIPTION
1	ISSUED FOR PERMIT	15/08/2024
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Project No: SHEPHERDS BAY - BUILDINGS 8 & 9
 30-36 Nancarrow Ave, 115-116 Bowden St, Newmarket NSW 2114
 Drawing No: GA Plan (Building 9A) - Typical Levels 08-09

Client	1200 GA1	Project No	13067	Drawn by	...
Date	15/08/2024	Project No	13067	Checked by	...
Scale	1:100	Project No	13067	Drawn by	...
Sheet No	DA-112_080	Project No	13067	Checked by	...

turner



NOTES
 1. Internal layouts shown are indicative only for information purposes and are subject to further design development and change.
 2. Window locations, if shown, are indicative only.
 3. Layouts shown, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any finishes mentioned are indicative only and subject to change.
 6. All fixtures shown on the layout are indicative only and are subject to further design development and change.
 7. Storage allocations and sizes are not necessarily shown on the drawings and are subject to change.

ROTHESAY AVENUE DEVELOPMENTS
 Suite 20-4 Gifford Avenue, Macquarie Park NSW 2113
 T 02 9888 5545

GENERAL NOTES
 1. All dimensions are in millimetres unless otherwise stated.
 2. All levels are in millimetres unless otherwise stated.
 3. All materials and finishes are to be as specified in the schedule of materials and finishes.
 4. All work is to be in accordance with the Australian Standards and other relevant standards.
 5. All work is to be in accordance with the relevant building codes of practice.

NO.	DESCRIPTION	DATE	BY	APP'D
1	Issue for Information	10/10/2023	[Signature]	[Signature]
2	Issue for Construction	10/10/2023	[Signature]	[Signature]



Project Title
 SHEPHERDS BAY - BUILDINGS 8 & 9
 20-26 Renouveau Ave, 115-119 Bowden St, Macquarie Park NSW 2113

Client
 DA-112 100

GA Plan (Building 9A) - Level 10

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 T 02 9230 3000
 F 02 9230 3001
 www.turner.com.au



NANCARROW AVENUE

BOWDEN STREET

9A

8

9B

- NOTES**
1. Internal layout shown are indicative only for information purposes and are subject to further design development and change.
 2. Window mullions, if shown, are indicative only.
 3. Louvre panels, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any fixtures illustrated are indicative only and subject to change.
 6. Architectural notes on this page are indicative only and are subject to further design development and change.
 7. Storage structures and areas are not necessarily shown on the drawings and are subject to change.

NOTES
 1. This drawing is for information only and is not to be used for construction purposes.
 2. All dimensions and levels are approximate and subject to change.
 3. Any fixtures and fittings are indicative only and subject to change.
 4. Storage structures and areas are not necessarily shown on the drawings and are subject to change.

CLIENT
 ROTHESAY AVENUE DEVELOPMENTS
 Suite 22-4 Gilbrook Avenue, Marquardt Park NSW 2113
 T 02 9061 5548

DESIGN TEAM
 ARCHITECT: TURNER
 PROJECT MANAGER: [Name]
 DESIGNER: [Name]
 DRAWING CHECKER: [Name]
 DATE: [Date]

NO.	REVISION	DATE	BY	DESCRIPTION
1	Issue for Information	10/10/2014	[Name]	Issue for Information
2	Issue for Construction	10/10/2014	[Name]	Issue for Construction

PROJECT
 SHEPHERDS BAY - BUILDINGS 8 & 9
 20-22 Nancarrow Ave, 115-118 Bowden St, Meadowbank NSW 2114
GA Plan (Building 9A) - Level 11

Project No: 13067
 Drawing No: DA-112_110
 Scale: 1:100
 Date: 10/10/2014





- NOTES**
1. Internal layout shown are indicative only for information purposes and are subject to further design development and change.
 2. Window locations, if shown, are indicative only.
 3. Layout points, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any fixtures controlled are indicative only and subject to change.
 6. Architectural shown on the plans are indicative only and are subject to further design development and change.
 7. Storage allocations and areas are not necessarily shown on the drawings and are subject to change.

NO.	REVISED	DATE	BY	REASON
1	01	12/12/2014	DA	Issue for Information
2	02	12/12/2014	DA	Issue for Information
3	03	12/12/2014	DA	Issue for Information
4	04	12/12/2014	DA	Issue for Information
5	05	12/12/2014	DA	Issue for Information
6	06	12/12/2014	DA	Issue for Information
7	07	12/12/2014	DA	Issue for Information
8	08	12/12/2014	DA	Issue for Information
9	09	12/12/2014	DA	Issue for Information
10	10	12/12/2014	DA	Issue for Information

NOTES
 1. This drawing is a preliminary design and is subject to change without notice.
 2. All dimensions and levels shown are approximate.
 3. Any fixtures controlled are indicative only and subject to change.
 4. Architectural shown on the plans are indicative only and are subject to further design development and change.
 5. Storage allocations and areas are not necessarily shown on the drawings and are subject to change.

ROTHESAY AVENUE DEVELOPMENTS
 Suite 20-4 Gifford Avenue, Mosquera Park NSW 2114
 T 02 9589 0040

DESIGN INTENT
 The design intent of this drawing is to provide a clear and concise representation of the proposed building design. It is intended to be used as a reference for the construction of the building and to provide a clear and concise representation of the proposed building design.

GENERAL NOTES
 1. All dimensions and levels shown are approximate.
 2. Any fixtures controlled are indicative only and subject to change.
 3. Architectural shown on the plans are indicative only and are subject to further design development and change.
 4. Storage allocations and areas are not necessarily shown on the drawings and are subject to change.

REVISIONS
 1. 01 12/12/2014 DA Issue for Information
 2. 02 12/12/2014 DA Issue for Information
 3. 03 12/12/2014 DA Issue for Information
 4. 04 12/12/2014 DA Issue for Information
 5. 05 12/12/2014 DA Issue for Information
 6. 06 12/12/2014 DA Issue for Information
 7. 07 12/12/2014 DA Issue for Information
 8. 08 12/12/2014 DA Issue for Information
 9. 09 12/12/2014 DA Issue for Information
 10. 10 12/12/2014 DA Issue for Information

PROJECT INFORMATION
 Project Name: SHEPHERDS BAY - BUILDINGS 8 & 9
 Address: 20-26 Nancarrow Ave, 110-119 Bowden St, Mosquera Park NSW 2114
 Project No: DA-112 120
 Drawing No: GA Plan (Building 9A) - Level 12 Roof Plan

DESIGNER
 Name: DA
 Title: Designer
 Date: 12/12/2014

CLIENT
 Name: DA
 Title: Client
 Date: 12/12/2014

PROJECT NO. 13067
DRAWING NO. DA-112 120
DATE 12/12/2014
SCALE M



BOWDEN STREET

9
B

Future Building

- NOTES
1. Internal levels shown are indicative only for information purposes and are subject to further design, development and change.
 2. Shaded regions, if shown, are indicative only.
 3. Lined patterns, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any fixtures mentioned are indicative only and subject to change.
 6. Annotations shown on the layout are indicative only and are subject to further design, development and change.
 7. Storage placement and sizes are not necessarily shown on the drawings and are subject to change.

100%
 The information on this drawing is for information purposes only. It is not intended to be used for any other purpose. The information on this drawing is not to be used for any other purpose. The information on this drawing is not to be used for any other purpose.

ROTHESAY AVENUE DEVELOPMENTS
 Suite 20-4 Gifford Avenue, Marquardt NSW 2113
 T 02 8888 5040

SHEPHERDS BAY - BUILDINGS 8 & 9
 20-26 Ramsay Ave, 118-119 Bowden St, Maitland NSW 2114

NO.	DESCRIPTION	DATE	BY	CHECKED	APPROVED
1	Issue for Information	10/10/2023	[Signature]	[Signature]	[Signature]
2	Issue for Information	10/10/2023	[Signature]	[Signature]	[Signature]
3	Issue for Information	10/10/2023	[Signature]	[Signature]	[Signature]
4	Issue for Information	10/10/2023	[Signature]	[Signature]	[Signature]
5	Issue for Information	10/10/2023	[Signature]	[Signature]	[Signature]
6	Issue for Information	10/10/2023	[Signature]	[Signature]	[Signature]
7	Issue for Information	10/10/2023	[Signature]	[Signature]	[Signature]
8	Issue for Information	10/10/2023	[Signature]	[Signature]	[Signature]
9	Issue for Information	10/10/2023	[Signature]	[Signature]	[Signature]
10	Issue for Information	10/10/2023	[Signature]	[Signature]	[Signature]

SHEPHERDS BAY - BUILDINGS 8 & 9
 20-26 Ramsay Ave, 118-119 Bowden St, Maitland NSW 2114
 GA Plan (Building 9B) - Level 01

Author	WJG	Check	WJG
Designer	WJG	Approver	WJG
Client	ROTHESAY	Scale	1:100
Project No.	13067	Drawn By	WJG
Client Ref.	DA-113_010	Date	10/10/2023



9B

BOWDEN STREET

SITE BOUNDARY

Future Building

- NOTES
1. Internal space shown are indicative only for information purposes and are subject to further design development and change.
 2. Dimensioned outlines, if shown, are indicative only.
 3. Layout panels, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any spaces contained are indicative only and subject to change.
 6. Annotations shown on the layout are indicative only and are subject to further design development and change.
 7. Storage allocations and areas are not necessarily shown on the drawings and are subject to change.

Author	AM	DA	13067
Checker	AM	DA	13067
Scale	1:200	1:200	1:200
Date	13/04/21	13/04/21	13/04/21
Project No.	DA-113_020	DA-113_020	DA-113_020
Sheet No.	9B	9B	9B

Project No.
SHEPHERDS BAY - BUILDINGS 8 & 9
 20-26 Macquarie Ave, 115-118 Bowen St, Macquarie Park NSW 2114

Client
GA Plan (Building 9B) - Level G2



ROTHESAY AVENUE DEVELOPMENTS
 Suite 20-4 Offroad Avenue, Macquarie Park NSW 2113
 T: 02 9889 9542

REV	DATE	DESCRIPTION	BY	CHECKED
1	13/04/21	Issue for GA	AM	AM
2	13/04/21	Revised	AM	AM

NO.	DESCRIPTION	DATE	BY	CHECKED
1	Issue for GA	13/04/21	AM	AM
2	Revised	13/04/21	AM	AM



- NOTES**
1. Internal layouts shown are indicative only for information purposes and are subject to further design development and change.
 2. Window mullions, if shown, are indicative only.
 3. Layout panels, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any fixtures included are indicative only and subject to change.
 6. Ancillaries shown on the layout are indicative only and are subject to further design development and change.
 7. Storage allocations and areas are not necessarily shown on the drawings and are subject to change.

NOTES

1. This drawing is for construction of the building and is not to be used for any other purpose.

2. All dimensions and levels shown are approximate.

3. Any fixtures included are indicative only and subject to change.

4. Ancillaries shown on the layout are indicative only and are subject to further design development and change.

5. Storage allocations and areas are not necessarily shown on the drawings and are subject to change.

ROTHESAY AVENUE DEVELOPMENTS

Suite 20-4 Griffiths Avenue, Macquarie Park NSW 2113
 T: 92 9885 1542

PROJECT NAME
 SHEPHERDS BAY - BUILDINGS 8 & 9

PROJECT NO.
 13067

DATE
 13/08/2024

SCALE
 1:300 (GA)

NO.	DESCRIPTION	DATE	BY	CHECKED BY
01	Issue for Information	13/08/2024	[Signature]	[Signature]
02	Issue for Construction	13/08/2024	[Signature]	[Signature]

NO.	DESCRIPTION	DATE	BY	CHECKED BY
01	Issue for Information	13/08/2024	[Signature]	[Signature]
02	Issue for Construction	13/08/2024	[Signature]	[Signature]

PROJECT NO.
 13067

DATE
 13/08/2024

SCALE
 1:300 (GA)

PROJECT NAME
 SHEPHERDS BAY - BUILDINGS 8 & 9

PROJECT ADDRESS
 20-36 Macquarie Ave, 716-114 Bowden St, Macquarie Park NSW 2113

PROJECT NO.
 13067

DATE
 13/08/2024

SCALE
 1:300 (GA)

PROJECT NAME
 SHEPHERDS BAY - BUILDINGS 8 & 9

PROJECT ADDRESS
 20-36 Macquarie Ave, 716-114 Bowden St, Macquarie Park NSW 2113

turner

13067

DA-113_030

M



- NOTES**
1. General layout shown are indicative only for information purposes and are subject to further design development and change.
 2. Window positions, if shown, are indicative only.
 3. Layout panels, if shown, are indicative only.
 4. All dimensions and areas shown are approximate.
 5. Any fixtures indicated are indicative only and subject to change.
 6. Additional changes to the layout are indicative only and are subject to further design development and change.
 7. Storage situations and areas are not necessarily shown on the drawings and are subject to change.

ROTHESAY AVENUE DEVELOPMENTS
 Suite 204 Cliffrock Avenue, Marquana Park NSW 2113
 T 02 9860 9540

REVISIONS

No.	Description	Date
1	Issue for tender	10/10/2023
2	Revised floor plan	10/10/2023
3	Final floor plan	10/10/2023

LEGEND

Symbol	Description
(Green box)	Office
(Orange box)	Meeting Room
(Pink box)	Other Office
(Red dashed line)	Site Boundary
(Blue dashed line)	Future Building

PROJECT
 SHEPHERDS GAY - BUILDINGS 8 & 9
 20-26 Newcastle Ave, 115-118 Bowden St, Moadabehard NSW 2114

DATE
 10/10/2023

SCALE
 1:100

turner

10/10/2023

DA-113_060

M



- NOTES**
1. Internal spaces shown are indicative only for information purposes and are subject to further design development and change.
 2. Window mullions, if shown, are indicative only.
 3. Louvre panels, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any fixtures mentioned are indicative only and subject to change.
 6. Articulations shown on the facade are indicative only and are subject to further design development and change.
 7. Storage structures and areas are not necessarily shown on the drawings and are subject to change.

NOTES

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ROTHESAY AVENUE DEVELOPMENTS
 Suite 20-4 Gilrock Avenue, Mosman Park NSW 2113
 T 02 9889 3546

PROJECT NAME
 SHEPHERDS BAY - BUILDINGS 8 & 9

REVISIONS

No.	Date	Description
1	15/08/2024	Issue for tender
2	22/08/2024	Revised to include structural steel
3	29/08/2024	Revised to include mechanical services
4	05/09/2024	Revised to include electrical services
5	12/09/2024	Revised to include fire services
6	19/09/2024	Revised to include landscape services
7	26/09/2024	Revised to include final design

LEGEND

Symbol	Description
[Green Box]	Residential Unit
[Purple Box]	Corridor / Service Area
[Orange Box]	Other Unit
[Red Dashed Line]	Site Boundary
[Blue Dashed Line]	Future Building
[Black Line]	Room Boundary
[Circle with 'X']	Structural Column
[Circle with 'S']	Service Area
[Circle with 'E']	Electrical Panel
[Circle with 'M']	Mechanical Unit
[Circle with 'F']	Fire Panel
[Circle with 'L']	Landscape Feature

PROJECT INFO
 SHEPHERDS BAY - BUILDINGS 8 & 9
 20-26 Rossmore Ave, 115-119 Bowden St, Mosman Park NSW 2114

CLIENT
 DA-113_070

DATE
 13/08/2024

SCALE
 1:100



- NOTES**
1. Internal levels shown are indicative only for information purposes and are subject to further design development and change.
 2. Window markers, if shown, are indicative only.
 3. Level markers, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any fixtures nominated are indicative only and subject to change.
 6. Annotations shown on the layout are indicative only and are subject to further design development and change.
 7. Storage allocations and areas are not necessarily shown on the drawings and are subject to change.

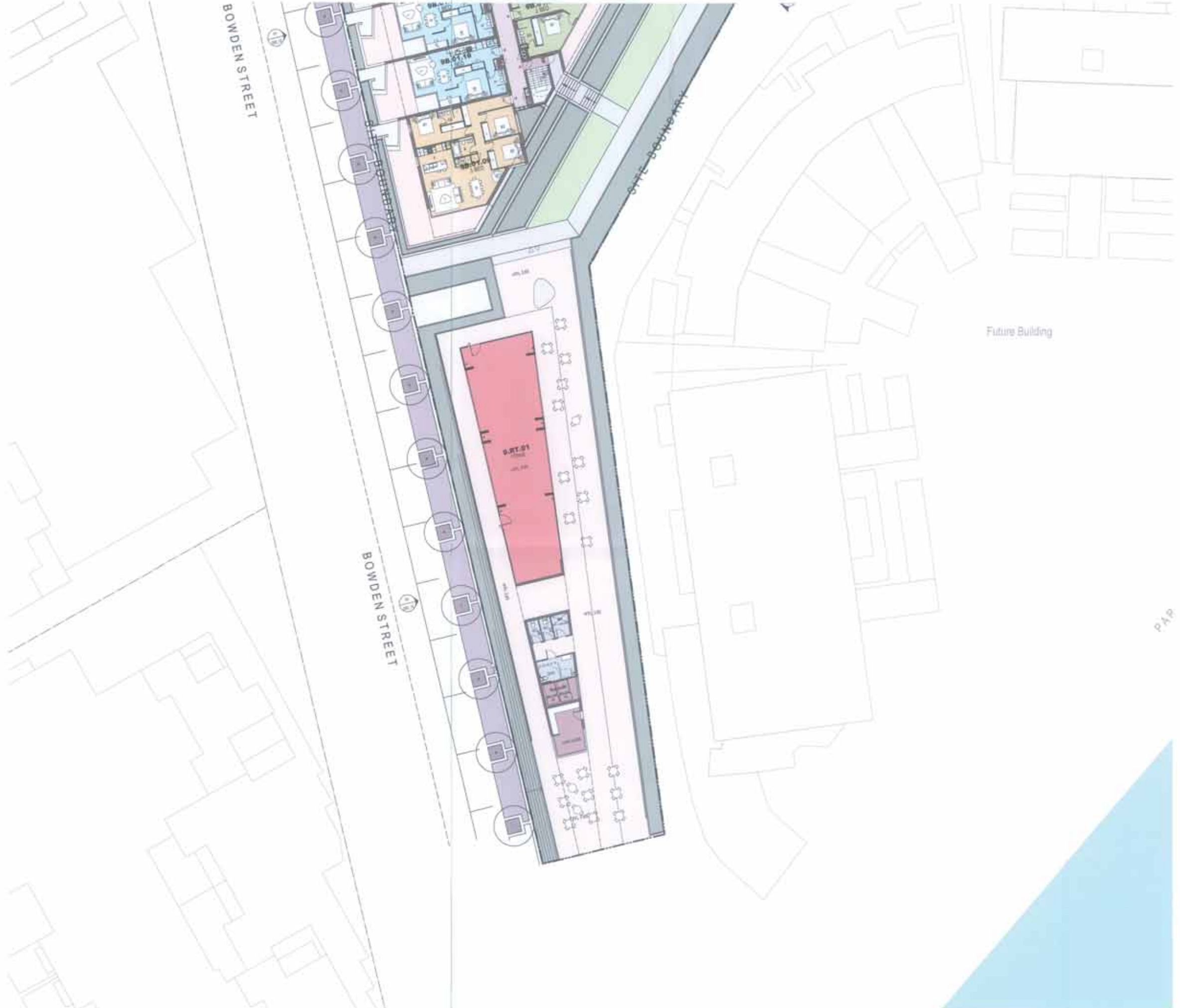
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2. 2023/01/11	01/11/23	01/11/23	01/11/23
3. 2023/01/11	01/11/23	01/11/23	01/11/23
4. 2023/01/11	01/11/23	01/11/23	01/11/23
5. 2023/01/11	01/11/23	01/11/23	01/11/23
6. 2023/01/11	01/11/23	01/11/23	01/11/23
7. 2023/01/11	01/11/23	01/11/23	01/11/23
8. 2023/01/11	01/11/23	01/11/23	01/11/23
9. 2023/01/11	01/11/23	01/11/23	01/11/23
10. 2023/01/11	01/11/23	01/11/23	01/11/23

CLIENT
ROTHESAY AVENUE DEVELOPMENTS
 20-26 Rossmore Ave, 115-118 Quarter 3, Mackdoon NSW 2114
 T 02 8888 1540

DESIGNER
 TURNER
 20-26 Rossmore Ave, 115-118 Quarter 3, Mackdoon NSW 2114
 T 02 8888 1540

NO.	REVISION	DATE	BY	CHKD	DESCRIPTION
1	Issue for Construction	01/11/23	...	...	...
2	Issue for Construction	01/11/23	...	...	...
3	Issue for Construction	01/11/23	...	...	...
4	Issue for Construction	01/11/23	...	...	...
5	Issue for Construction	01/11/23	...	...	...
6	Issue for Construction	01/11/23	...	...	...
7	Issue for Construction	01/11/23	...	...	...
8	Issue for Construction	01/11/23	...	...	...
9	Issue for Construction	01/11/23	...	...	...
10	Issue for Construction	01/11/23	...	...	...

Project No. 13067
Client M
Site 20-26 Rossmore Ave, 115-118 Quarter 3, Mackdoon NSW 2114
GA Plan (Building 9B) - Level 08 Roof Plan



- NOTES**
1. Internal levels shown are indicative only for information purposes and are subject to further design development and change.
 2. Window profiles, if shown, are indicative only.
 3. Layout panels, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any fixtures, fittings and services are indicative only and subject to change.
 6. Appliances shown on the legends are indicative only and are subject to further design development and change.
 7. Storage allocations and areas are not necessarily shown on this drawing and are subject to change.

Rev	001	001	001	001
Date	12/11/24	12/11/24	12/11/24	12/11/24
By	001	001	001	001
Check	001	001	001	001
App	001	001	001	001
Scale	1:100	1:100	1:100	1:100
Project No.	13067			
Client	DA-114_010			
Sheet No.	010			
Total Sheets	010			

PROJECT
 SHEPHERDS BAY - BUILDINGS 9 & 9
 20-26 Yarracree Ave, 150-118 Bowden St, Macquarie NSW 2114

DESCRIPTION
 GA Pier (Building 9, Commercial) - Level 01

TURNER

NOTES
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ROTHESAY AVENUE DEVELOPMENTS
 Suite 20-4 Cliff Road, Macquarie Park, NSW 2113
 T 02 9869 5240

NO.	REVISION	DATE	BY	CHECKED	APP.
1	Issue for tender	12/11/24	001	001	001
2	Issue for construction	12/11/24	001	001	001



- NOTES**
1. Internal levels shown are indicative only for information purposes and are subject to further design development and change.
 2. Window sillings, if shown, are indicative only.
 3. Levelled panels, if shown, are indicative only.
 4. All dimensions and levels shown are approximate.
 5. Any fixtures contained are indicative only and subject to change.
 6. Annotations shown on the layout are indicative only and are subject to further design development and change.
 7. Storage allocations and areas are not necessarily shown on the drawings and are subject to change.

NOTES
 This drawing is a preliminary design and is not to be used for construction purposes. It is subject to change without notice. All dimensions and levels are approximate. The client is responsible for the accuracy of the information provided. The architect is not responsible for the accuracy of the information provided by the client. The architect is not responsible for the accuracy of the information provided by the client.

ROTHESAY AVENUE DEVELOPMENTS
 Suite 20-4 Griffith Avenue, Macquarie Park NSW 2113
 T 02 9886 5540

CLIENT
 ROTHESAY AVENUE DEVELOPMENTS
 Suite 20-4 Griffith Avenue, Macquarie Park NSW 2113
 T 02 9886 5540

REVISIONS

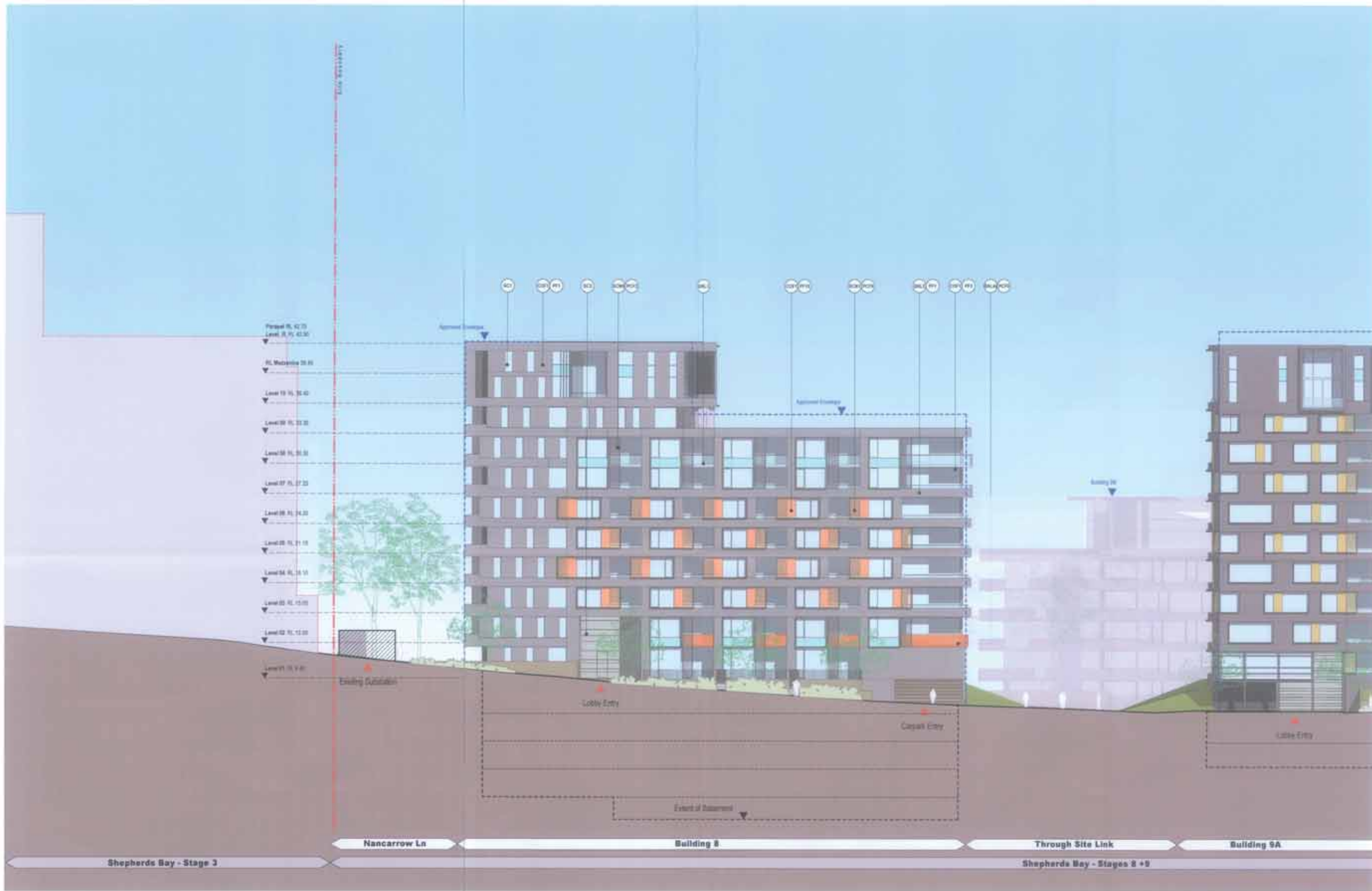
No.	Description	Date
1	Issue for information	10/10/2014
2	Issue for information	10/10/2014
3	Issue for information	10/10/2014
4	Issue for information	10/10/2014
5	Issue for information	10/10/2014
6	Issue for information	10/10/2014
7	Issue for information	10/10/2014
8	Issue for information	10/10/2014
9	Issue for information	10/10/2014
10	Issue for information	10/10/2014

PROJECT
 SHEPHERDS BAY - BUILDINGS 8 & 9
 20-26 Reserve Ave, 116-118 Bowden St, Macquarie Park NSW 2114

DRAWING
 GA Plan (Building 8, Commercial) - Level Roof

turner

13067
 DA-114_020
 M



LEGEND - MATERIALS / FINISHES:

- | | | | | |
|--|--|---|---|---|
| <ul style="list-style-type: none"> ☉ Balcony, Type 1
Carbide-lined synthetic clear glass balustrade. Stainless steel handrail according to AS 1923 ☉ Balcony, Type 2
Expendable clear glass balustrade frame with stainless steel handrail. ☉ Balcony, Type 3
Solid stainless steel balustrade. ☉ Balcony, Type 4
Perforated metal, clear finish to top of slab edge. BALUM (PCV) BALUM (PCV) ☉ Balcony, Type 5
Perforated metal, clear finish to top of slab edge. BALUM (PCV) ☉ Balcony, Type 6
Perforated metal, clear finish to top of slab edge. BALUM (PCV) ☉ Balcony, Type 7
Perforated metal, clear finish to top of slab edge. BALUM (PCV) ☉ Balcony, Type 8
Perforated metal, clear finish to top of slab edge. BALUM (PCV) ☉ Balcony, Type 9
Perforated metal, clear finish to top of slab edge. BALUM (PCV) ☉ Balcony, Type 10
Perforated metal, clear finish to top of slab edge. BALUM (PCV) ☉ Balcony, Type 11
Perforated metal, clear finish to top of slab edge. BALUM (PCV) ☉ Balcony, Type 12
Perforated metal, clear finish to top of slab edge. BALUM (PCV) ☉ Balcony, Type 13
Perforated metal, clear finish to top of slab edge. BALUM (PCV) ☉ Balcony, Type 14
Perforated metal, clear finish to top of slab edge. BALUM (PCV) ☉ Balcony, Type 15
Perforated metal, clear finish to top of slab edge. BALUM (PCV) ☉ Balcony, Type 16
Perforated metal, clear finish to top of slab edge. BALUM (PCV) | <ul style="list-style-type: none"> ☉ Balcony, Type 1
Carbide-lined synthetic clear glass balustrade. Stainless steel handrail according to AS 1923 ☉ Balcony, Type 2
Expendable clear glass balustrade frame with stainless steel handrail. ☉ Balcony, Type 3
Solid stainless steel balustrade. ☉ Balcony, Type 4
Perforated metal, clear finish to top of slab edge. BALUM (PCV) BALUM (PCV) ☉ Balcony, Type 5
Perforated metal, clear finish to top of slab edge. BALUM (PCV) ☉ Balcony, Type 6
Perforated metal, clear finish to top of slab edge. BALUM (PCV) ☉ Balcony, Type 7
Perforated metal, clear finish to top of slab edge. BALUM (PCV) ☉ Balcony, Type 8
Perforated metal, clear finish to top of slab edge. BALUM (PCV) ☉ Balcony, Type 9
Perforated metal, clear finish to top of slab edge. BALUM (PCV) ☉ Balcony, Type 10
Perforated metal, clear finish to top of slab edge. BALUM (PCV) ☉ Balcony, Type 11
Perforated metal, clear finish to top of slab edge. BALUM (PCV) ☉ Balcony, Type 12
Perforated metal, clear finish to top of slab edge. BALUM (PCV) ☉ Balcony, Type 13
Perforated metal, clear finish to top of slab edge. BALUM (PCV) ☉ Balcony, Type 14
Perforated metal, clear finish to top of slab edge. BALUM (PCV) ☉ Balcony, Type 15
Perforated metal, clear finish to top of slab edge. BALUM (PCV) ☉ Balcony, Type 16
Perforated metal, clear finish to top of slab edge. BALUM (PCV) | <ul style="list-style-type: none"> ☉ Screen, Type 1
Fixed height screen, 1500mm Hx6. Finishing system: aluminum powdercoat finish. Colour: SGR100 - PCV, SGR100 - PCV, SGR100 - PCV. ☉ Screen, Type 2
Perforated metal screen, pattern TSC. SGR100 - PCV, SGR100 - PCV, SGR100 - PCV. ☉ Screen, Type 3
Fixed, 2.4 height vertical screen, 1500mm Hx6. Finishing system: aluminum powdercoat finish. Colour: SGR100 - PCV. ☉ Screen, Type 4
Perforated metal screen, pattern TSC. SGR100 - PCV. ☉ Screen, Type 5
Perforated metal screen, pattern TSC. SGR100 - PCV. ☉ Screen, Type 6
Fixed height vertical screen, 1500mm Hx6. Finishing system: aluminum powdercoat finish. Colour: SGR100 - PCV. ☉ Screen, Type 7
Fixed, 2.4 height vertical screen, 1500mm Hx6. Finishing system: aluminum powdercoat finish. Colour: SGR100 - PCV. ☉ Screen, Type 8
Fixed, 2.4 height vertical screen, 1500mm Hx6. Finishing system: aluminum powdercoat finish. Colour: SGR100 - PCV. ☉ Screen, Type 9
Fixed, 2.4 height vertical screen, 1500mm Hx6. Finishing system: aluminum powdercoat finish. Colour: SGR100 - PCV. ☉ Screen, Type 10
Fixed, 2.4 height vertical screen, 1500mm Hx6. Finishing system: aluminum powdercoat finish. Colour: SGR100 - PCV. ☉ Screen, Type 11
Fixed, 2.4 height vertical screen, 1500mm Hx6. Finishing system: aluminum powdercoat finish. Colour: SGR100 - PCV. ☉ Screen, Type 12
Fixed, 2.4 height vertical screen, 1500mm Hx6. Finishing system: aluminum powdercoat finish. Colour: SGR100 - PCV. ☉ Screen, Type 13
Fixed, 2.4 height vertical screen, 1500mm Hx6. Finishing system: aluminum powdercoat finish. Colour: SGR100 - PCV. ☉ Screen, Type 14
Fixed, 2.4 height vertical screen, 1500mm Hx6. Finishing system: aluminum powdercoat finish. Colour: SGR100 - PCV. ☉ Screen, Type 15
Fixed, 2.4 height vertical screen, 1500mm Hx6. Finishing system: aluminum powdercoat finish. Colour: SGR100 - PCV. ☉ Screen, Type 16
Fixed, 2.4 height vertical screen, 1500mm Hx6. Finishing system: aluminum powdercoat finish. Colour: SGR100 - PCV. | <ul style="list-style-type: none"> ☉ Powder Coat Finish, Type 1
Colour to match Colour 'Savanna' in window. ☉ Powder Coat Finish, Type 2
Colour to match Colour 'Savanna' in window. ☉ Powder Coat Finish, Type 3
Colour to match Colour 'Savanna' in window. ☉ Powder Coat Finish, Type 4
Colour to match Colour 'Savanna' in window. ☉ Powder Coat Finish, Type 5
Colour to match Colour 'Savanna' in window. ☉ Powder Coat Finish, Type 6
Colour to match Colour 'Savanna' in window. ☉ Powder Coat Finish, Type 7
Colour to match Colour 'Savanna' in window. ☉ Powder Coat Finish, Type 8
Colour to match Colour 'Savanna' in window. ☉ Powder Coat Finish, Type 9
Colour to match Colour 'Savanna' in window. ☉ Powder Coat Finish, Type 10
Colour to match Colour 'Savanna' in window. ☉ Powder Coat Finish, Type 11
Colour to match Colour 'Savanna' in window. ☉ Powder Coat Finish, Type 12
Colour to match Colour 'Savanna' in window. ☉ Powder Coat Finish, Type 13
Colour to match Colour 'Savanna' in window. ☉ Powder Coat Finish, Type 14
Colour to match Colour 'Savanna' in window. ☉ Powder Coat Finish, Type 15
Colour to match Colour 'Savanna' in window. ☉ Powder Coat Finish, Type 16
Colour to match Colour 'Savanna' in window. | <ul style="list-style-type: none"> ☉ Paint Finish, Type 1
Colour to match Colour 'Savanna' in window. ☉ Paint Finish, Type 2
Colour to match Colour 'Savanna' in window. ☉ Paint Finish, Type 3
Colour to match Colour 'Savanna' in window. ☉ Paint Finish, Type 4
Colour to match Colour 'Savanna' in window. ☉ Paint Finish, Type 5
Colour to match Colour 'Savanna' in window. ☉ Paint Finish, Type 6
Colour to match Colour 'Savanna' in window. ☉ Paint Finish, Type 7
Colour to match Colour 'Savanna' in window. ☉ Paint Finish, Type 8
Colour to match Colour 'Savanna' in window. ☉ Paint Finish, Type 9
Colour to match Colour 'Savanna' in window. ☉ Paint Finish, Type 10
Colour to match Colour 'Savanna' in window. ☉ Paint Finish, Type 11
Colour to match Colour 'Savanna' in window. ☉ Paint Finish, Type 12
Colour to match Colour 'Savanna' in window. ☉ Paint Finish, Type 13
Colour to match Colour 'Savanna' in window. ☉ Paint Finish, Type 14
Colour to match Colour 'Savanna' in window. ☉ Paint Finish, Type 15
Colour to match Colour 'Savanna' in window. ☉ Paint Finish, Type 16
Colour to match Colour 'Savanna' in window. |
|--|--|---|---|---|



LEGEND - MATERIALS / FINISHES:

- Slatwork, Type 1
 Continuous horizontal slat glass balustrade. Stainless steel infill supporting top of glass.
- Slatwork, Type 2
 Translucent clear glass balustrade frame with stainless steel infill.
- Slatwork, Type 3
 Solid stainless steel balustrade with stainless steel infill.
- Slatwork, Type 4
 Polished metal slat balustrade with stainless steel infill.
- Slatwork, Type 5
 Polished metal slat balustrade with stainless steel infill.
- Window, Type 1
 Window - 1800mm x 2400mm.
- Window, Type 2
 Window - 1800mm x 2400mm.
- Window, Type 3
 Window - 1800mm x 2400mm.
- Window, Type 4
 Window - 1800mm x 2400mm.
- Window, Type 5
 Window - 1800mm x 2400mm.
- Window, Type 6
 Window - 1800mm x 2400mm.
- Window, Type 7
 Window - 1800mm x 2400mm.
- Window, Type 8
 Window - 1800mm x 2400mm.
- Window, Type 9
 Window - 1800mm x 2400mm.
- Window, Type 10
 Window - 1800mm x 2400mm.
- Window, Type 11
 Window - 1800mm x 2400mm.
- Window, Type 12
 Window - 1800mm x 2400mm.
- Window, Type 13
 Window - 1800mm x 2400mm.
- Window, Type 14
 Window - 1800mm x 2400mm.
- Window, Type 15
 Window - 1800mm x 2400mm.
- Window, Type 16
 Window - 1800mm x 2400mm.
- Window, Type 17
 Window - 1800mm x 2400mm.
- Window, Type 18
 Window - 1800mm x 2400mm.
- Window, Type 19
 Window - 1800mm x 2400mm.
- Window, Type 20
 Window - 1800mm x 2400mm.
- Window, Type 21
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- Window, Type 23
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- Window, Type 24
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- Window, Type 25
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- Window, Type 26
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- Window, Type 28
 Window - 1800mm x 2400mm.
- Window, Type 29
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- Window, Type 30
 Window - 1800mm x 2400mm.
- Window, Type 31
 Window - 1800mm x 2400mm.
- Window, Type 32
 Window - 1800mm x 2400mm.
- Window, Type 33
 Window - 1800mm x 2400mm.
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 Window - 1800mm x 2400mm.
- Window, Type 35
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- Window, Type 36
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- Window, Type 37
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- Window, Type 38
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- Window, Type 39
 Window - 1800mm x 2400mm.
- Window, Type 40
 Window - 1800mm x 2400mm.
- Window, Type 41
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- Window, Type 42
 Window - 1800mm x 2400mm.
- Window, Type 43
 Window - 1800mm x 2400mm.
- Window, Type 44
 Window - 1800mm x 2400mm.
- Window, Type 45
 Window - 1800mm x 2400mm.
- Window, Type 46
 Window - 1800mm x 2400mm.
- Window, Type 47
 Window - 1800mm x 2400mm.
- Window, Type 48
 Window - 1800mm x 2400mm.
- Window, Type 49
 Window - 1800mm x 2400mm.
- Window, Type 50
 Window - 1800mm x 2400mm.

ROTHESAY AVENUE DEVELOPMENTS
 Suite 2/4 Offroad Avenue, Macquarie Park, NSW 2113
 T 61 6050 5042

13067
 25-30 Nancarrow Ave, 115-118 Shepherds Bay, Mooloolaba, QLD 4714
 For Information: 0A-250-002

turner

Project No: SHEPHERDS BAY - BUILDINGS 8 & 9
 25-30 Nancarrow Ave, 115-118 Shepherds Bay, Mooloolaba, QLD 4714
 Drawing No: Building 8 - East Elevation

Scale: 1:100
 Date: 13/08/2024
 Drawn by: M
 Checked by: M



LEGEND, MATERIALS / FINISHES:

- | | | | | | | | | |
|---|---|---|--|--|--|--|--|--|
| <ul style="list-style-type: none"> Window Type 1: Cantilevered frameless glass balustrade, stainless steel on wall depending on fit Window Type 2: Frameless glass balustrade fixed to wall/glass panel Window Type 3: Fixed glass panel to wall Window Type 4: Frameless glass balustrade fixed to wall/glass panel Window Type 5: Frameless glass balustrade fixed to wall/glass panel | <ul style="list-style-type: none"> Window Type 1: Window - dark tinted Window Type 2: Professional window system Window Type 3: Triple glazing Window Type 4: Window - dark tinted Window Type 5: Window - dark tinted | <ul style="list-style-type: none"> Window Type 2: Composite profile, frameless glass Window Type 3: Glass, clear or tinted, stainless steel frame, stainless steel panel, stainless steel panel Window Type 4: Glass, clear or tinted, stainless steel frame, stainless steel panel, stainless steel panel Window Type 5: Glass, clear or tinted, stainless steel frame, stainless steel panel, stainless steel panel | <ul style="list-style-type: none"> Window Type 1: Fixed, vertical window, 1000mm x 1600mm, framing system, aluminium panel, stainless steel, Colour: SC010, PO1, SC010, PO1 Window Type 2: Fixed, vertical window, 1000mm x 1600mm, framing system, aluminium panel, stainless steel, Colour: SC010, PO1, SC010, PO1 Window Type 3: Fixed, vertical window, 1000mm x 1600mm, framing system, aluminium panel, stainless steel, Colour: SC010, PO1, SC010, PO1 Window Type 4: Fixed, vertical window, 1000mm x 1600mm, framing system, aluminium panel, stainless steel, Colour: SC010, PO1, SC010, PO1 Window Type 5: Fixed, vertical window, 1000mm x 1600mm, framing system, aluminium panel, stainless steel, Colour: SC010, PO1, SC010, PO1 | <ul style="list-style-type: none"> Window Type 6: Fixed, vertical window, 1000mm x 1600mm, framing system, aluminium panel, stainless steel, Colour: SC010, PO1, SC010, PO1 Window Type 7: Fixed, vertical window, 1000mm x 1600mm, framing system, aluminium panel, stainless steel, Colour: SC010, PO1, SC010, PO1 Window Type 8: Fixed, vertical window, 1000mm x 1600mm, framing system, aluminium panel, stainless steel, Colour: SC010, PO1, SC010, PO1 Window Type 9: Fixed, vertical window, 1000mm x 1600mm, framing system, aluminium panel, stainless steel, Colour: SC010, PO1, SC010, PO1 | <ul style="list-style-type: none"> Window Type 10: Fixed, vertical window, 1000mm x 1600mm, framing system, aluminium panel, stainless steel, Colour: SC010, PO1, SC010, PO1 Window Type 11: Fixed, vertical window, 1000mm x 1600mm, framing system, aluminium panel, stainless steel, Colour: SC010, PO1, SC010, PO1 Window Type 12: Fixed, vertical window, 1000mm x 1600mm, framing system, aluminium panel, stainless steel, Colour: SC010, PO1, SC010, PO1 Window Type 13: Fixed, vertical window, 1000mm x 1600mm, framing system, aluminium panel, stainless steel, Colour: SC010, PO1, SC010, PO1 | <ul style="list-style-type: none"> Window Type 14: Fixed, vertical window, 1000mm x 1600mm, framing system, aluminium panel, stainless steel, Colour: SC010, PO1, SC010, PO1 Window Type 15: Fixed, vertical window, 1000mm x 1600mm, framing system, aluminium panel, stainless steel, Colour: SC010, PO1, SC010, PO1 Window Type 16: Fixed, vertical window, 1000mm x 1600mm, framing system, aluminium panel, stainless steel, Colour: SC010, PO1, SC010, PO1 Window Type 17: Fixed, vertical window, 1000mm x 1600mm, framing system, aluminium panel, stainless steel, Colour: SC010, PO1, SC010, PO1 | <ul style="list-style-type: none"> Window Type 18: Fixed, vertical window, 1000mm x 1600mm, framing system, aluminium panel, stainless steel, Colour: SC010, PO1, SC010, PO1 Window Type 19: Fixed, vertical window, 1000mm x 1600mm, framing system, aluminium panel, stainless steel, Colour: SC010, PO1, SC010, PO1 Window Type 20: Fixed, vertical window, 1000mm x 1600mm, framing system, aluminium panel, stainless steel, Colour: SC010, PO1, SC010, PO1 Window Type 21: Fixed, vertical window, 1000mm x 1600mm, framing system, aluminium panel, stainless steel, Colour: SC010, PO1, SC010, PO1 | <ul style="list-style-type: none"> Window Type 22: Fixed, vertical window, 1000mm x 1600mm, framing system, aluminium panel, stainless steel, Colour: SC010, PO1, SC010, PO1 Window Type 23: Fixed, vertical window, 1000mm x 1600mm, framing system, aluminium panel, stainless steel, Colour: SC010, PO1, SC010, PO1 Window Type 24: Fixed, vertical window, 1000mm x 1600mm, framing system, aluminium panel, stainless steel, Colour: SC010, PO1, SC010, PO1 Window Type 25: Fixed, vertical window, 1000mm x 1600mm, framing system, aluminium panel, stainless steel, Colour: SC010, PO1, SC010, PO1 |
|---|---|---|--|--|--|--|--|--|



LEGEND - MATERIALS / FINISHES:

- Stonebrick, Type 1
Ceramicized Facebrick clear glass interlock. External
and internal rendering to suit.
- Stonebrick, Type 2
Permeable clear glass interlock. Face to suit garden
level.
- Stonebrick, Type 3
Solid system. Facebrick finish as selected.
- Stonebrick, Type 4
Perforated brickwork, face fixed to top of slab edge.
SALAM - FCF1, SALAM - FCF2
- Stonebrick, Type 5
Perforated brickwork, face fixed to top of slab edge. **PCF**
- Stonebrick, Type 1
Ceramicized Facebrick clear glass interlock. External
and internal rendering to suit.
- Cladding, Type 1
Perforated metal cladding system.
- Cladding, Type 2
Tensile fabric cladding.
- Cladding, Type 3
Tensile fabric cladding system.
- Masonry, Type 1
Smooth brick. Color as selected.
- Masonry, Type 2
Complex profile. Texture colour finish.
- Glass, Clear, Type 1
Glass, clear to suit glass and acoustic report requirements. Framing
system, aluminium, powder coat finish. Finishing colour **PCF1**.
- Glass, Clear, Type 2
Glass, clear to suit glass and acoustic report requirements. Framing
system, aluminium, powder coat finish. Finishing colour to match **PCF5**.
- Glass, Clear, Type 3 (Shepherd Bay)
Glass, clear. Framing system, aluminium, powder coat finish.
Finishing colour **PCF1**.
- Screen, Type 1
Fixed, vertical screen, 1200mm x 600. Framing system, aluminium
powdercoat finish. Colour **SCN1** - FCF1, SCN1 - FCF2,
SCN1 - FCF3, SCN1 - FCF4.
- Screen, Type 2
Perforated metal screen, pattern **TE**. **SCN2** - FCF1, SCN2 - FCF2,
SCN2 - FCF3, SCN2 - FCF4.
- Screen, Type 3
Fixed, 60 height vertical screen, 1200mm x 600. Framing
system, aluminium powdercoat finish. Colour **SCN3** - FCF1.
- Screen, Type 4
Perforated metal screen, pattern **TE**. **SCN4** - FCF1.
- Screen, Type 5
Perforated metal screen, pattern **TE**. **SCN5** - FCF1.
- Screen, Type 6
Fixed, vertical screen, 1200mm x 600. Framing system,
aluminium powdercoat finish. Colour **SCN6** - FCF1,
SCN6 - FCF2, SCN6 - FCF3.
- Screen, Type 7
Fixed, 60 height vertical screen, 600x1200mm x 600.
Framing system, aluminium powdercoat finish. Colour
SCN7 - FCF1, SCN7 - FCF2.
- Screen, Type 8
Fixed, 60 height vertical screen, 20x1200mm x 600.
Framing system, aluminium powdercoat finish. Colour
SCN8 - FCF1.
- Powder Coat Finish, Type 1
Colour to match Colour **Masonry** as selected.
- Powder Coat Finish, Type 2
Colour to match Colour **Stonebrick** as selected.
- Powder Coat Finish, Type 3
Colour to match Colour **Stonebrick** as selected.
- Powder Coat Finish, Type 4
Colour to match Colour **Stonebrick** as selected.
- Powder Coat Finish, Type 5
Colour to match Colour **Stonebrick** as selected.
- Powder Coat Finish, Type 6
Colour to match Colour **Stonebrick** as selected.
- Powder Coat Finish, Type 7
Colour to match Colour **Stonebrick** as selected.
- Powder Coat Finish, Type 8
Colour to match Colour **Stonebrick** as selected.
- Powder Coat Finish, Type 9
Colour to match Colour **Stonebrick** as selected.
- Powder Coat Finish, Type 10
Colour to match Colour **Stonebrick** as selected.
- Powder Coat Finish, Type 11
Colour to match Colour **Stonebrick** as selected.
- Powder Coat Finish, Type 12
Colour to match Colour **Stonebrick** as selected.
- Powder Coat Finish, Type 13
Colour to match Colour **Stonebrick** as selected.
- Powder Coat Finish, Type 14
Colour to match Colour **Stonebrick** as selected.
- Powder Coat Finish, Type 15
Colour to match Colour **Stonebrick** as selected.
- Powder Coat Finish, Type 16
Colour to match Colour **Stonebrick** as selected.
- Powder Coat Finish, Type 17
Colour to match Colour **Stonebrick** as selected.
- Powder Coat Finish, Type 18
Colour to match Colour **Stonebrick** as selected.
- Powder Coat Finish, Type 19
Colour to match Colour **Stonebrick** as selected.
- Powder Coat Finish, Type 20
Colour to match Colour **Stonebrick** as selected.

NOTES
 1. All materials and finishes are to be confirmed by the client and approved by the relevant authorities.
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 4. All materials and finishes are to be confirmed by the client and approved by the relevant authorities.
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ROTHESAY AVENUE DEVELOPMENTS
 Suite 22-4 Offshore Avenue, Murrumbidgee Park NSW 2710
 T: 02 9885 1542

Project No: 13087
Client: DA-250_004
Scale: 1:200 @ A1
Drawn by: M
Checked by: M
Date: 13/08/2024

Project No: 13087
Client: DA-250_004
Scale: 1:200 @ A1
Drawn by: M
Checked by: M
Date: 13/08/2024





LEGEND - MATERIALS / FINISHES:

- 1. Brickwork Type 1
Continental Terracotta rose glass infillwork. Standard wall finish with raking for rain.
- 2. Brickwork Type 2
Terracotta rose glass infillwork. Red to white gradient finish.
- 3. Brickwork Type 3
Solid smooth. Faced brickwork finish.
- 4. Brickwork Type 4
Perforated metal mesh finish to top of wall edge. **MSL45** (F01) **MSL45** (F02)
- 5. Brickwork Type 5
Perforated metal mesh finish to top of wall edge. **MSL45** (F03)
- 6. Brickwork Type 6
Continental Terracotta rose glass infillwork. Standard wall finish with raking for rain.
- 7. Cladding Type 1
Perforated metal mesh finish.
- 8. Cladding Type 2
Three pan roofing.
- 9. Cladding Type 3
Four pan roofing system.
- 10. Cladding Type 4
Smooth finish. Colour as indicated.
- 11. Window Type 1
Canted profile. Relative to wall face.
- 12. Glass, Clear Type 1
Glass, clear to wall face with acoustic report requirements. Framing system aluminium powder coat finish. Finishing colour **PDR1**.
- 13. Glass, Clear Type 2
Glass, clear to wall face with acoustic report requirements. Framing system aluminium powder coat finish. Finishing colour to match **PDR1**.
- 14. Glass, Clear Type 3 (Shepherd Cladding)
Glass, clear. Framing system aluminium powder coat finish. Finishing colour **PDR1**.
- 15. Window Type 2
Perforated metal mesh system. **MSL45** (F01) **MSL45** (F02)
- 16. Window Type 3
Perforated metal mesh system. **MSL45** (F03)
- 17. Window Type 4
Perforated metal mesh system. **MSL45** (F04)
- 18. Window Type 5
Perforated metal mesh system. **MSL45** (F05)
- 19. Window Type 6
Perforated metal mesh system. **MSL45** (F06)
- 20. Window Type 7
Perforated metal mesh system. **MSL45** (F07)
- 21. Window Type 8
Perforated metal mesh system. **MSL45** (F08)
- 22. Window Type 9
Perforated metal mesh system. **MSL45** (F09)
- 23. Window Type 10
Perforated metal mesh system. **MSL45** (F10)
- 24. Window Type 11
Perforated metal mesh system. **MSL45** (F11)
- 25. Window Type 12
Perforated metal mesh system. **MSL45** (F12)
- 26. Window Type 13
Perforated metal mesh system. **MSL45** (F13)
- 27. Window Type 14
Perforated metal mesh system. **MSL45** (F14)
- 28. Window Type 15
Perforated metal mesh system. **MSL45** (F15)
- 29. Window Type 16
Perforated metal mesh system. **MSL45** (F16)
- 30. Window Type 17
Perforated metal mesh system. **MSL45** (F17)
- 31. Window Type 18
Perforated metal mesh system. **MSL45** (F18)
- 32. Window Type 19
Perforated metal mesh system. **MSL45** (F19)
- 33. Window Type 20
Perforated metal mesh system. **MSL45** (F20)
- 34. Window Type 21
Perforated metal mesh system. **MSL45** (F21)
- 35. Window Type 22
Perforated metal mesh system. **MSL45** (F22)
- 36. Window Type 23
Perforated metal mesh system. **MSL45** (F23)
- 37. Window Type 24
Perforated metal mesh system. **MSL45** (F24)
- 38. Window Type 25
Perforated metal mesh system. **MSL45** (F25)
- 39. Window Type 26
Perforated metal mesh system. **MSL45** (F26)
- 40. Window Type 27
Perforated metal mesh system. **MSL45** (F27)
- 41. Window Type 28
Perforated metal mesh system. **MSL45** (F28)
- 42. Window Type 29
Perforated metal mesh system. **MSL45** (F29)
- 43. Window Type 30
Perforated metal mesh system. **MSL45** (F30)



LEGEND - MATERIALS / FINISHES:

- Substrate, Type 1: Cast-in-place concrete clear glass balustrade. Stainless steel handrail according to AS 1925.
- Substrate, Type 2: Formwork clear glass balustrade fixed to wall structure.
- Substrate, Type 3: Solid concrete. Painted finish as selected.
- Substrate, Type 4: Perforated metal, zinc plated to top of wall edge. BAL30 - PC1; BAL30 - PC2.
- Substrate, Type 5: Perforated metal, zinc plated to top of wall edge. (a - PC2)
- Balustrade, Type 1: Stainless - 304 mirror.
- Cladding, Type 1: Pultruded metal cladding system.
- Cladding, Type 2: Timber type cladding.
- Cladding, Type 3: Fibre-reinforced plastic system.
- Masonry, Type 1: Smooth finish. Colour as selected.
- Masonry, Type 2: Combed profile. Natural colour finish.
- Glass, Clear, Type 1: Glass, clear to full frame and acoustic report requirements. Finishing system, aluminium powder coat finish. Finishing colour PCFL.
- Glass, Clear, Type 2: Glass, clear to full frame and acoustic report requirements. Finishing system, aluminium powder coat finish. Finishing colour to match PCFL.
- Glass, Clear, Type 3 (Shepherd Cladding): Glass, clear. Finishing system, aluminium, powder coat finish. Finishing colour PCFL.
- Screen, Type 1: Fixed, vertical screen. 100% opaque finish. Finishing system, aluminium powder coat finish. Colour BOK10a - PC1; BOK10b - PC1; BOK10c - PC1; BOK10d - PC1.
- Screen, Type 2: Perforated metal screen, pattern TSC. BOK10a - PC1; BOK10b - PC1; BOK10c - PC1; BOK10d - PC1.
- Screen, Type 3: Fixed, 1.8 height vertical screen. 100% opaque finish. Finishing system, aluminium powder coat finish. Colour BOK10a - PC1.
- Screen, Type 4: Perforated metal screen, pattern TSC. BOK10a - PC1.
- Screen, Type 5: Fixed, vertical screen. 100% opaque finish. Finishing system, aluminium powder coat finish. Colour BOK10a - PC1; BOK10b - PC1; BOK10c - PC1; BOK10d - PC1.
- Screen, Type 7: Fixed, 1.8 height vertical screen. 40% translucent finish. Finishing system, aluminium powder coat finish. Colour BOK10a - PC1; BOK10b - PC1.
- Screen, Type 8: Fixed, 1.8 height vertical screen. 20% translucent finish. Finishing system, aluminium powder coat finish. Colour BOK10a - PC1.
- Powder Coat Finish, Type 2: Colour to match Colour 'Elastic' 'Tension Proof' or similar.
- Powder Coat Finish, Type 3: Blue woodgrain or similar.
- Powder Coat Finish, Type 4: Colour to match Colour 'Tuxedo Black' or similar.
- Powder Coat Finish, Type 5: Colour to match Colour 'Santorini' or similar.
- Powder Coat Finish, Type 6: Colour to match Colour 'Dove' or similar.
- Powder Coat Finish, Type 7: Colour to match Colour 'Vintage' 'Pine' or similar.
- Powder Coat Finish, Type 8: Colour to match Colour 'Sensational' or similar.
- Powder Coat Finish, Type 9: Colour to match Colour 'Butter Beer' or similar.
- Powder Coat Finish, Type 10: Colour to match Colour 'Electric Guitar' 'Teal' or similar.
- Powder Coat Finish, Type 11: Colour to match Colour 'Teem' 'Pink' or similar.
- Powder Coat Finish, Type 12: Colour to match Colour 'Pineapple' or similar.
- Powder Coat Finish, Type 13: Colour to match Colour 'Thunder' or similar.
- Powder Coat Finish, Type 14: Colour to match Colour 'Light Grey' or similar.
- Paint Finish, Type 3: Colour to match Colour 'Vintage' 'Chestnut' or similar.
- Paint Finish, Type 4: Colour to match Colour 'Thatched Earth' or similar.
- Paint Finish, Type 5: Colour to match Colour 'Clare' 'Concrete' or similar.
- Paint Finish, Type 6: Colour to match Colour 'Sensational' or similar.
- Paint Finish, Type 7: Colour to match Colour 'Natural' 'White' or similar.
- Paint Finish, Type 8: Colour to match Colour 'Charcoal' or similar.
- Paint Finish, Type 9: Colour to match PCFL or similar.
- Paint Finish, Type 10: Colour to match PCFL or similar.
- Paint Finish, Type 11: Colour to match PCFL or similar.
- Paint Finish, Type 12: Colour to match Colour 'Natural' 'White' or similar.
- Paint Finish, Type 13: Colour to match Colour 'Light Grey' or similar.

NOTES
 1. This drawing is for information only. It is not to be used for construction purposes without the approval of the architect.
 2. The architect is not responsible for any errors or omissions in this drawing or any other drawings.
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CLIENT
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 Suite 21-4 Giffrock Avenue, Macquarie Park NSW 2113
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PROJECT
SHEPHERDS BAY - BUILDINGS 8 & 9

PROJECT
SHEPHERDS BAY - BUILDINGS 8 & 9
 21-26 Macquarie Ave, 115-118 Bowden St, Macquarie Park NSW 2114

DATE
 13/08/2024

PROJECT NO.
 13067

CLIENT
 ROTHESAY AVENUE DEVELOPMENTS

DESIGNER
 TURNER CONSULTANTS

ARCHITECT
 TURNER CONSULTANTS

ENGINEER
 TURNER CONSULTANTS

LANDSCAPE ARCHITECT
 TURNER CONSULTANTS

INTERIOR ARCHITECT
 TURNER CONSULTANTS

MECHANICAL ENGINEER
 TURNER CONSULTANTS

ELECTRICAL ENGINEER
 TURNER CONSULTANTS

PLUMBING ENGINEER
 TURNER CONSULTANTS

STRUCTURAL ENGINEER
 TURNER CONSULTANTS

TRAVEL TIME
 15 mins

SCALE
 1:100

DATE
 13/08/2024

PROJECT NO.
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DESIGNER
 TURNER CONSULTANTS

ARCHITECT
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ENGINEER
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LANDSCAPE ARCHITECT
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INTERIOR ARCHITECT
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MECHANICAL ENGINEER
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ELECTRICAL ENGINEER
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PLUMBING ENGINEER
 TURNER CONSULTANTS

STRUCTURAL ENGINEER
 TURNER CONSULTANTS

PROJECT
SHEPHERDS BAY - BUILDINGS 8 & 9
 21-26 Macquarie Ave, 115-118 Bowden St, Macquarie Park NSW 2114

DATE
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LANDSCAPE ARCHITECT
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INTERIOR ARCHITECT
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MECHANICAL ENGINEER
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ELECTRICAL ENGINEER
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PLUMBING ENGINEER
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STRUCTURAL ENGINEER
 TURNER CONSULTANTS

TRAVEL TIME
 15 mins

SCALE
 1:100

DATE
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 ROTHESAY AVENUE DEVELOPMENTS

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ELECTRICAL ENGINEER
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PLUMBING ENGINEER
 TURNER CONSULTANTS

STRUCTURAL ENGINEER
 TURNER CONSULTANTS





LEGEND - MATERIALS / FINISHES:

- | | | | | | | | |
|--|---|---|---|---|---|---|---|
| <ul style="list-style-type: none"> 1. Glazed curtain wall system with glass balustrade. Stainless steel hand railing. 2. Glazed curtain wall system with glass balustrade. Stainless steel hand railing. 3. Glazed curtain wall system with glass balustrade. Stainless steel hand railing. 4. Glazed curtain wall system with glass balustrade. Stainless steel hand railing. 5. Glazed curtain wall system with glass balustrade. Stainless steel hand railing. | <ul style="list-style-type: none"> 6. Glazed curtain wall system with glass balustrade. Stainless steel hand railing. 7. Glazed curtain wall system with glass balustrade. Stainless steel hand railing. 8. Glazed curtain wall system with glass balustrade. Stainless steel hand railing. 9. Glazed curtain wall system with glass balustrade. Stainless steel hand railing. 10. Glazed curtain wall system with glass balustrade. Stainless steel hand railing. | <ul style="list-style-type: none"> 11. Glazed curtain wall system with glass balustrade. Stainless steel hand railing. 12. Glazed curtain wall system with glass balustrade. Stainless steel hand railing. 13. Glazed curtain wall system with glass balustrade. Stainless steel hand railing. 14. Glazed curtain wall system with glass balustrade. Stainless steel hand railing. 15. Glazed curtain wall system with glass balustrade. Stainless steel hand railing. | <ul style="list-style-type: none"> 16. Glazed curtain wall system with glass balustrade. Stainless steel hand railing. 17. Glazed curtain wall system with glass balustrade. Stainless steel hand railing. 18. Glazed curtain wall system with glass balustrade. Stainless steel hand railing. 19. Glazed curtain wall system with glass balustrade. Stainless steel hand railing. 20. Glazed curtain wall system with glass balustrade. Stainless steel hand railing. | <ul style="list-style-type: none"> 21. Glazed curtain wall system with glass balustrade. Stainless steel hand railing. 22. Glazed curtain wall system with glass balustrade. Stainless steel hand railing. 23. Glazed curtain wall system with glass balustrade. Stainless steel hand railing. 24. Glazed curtain wall system with glass balustrade. Stainless steel hand railing. 25. Glazed curtain wall system with glass balustrade. Stainless steel hand railing. | <ul style="list-style-type: none"> 26. Glazed curtain wall system with glass balustrade. Stainless steel hand railing. 27. Glazed curtain wall system with glass balustrade. Stainless steel hand railing. 28. Glazed curtain wall system with glass balustrade. Stainless steel hand railing. 29. Glazed curtain wall system with glass balustrade. Stainless steel hand railing. 30. Glazed curtain wall system with glass balustrade. Stainless steel hand railing. | <ul style="list-style-type: none"> 31. Glazed curtain wall system with glass balustrade. Stainless steel hand railing. 32. Glazed curtain wall system with glass balustrade. Stainless steel hand railing. 33. Glazed curtain wall system with glass balustrade. Stainless steel hand railing. 34. Glazed curtain wall system with glass balustrade. Stainless steel hand railing. 35. Glazed curtain wall system with glass balustrade. Stainless steel hand railing. | <ul style="list-style-type: none"> 36. Glazed curtain wall system with glass balustrade. Stainless steel hand railing. 37. Glazed curtain wall system with glass balustrade. Stainless steel hand railing. 38. Glazed curtain wall system with glass balustrade. Stainless steel hand railing. 39. Glazed curtain wall system with glass balustrade. Stainless steel hand railing. 40. Glazed curtain wall system with glass balustrade. Stainless steel hand railing. |
|--|---|---|---|---|---|---|---|

NOTES:
 1. Refer to the project brief for further information on the building's design and construction.
 2. All materials and finishes are to be approved by the client and the relevant authorities.
 3. The building's design is subject to change without notice.

ROTHESAY AVENUE DEVELOPMENTS
 Suite 20-4 Offshore Avenue, Merivale Park NSW 2113
 T 02 9889 5840

DESIGN TEAM:
 Project Architect: [Name]
 Architect: [Name]
 Structural Engineer: [Name]
 Mechanical Engineer: [Name]
 Electrical Engineer: [Name]
 Civil Engineer: [Name]
 Landscape Architect: [Name]
 Quantity Surveyor: [Name]
 Project Manager: [Name]

Project Title: SHEPHERDS BAY - BUILDINGS 8 & 9
Address: 20-26 Nancarrow Ave, 110-118 Bowden St, Weststrathfield NSW 2114
Client: [Name]
Project No.: 13067
Drawing No.: 1-200 @ A1 30%
Date: 04-250-008
Scale: M



LEGEND - MATERIALS / FINISHES:

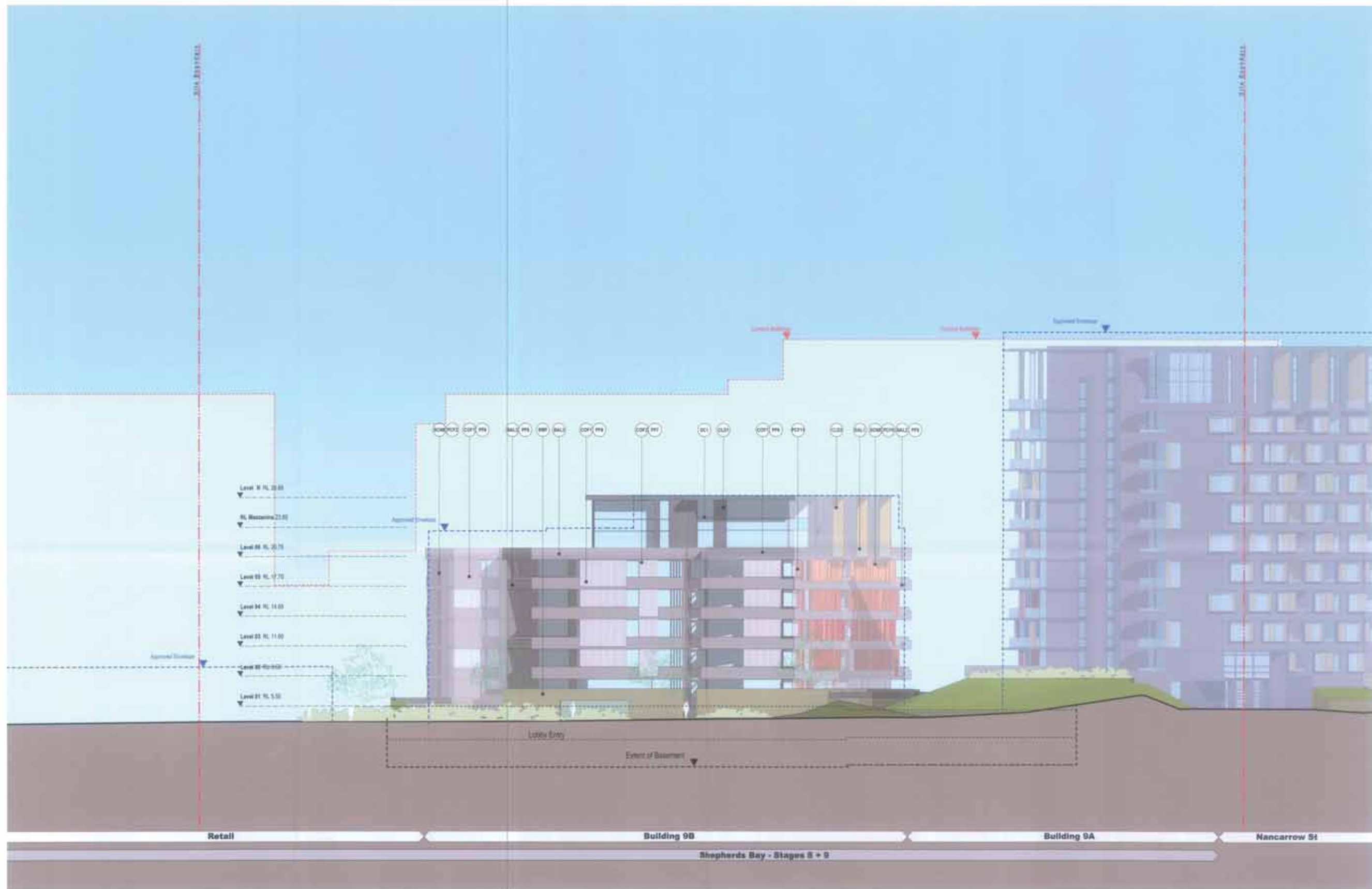
- | | | | | | | | |
|---|---|---|---|---|---|---|---|
| <ul style="list-style-type: none"> 1. External Wall, Type 1
Carved stone finish, grey limestone. Stone size 150mm x 75mm x 40mm. 2. External Wall, Type 2
Smooth stone finish, grey limestone. Stone size 150mm x 75mm x 40mm. 3. External Wall, Type 3
Smooth stone finish, grey limestone. Stone size 150mm x 75mm x 40mm. 4. External Wall, Type 4
Smooth stone finish, grey limestone. Stone size 150mm x 75mm x 40mm. 5. External Wall, Type 5
Smooth stone finish, grey limestone. Stone size 150mm x 75mm x 40mm. | <ul style="list-style-type: none"> 6. External Wall, Type 6
Smooth stone finish, grey limestone. Stone size 150mm x 75mm x 40mm. 7. External Wall, Type 7
Smooth stone finish, grey limestone. Stone size 150mm x 75mm x 40mm. 8. External Wall, Type 8
Smooth stone finish, grey limestone. Stone size 150mm x 75mm x 40mm. 9. External Wall, Type 9
Smooth stone finish, grey limestone. Stone size 150mm x 75mm x 40mm. 10. External Wall, Type 10
Smooth stone finish, grey limestone. Stone size 150mm x 75mm x 40mm. | <ul style="list-style-type: none"> 11. External Wall, Type 11
Smooth stone finish, grey limestone. Stone size 150mm x 75mm x 40mm. 12. External Wall, Type 12
Smooth stone finish, grey limestone. Stone size 150mm x 75mm x 40mm. 13. External Wall, Type 13
Smooth stone finish, grey limestone. Stone size 150mm x 75mm x 40mm. 14. External Wall, Type 14
Smooth stone finish, grey limestone. Stone size 150mm x 75mm x 40mm. 15. External Wall, Type 15
Smooth stone finish, grey limestone. Stone size 150mm x 75mm x 40mm. | <ul style="list-style-type: none"> 16. External Wall, Type 16
Smooth stone finish, grey limestone. Stone size 150mm x 75mm x 40mm. 17. External Wall, Type 17
Smooth stone finish, grey limestone. Stone size 150mm x 75mm x 40mm. 18. External Wall, Type 18
Smooth stone finish, grey limestone. Stone size 150mm x 75mm x 40mm. 19. External Wall, Type 19
Smooth stone finish, grey limestone. Stone size 150mm x 75mm x 40mm. 20. External Wall, Type 20
Smooth stone finish, grey limestone. Stone size 150mm x 75mm x 40mm. | <ul style="list-style-type: none"> 21. External Wall, Type 21
Smooth stone finish, grey limestone. Stone size 150mm x 75mm x 40mm. 22. External Wall, Type 22
Smooth stone finish, grey limestone. Stone size 150mm x 75mm x 40mm. 23. External Wall, Type 23
Smooth stone finish, grey limestone. Stone size 150mm x 75mm x 40mm. 24. External Wall, Type 24
Smooth stone finish, grey limestone. Stone size 150mm x 75mm x 40mm. 25. External Wall, Type 25
Smooth stone finish, grey limestone. Stone size 150mm x 75mm x 40mm. | <ul style="list-style-type: none"> 26. External Wall, Type 26
Smooth stone finish, grey limestone. Stone size 150mm x 75mm x 40mm. 27. External Wall, Type 27
Smooth stone finish, grey limestone. Stone size 150mm x 75mm x 40mm. 28. External Wall, Type 28
Smooth stone finish, grey limestone. Stone size 150mm x 75mm x 40mm. 29. External Wall, Type 29
Smooth stone finish, grey limestone. Stone size 150mm x 75mm x 40mm. 30. External Wall, Type 30
Smooth stone finish, grey limestone. Stone size 150mm x 75mm x 40mm. | <ul style="list-style-type: none"> 31. External Wall, Type 31
Smooth stone finish, grey limestone. Stone size 150mm x 75mm x 40mm. 32. External Wall, Type 32
Smooth stone finish, grey limestone. Stone size 150mm x 75mm x 40mm. 33. External Wall, Type 33
Smooth stone finish, grey limestone. Stone size 150mm x 75mm x 40mm. 34. External Wall, Type 34
Smooth stone finish, grey limestone. Stone size 150mm x 75mm x 40mm. 35. External Wall, Type 35
Smooth stone finish, grey limestone. Stone size 150mm x 75mm x 40mm. | <ul style="list-style-type: none"> 36. External Wall, Type 36
Smooth stone finish, grey limestone. Stone size 150mm x 75mm x 40mm. 37. External Wall, Type 37
Smooth stone finish, grey limestone. Stone size 150mm x 75mm x 40mm. 38. External Wall, Type 38
Smooth stone finish, grey limestone. Stone size 150mm x 75mm x 40mm. 39. External Wall, Type 39
Smooth stone finish, grey limestone. Stone size 150mm x 75mm x 40mm. 40. External Wall, Type 40
Smooth stone finish, grey limestone. Stone size 150mm x 75mm x 40mm. |
|---|---|---|---|---|---|---|---|

NOTES:
 1. All materials and finishes to be confirmed by the client.
 2. All materials and finishes to be confirmed by the client.
 3. All materials and finishes to be confirmed by the client.
 4. All materials and finishes to be confirmed by the client.
 5. All materials and finishes to be confirmed by the client.

ROTHESAY AVENUE DEVELOPMENTS
 Suite 20-4 Offroad Avenue, Macclesfield, Cheshire, M24 1JG
 T 01 625 5541

PROJECT INFORMATION:
 SHEPHERDS BAY - BUILDINGS 8 & 9
 20-26 Macclesfield Ave, 115-119 Bowden St, Macclesfield, M24 1JG
 Drawing No: 13867
 Drawing Title: Building 9B - North Elevation

turner
 100-102, Market Street, Macclesfield, Cheshire, M24 1JG
 T 01 625 5541
 F 01 625 5542
 E info@turner.co.uk
 www.turner.co.uk



LEGEND - MATERIALS / FINISHES:

- | | | | | | | |
|---|--|--|--|--|---|---|
| <ul style="list-style-type: none"> ☉ Insulation, Type 1
Cellulose Fibreless clear glass fibre wool. 60mm
steel internal expanding tie rod. ☉ Insulation, Type 2
Fibreless clear glass fibre wool to suit spacer
panel. ☉ Insulation, Type 3
Solid expanded. Polymer foam in-situ. ☉ Insulation, Type 4
Perforated metal, zinc fixed to top of slab edge.
BAL40 - PC13, BAL40 - PC12 ☉ Insulation, Type 5
Perforated metal, zinc fixed to top of slab edge. (N-PC5) | <ul style="list-style-type: none"> ☉ Basement, Type 1
Concrete - 400 mm ☉ Cladding, Type 1
Puffex metal cladding system. ☉ Cladding, Type 2
Zincalume sheeting. ☉ Cladding, Type 3
Flat metal cladding system. ☉ Masonry, Type 1
Smooth finish. Colour as selected. | <ul style="list-style-type: none"> ☉ Sliding, Type 1
Completed profile. Natural colour finish. ☉ Glass, Clear, Type 1
Glass, clear to suit frame and acoustic report requirements. Framing
system, aluminium, powder coat finish. Framing colour PC17. ☉ Glass, Clear, Type 2
Glass, clear to suit frame and acoustic report requirements. Framing
system, aluminium, powder coat finish. Framing colour PC17. ☉ Glass, Clear, Type 3 (Shepherd Cladding)
Glass, clear. Framing system, aluminium, powder coat finish.
Framing colour PC17. ☉ Screen, Type 1
Perforated metal screen, pattern TSC, BOM4 - PC14, BOM5 - PC15,
BOM6 - PC16, BOM7 - PC17. ☉ Screen, Type 2
Perforated metal screen, pattern TSC, BOM4 - PC14, BOM5 - PC15,
BOM6 - PC16, BOM7 - PC17. ☉ Screen, Type 3
Fixed, full height vertical screen. 600x1200mm. Framing system,
aluminium, powder coat finish. Colour BOM4 - PC14. ☉ Screen, Type 4
Fixed, full height vertical screen. 600x1200mm. Framing system,
aluminium, powder coat finish. Colour BOM4 - PC14. ☉ Screen, Type 5
Fixed, full height vertical screen. 600x1200mm. Framing system,
aluminium, powder coat finish. Colour BOM4 - PC14. | <ul style="list-style-type: none"> ☉ Screen, Type 6
Fixed, vertical screen, 1500x1200mm. Framing system,
aluminium, powder coat finish. Colour BOM4 - PC14,
BOM5 - PC15, BOM6 - PC16, BOM7 - PC17. ☉ Screen, Type 7
Fixed, full height vertical screen. 600x1200mm. Framing system,
aluminium, powder coat finish. Colour BOM4 - PC14. ☉ Screen, Type 8
Fixed, full height vertical screen. 600x1200mm. Framing system,
aluminium, powder coat finish. Colour BOM4 - PC14. ☉ Powder Coat Finish, Type 1
Colour to match Dulux 'Mercurio' or similar. | <ul style="list-style-type: none"> ☉ Powder Coat Finish, Type 2
Colour to match Dulux 'Stately' 'Thames Pearl' or similar. ☉ Powder Coat Finish, Type 3
Silver Anodised or similar. ☉ Powder Coat Finish, Type 4
Colour to match Dulux 'Pentec Blue' or similar. ☉ Powder Coat Finish, Type 5
Colour to match Dulux 'Electric Cobalt' 'Teal' or similar. ☉ Powder Coat Finish, Type 6
Colour to match Dulux 'Teal' or similar. ☉ Powder Coat Finish, Type 7
Colour to match Dulux 'Vivid' or similar. ☉ Powder Coat Finish, Type 8
Colour to match Dulux 'Mercurio' or similar. | <ul style="list-style-type: none"> ☉ Paint Finish, Type 1
Colour to match Dulux 'Venice Quake' or similar. ☉ Paint Finish, Type 2
Colour to match Dulux 'Thought Earth' or similar. ☉ Paint Finish, Type 3
Colour to match Dulux 'Clear Concrete' or similar. ☉ Paint Finish, Type 4
Colour to match Dulux 'Eucalypt' or similar. ☉ Paint Finish, Type 5
Colour to match Dulux 'Eucalypt' or similar. ☉ Paint Finish, Type 6
Colour to match Dulux 'Eucalypt' or similar. ☉ Paint Finish, Type 7
Colour to match Dulux 'Eucalypt' or similar. ☉ Paint Finish, Type 8
Colour to match Dulux 'Eucalypt' or similar. | <ul style="list-style-type: none"> ☉ Paint Finish, Type 9
Colour to match PC17 or similar. ☉ Paint Finish, Type 10
Colour to match PC17 or similar. ☉ Paint Finish, Type 11
Colour to match PC17 or similar. ☉ Paint Finish, Type 12
Colour to match Dulux 'Mercurio' or similar. ☉ Paint Finish, Type 13
Colour to match Dulux 'Light Grey' or similar. |
|---|--|--|--|--|---|---|

NOTES:
 1. All dimensions are to face unless otherwise stated.
 2. All dimensions are to be confirmed by the contractor.
 3. All dimensions are to be confirmed by the contractor.
 4. All dimensions are to be confirmed by the contractor.
 5. All dimensions are to be confirmed by the contractor.

ROTHESAY AVENUE DEVELOPMENTS
 Suite 22-4 Gilfoyle Avenue, Macquarie Park NSW 2113
 T 02 9885 5541

GENERAL NOTES:
 1. All dimensions are to face unless otherwise stated.
 2. All dimensions are to be confirmed by the contractor.
 3. All dimensions are to be confirmed by the contractor.
 4. All dimensions are to be confirmed by the contractor.
 5. All dimensions are to be confirmed by the contractor.

Project No: **13067** Sheet No: **02**
 Scale: **1:200 @ A1** Date: **09/04/21**
 Drawing Title: **Building 9B - North Elevation**
 Client: **DA-250-010**



LEGEND - MATERIALS / FINISHES

<ul style="list-style-type: none"> Exterior Wall Type 1: Cast-in-place concrete clear glass balustrade. Stainless steel mechanical supporting system. Exterior Wall Type 2: Prefabricated clear glass balustrade fixed to solid concrete base. Exterior Wall Type 3: Solid masonry. Prefabricated as detailed. Exterior Wall Type 4: Prefabricated metal cladding fixed to top of slab edge. (ALUMI - PCF2), (SALUMI - PCF3) Exterior Wall Type 5: Prefabricated metal cladding fixed to top of slab edge. (AL - PCF4) Roof Type 1: Reinforced concrete slab. Roof Type 2: Prefabricated metal decking. Roof Type 3: Prefabricated metal decking with insulation. Roof Type 4: Prefabricated metal decking with insulation and waterproofing. Roof Type 5: Prefabricated metal decking with insulation, waterproofing and solar shading. 	<ul style="list-style-type: none"> Roof Type 6: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 7: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 8: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 9: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 10: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 11: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 12: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 13: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 14: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 15: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 16: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 17: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 18: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 19: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 20: Prefabricated metal decking with insulation, waterproofing and solar shading. 	<ul style="list-style-type: none"> Roof Type 21: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 22: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 23: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 24: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 25: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 26: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 27: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 28: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 29: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 30: Prefabricated metal decking with insulation, waterproofing and solar shading. 	<ul style="list-style-type: none"> Roof Type 31: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 32: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 33: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 34: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 35: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 36: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 37: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 38: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 39: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 40: Prefabricated metal decking with insulation, waterproofing and solar shading. 	<ul style="list-style-type: none"> Roof Type 41: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 42: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 43: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 44: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 45: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 46: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 47: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 48: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 49: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 50: Prefabricated metal decking with insulation, waterproofing and solar shading. 	<ul style="list-style-type: none"> Roof Type 51: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 52: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 53: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 54: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 55: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 56: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 57: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 58: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 59: Prefabricated metal decking with insulation, waterproofing and solar shading. Roof Type 60: Prefabricated metal decking with insulation, waterproofing and solar shading.
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<p>ROTHESAY AVENUE DEVELOPMENTS Suite 2/4 Gifford Avenue, Macquarie Park, NSW 2113 T 02 9559 5540</p>	<p>turner</p>	<p>Project No: 13067 SHEPHERDS BAY - BUILDINGS 8 & 9 20-30 Macquarie Ave (14-18 Bowden St), Macquarie NSW 2114 Drawing No: DA-250-012 Building 9B West Elevation - Bowden St</p>	<p>Scale: 1:200 @ A1 Date: 20/11/24 Drawn by: [Name] Checked by: [Name] Approved by: [Name]</p>
--	----------------------	--	---



01 Section AA
1:200

ROTHESAY AVENUE DEVELOPMENTS
 Suite 20-4 Gibbick Avenue, Murrumbidgee Park, NSW 2117
 T 02 9088 5342

ROTHESAY AVENUE DEVELOPMENTS
 Suite 20-4 Gibbick Avenue, Murrumbidgee Park, NSW 2117
 T 02 9088 5342

ROTHESAY AVENUE DEVELOPMENTS
 Suite 20-4 Gibbick Avenue, Murrumbidgee Park, NSW 2117
 T 02 9088 5342

Project No: 13067
 SHEPHERD BAY - BUILDINGS 8 & 9
 20-26 Nancarrow Ave, 115-119 Sawler St, Meadowbank NSW 2114
 Drawing No: Section - AA

Client: MWSAS
 Date: 12/08/21
 Scale: 1:200 @ A1
 Project No: 13067
 Drawing No: Section - AA
 For Information: DA-350-001

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 turner.com.au



01 Section BB
1:200

NOTES
 1. THIS DRAWING IS THE PROPERTY OF TURNER & PARTNERS ARCHITECTS AND ENGINEERS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED IN THE TITLE BLOCK. ANY REUSE OR MODIFICATION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF TURNER & PARTNERS ARCHITECTS AND ENGINEERS IS STRICTLY PROHIBITED.
 2. THIS DRAWING IS A PRELIMINARY DESIGN AND SHOULD NOT BE USED FOR CONSTRUCTION OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF TURNER & PARTNERS ARCHITECTS AND ENGINEERS.
 3. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS AND PERMITS FOR THIS PROJECT.
 4. THIS DRAWING IS A PRELIMINARY DESIGN AND SHOULD NOT BE USED FOR CONSTRUCTION OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF TURNER & PARTNERS ARCHITECTS AND ENGINEERS.
 5. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS AND PERMITS FOR THIS PROJECT.

CLIENT
 ROTHESAY AVENUE DEVELOPMENTS
 Suite 20-4 Griffiths Avenue, Macquarie Park NSW 2113
 T 02 9490 5542

ARCHITECT
 TURNER & PARTNERS ARCHITECTS AND ENGINEERS
 20-26 Nancarrow Ave, Macquarie Park NSW 2113
 T 02 9490 5542

Project Title
 SHEPHERDS BAY - BUILDINGS 8 & 9
 20-26 Nancarrow Ave, 115-116 Bowden St, Macquarie Park NSW 2113

Drawn By	13067	Checked By	DC
Scale	1:200 @ A1	Project No.	13067
Date	04/04/20	Client Ref.	DA-350-002
For Information		Scale	M

turner
 20-26 Nancarrow Ave, Macquarie Park NSW 2113
 T 02 9490 5542



01 Bowden CC
1:200

NOTES
1. All dimensions are to the face of the work unless otherwise stated.
2. All dimensions are to the face of the work unless otherwise stated.
3. All dimensions are to the face of the work unless otherwise stated.
4. All dimensions are to the face of the work unless otherwise stated.
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8. All dimensions are to the face of the work unless otherwise stated.
9. All dimensions are to the face of the work unless otherwise stated.
10. All dimensions are to the face of the work unless otherwise stated.

ROTHESAY AVENUE DEVELOPMENTS
Suite 20-4 Cliffrock Avenue, Mosman Park NSW 2118
T 32 9589 5540

PROJECT NO: 13067
DATE: 20/06/2014
DRAWN BY: J. TURNER
CHECKED BY: J. TURNER
APPROVED BY: J. TURNER

Project Title: SHEPHERDS BAY - BUILDINGS 8 & 9
20-26 Shearwater Ave, 118-119 Bowden St, Mosman Park NSW 2114
Drawing Title: Section - CC

NO.	REVISION	DATE	BY	APPROVED
1	ISSUED FOR PERMIT	20/06/2014	J. TURNER	J. TURNER
2	ISSUED FOR CONSTRUCTION	20/06/2014	J. TURNER	J. TURNER

Project No: 13067
Drawing No: DA-350-003
Scale: M

turner
L 01 13067-003
S 01 13067-003
M 01 13067-003



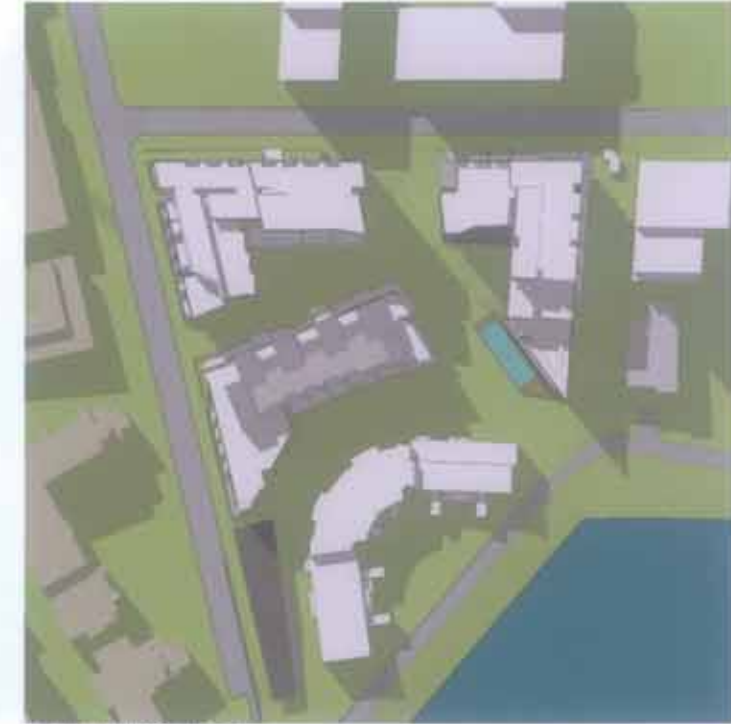
21 DECEMBER SHADOWS @ 8am



21 DECEMBER SHADOWS @ 10am



21 DECEMBER SHADOWS @ 11am



21 DECEMBER SHADOWS @ 12pm



21 DECEMBER SHADOWS @ 1pm



21 DECEMBER SHADOWS @ 2pm



21 DECEMBER SHADOWS @ 3pm

NOTES
 1. All shadows are cast from the 21st December at the specified time.
 2. The shadows are cast from the buildings and trees shown in the site plan.
 3. The shadows are cast onto the ground and other buildings.
 4. The shadows are cast onto the water bodies shown in the site plan.
 5. The shadows are cast onto the roads shown in the site plan.
 6. The shadows are cast onto the sky.

ROTHESAY AVENUE DEVELOPMENTS
 Suite 20-4 Griffith Avenue, Macquarie Park, NSW 2113
 T (02) 9559 2242

SHOWN WITHOUT NOTES
 1. The shadows are cast from the buildings and trees shown in the site plan.
 2. The shadows are cast onto the ground and other buildings.
 3. The shadows are cast onto the water bodies shown in the site plan.
 4. The shadows are cast onto the roads shown in the site plan.
 5. The shadows are cast onto the sky.

Project Title
SHEPHERDS BAY - BUILDINGS 8 & 9
 20-30 Ramsay Ave, 1/4-1/8 Swales St, Macquarie NSW 2114
 Drawing Title
Proposed Shadow Diagrams

Client	DA-700_001	Project No.	13067	Drawn by	MSD
Scale	1:100 @ A1	Sheet No.	13067	Check by	M
For Information	DA-700_001	Scale	M		

turner



LEVEL 07



LEVEL 08



LEVEL 09



LEVEL 10



LEVEL 11

TOTAL FOR RESIDENTIAL STAGES 8+9

STAGE	8	9
No. APARTMENTS:	152	269
SOLAR LIVING (Zhr):	96	181
IMPROVED AMENITY :	12	8
TOTAL SOLAR :	108 (70%)	190 (70%)
CROSS-VENTILATION :	114 (75%)	171 (63%)

*Min. Required Under SEPP85
 *Improved Amenity as per 21C of the section 75W
 Sole to Living and Battery (Min Zhr) : 70%
 Cross-Vent : 60%*

ROTHESAY AVENUE DEVELOPMENTS
 Suite 2/3-4 Cliffrock Avenue, Macquarie Park, NSW 2113
 T 02 9669 5541

CLIENT
 SHEPPARD PARTNERS
 20/38 Hercules Ave, 118-118 Stockton St, Macquarie Park NSW 2114

PROJECT TITLE
 SHEPPARD BAY - BUILDINGS 8 & 9
 20/38 Hercules Ave, 118-118 Stockton St, Macquarie Park NSW 2114

NO.	REV.	BY	DATE	DESCRIPTION
1	01	DA	13/06/24	ISSUED FOR PERMIT
2	02	DA	13/06/24	ISSUED FOR PERMIT
3	03	DA	13/06/24	ISSUED FOR PERMIT
4	04	DA	13/06/24	ISSUED FOR PERMIT
5	05	DA	13/06/24	ISSUED FOR PERMIT

Project No: **13067**
 Drawing No: **DA-840_002**
 Scale: **M**



LEVEL 01



LEVEL 02



LEVEL 03



LEVEL 04



LEVEL 05



LEVEL 06

NOTES: 1. All dimensions are in millimeters unless otherwise stated. 2. All dimensions are to the centerline of walls and columns unless otherwise stated. 3. All dimensions are to the finished floor level unless otherwise stated. 4. All dimensions are to the finished ceiling level unless otherwise stated. 5. All dimensions are to the finished floor level of the adjacent room unless otherwise stated. 6. All dimensions are to the finished floor level of the adjacent room unless otherwise stated. 7. All dimensions are to the finished floor level of the adjacent room unless otherwise stated. 8. All dimensions are to the finished floor level of the adjacent room unless otherwise stated. 9. All dimensions are to the finished floor level of the adjacent room unless otherwise stated. 10. All dimensions are to the finished floor level of the adjacent room unless otherwise stated.

ROTHESAY AVENUE DEVELOPMENTS
Suite 20-4 Cliffrock Avenue, Macquarie Park NSW 2113
T 02 9889 1542

Project Title: **SHEPHERDS BAY - BUILDINGS 8 & 9**
20-26 Newcombe Ave, 116-118 Swanton St, Macquarie Park NSW 2114

NO	REVISED	DATE	BY	REASON
1	ISSUED FOR PERMIT	13/06/21	DA	ISSUED FOR PERMIT
2	ISSUED FOR PERMIT	13/06/21	DA	ISSUED FOR PERMIT
3	ISSUED FOR PERMIT	13/06/21	DA	ISSUED FOR PERMIT
4	ISSUED FOR PERMIT	13/06/21	DA	ISSUED FOR PERMIT
5	ISSUED FOR PERMIT	13/06/21	DA	ISSUED FOR PERMIT

Scale: 1:100 @ A1
Drawing No: 13067
Project No: DA-840_001
Sheet No: 03/03
Scale: M





View at corner of Nancarrow Ave and Bowden St

NOTES
 1. This rendering is for informational purposes only and does not constitute an offer of any financial product or service. It is not intended to be used as a basis for any investment decision. The actual performance of any investment may differ from that shown in this rendering. For more information, please contact your financial advisor.
 2. The rendering is based on the current design and is subject to change without notice. The final design and construction may vary from that shown in this rendering.
 3. The rendering is not a guarantee of any performance or return. It is only a representation of the potential performance of the investment.

ROTHESAY AVENUE DEVELOPMENTS
 Suite 10-4 Gifford Avenue, Mosquitah Park NSW 2113
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DISCLAIMER NOTES
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 The rendering is based on the current design and is subject to change without notice. The final design and construction may vary from that shown in this rendering.
 The rendering is not a guarantee of any performance or return. It is only a representation of the potential performance of the investment.

Project No: **SHEPHERD'S BAY - BUILDINGS 8 & 9**
 25-26 Nancarrow Ave, 115-118 Bowden St, Mosquitah Park NSW 2114
 Drawing No: **VIEW: NANCARROW AVE AND BOWDEN ST**

Client	Wingas	Project No	13067
Drawn	Wingas	Scale	M
Check	Wingas	Project No	13067
Date	10/10/2023	Scale	M
For Information	DA-900_001	Project No	13067

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View North across Pool area and through-site link

NOTES
 1. This architectural rendering is a conceptual illustration of the proposed development and is not intended to represent any specific design or construction details. It is provided for informational purposes only and should not be used for any other purpose without the express written consent of the architect.
 2. The rendering is based on the information provided by the client and is subject to change without notice. The architect does not warrant the accuracy or completeness of the information provided.
 3. The rendering is not a contract and does not constitute an offer of any services. It is provided as a service to the client and is not intended to be used for any other purpose without the express written consent of the architect.

ROTHESAY AVENUE DEVELOPMENTS
 Suite 22-4 Gibraltar Avenue, Meadowbank NSW 2111
 T 02 9685 5145

13067
 DA-900 002

Project No: SHEPHERDS BAY - BUILDINGS 8 & 9
 25-35 Narramore Ave, 116-118 Swales St, Meadowbank NSW 2114
 Date: 10/04/23
 Scale: 1:100
 Drawing No: VIEW NORTH ACROSS POOL

Client	Architect	Project No	Scale
WTS	WTS	13067	1:100
Date	Project No	DA-900 002	M
10/04/23	13067		

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SHEPHERDS BAY, MEADOWBANK CIVIL WORKS



LOCALITY PLAN
DRAWING INDEX

DRG No.	DESCRIPTION	DRG No.	DESCRIPTION
C-0200	COVER SHEET	C-0260	STORMWATER LONGITUDINAL SECTIONS - SHEET 1
C-0201	NOTES SHEET	C-0261	STORMWATER LONGITUDINAL SECTIONS - SHEET 2
C-0202	KEY PLAN	C-0262	STORMWATER LONGITUDINAL SECTIONS - SHEET 3
C-0210	SITWORKS PLAN - SHEET 1	C-0263	STORMWATER LONGITUDINAL SECTIONS - SHEET 4
C-0211	SITWORKS PLAN - SHEET 2	C-0264	STORMWATER PIT SCHEDULE
C-0212	SITWORKS PLAN - SHEET 3	C-0265	CATCHMENT PLAN
C-0213	SITWORKS PLAN - SHEET 4	C-0270	SIGNAGE AND LINEMARKING PLAN - SHEET 1
C-0214	SITWORKS PLAN - SHEET 5	C-0271	SIGNAGE AND LINEMARKING PLAN - SHEET 2
C-0215	SITWORKS PLAN - SHEET 6	C-0272	SIGNAGE AND LINEMARKING PLAN - SHEET 3
C-0230	TYPICAL ROAD SECTIONS	C-0273	SIGNAGE AND LINEMARKING PLAN - SHEET 4
C-0240	CONSTITUTION ROAD LONGITUDINAL SECTIONS	C-0280	DETAILS SHEET 1
C-0245	CONSTITUTION ROAD CROSS SECTIONS - SHEET 1	C-0281	DETAILS SHEET 2
C-0246	CONSTITUTION ROAD CROSS SECTIONS - SHEET 2	C-0282	DETAILS SHEET 3
C-0247	CONSTITUTION ROAD CROSS SECTIONS - SHEET 3	C-0290	TURNING PATH PLAN - SHEET 1
C-0250	INTERSECTION PLAN CONSTITUTION ROAD/BOWDEN STREET	C-0291	TURNING PATH PLAN - SHEET 2

NO.	DATE	REVISION	
REVISIONS			
HOLDMARK			
12.4 SHEPHERDS BAY, MEADOWBANK PARK HIGH 2111			
Sydney Office			
22 & Woodhill St Sydney NSW 2000			
P: +61 2 9779 3300			
E: info@bgandegroup.com			
SHEPHERDS BAY MEADOWBANK			
PRELIMINARY ONLY NOT TO BE USED FOR CONSTRUCTION			
DATE	BY	CHECKED	APPROVED
TO	BY	DATE	DATE
DATE	DATE	DATE	DATE
COVER SHEET AND DRAWING INDEX			
PROJECT NO.	DRAWING NO.	SCALE	
S10076	C-0200	A	

GENERAL NOTES

1. TECHNICAL SPECIFICATIONS OR SPECIFIC INSTRUCTIONS ON DRAWINGS TAKE PRECEDENCE OVER THESE NOTES.
2. DO NOT DEPART FROM THE DESIGN UNLESS AUTHORIZED IN WRITING BY THE DESIGN ENGINEER.
3. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS' DRAWINGS AND SPECIFICATIONS AND WITH ANY OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ANY DISCREPANCY SHALL BE REFERRED TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION FROM THESE DRAWINGS, AND THEIR ASSOCIATED CONSULTANTS' DRAWINGS IS NOT TO COMMENCE UNTIL APPROVED BY THE RELEVANT AUTHORITIES.
4. REFER TO ALL NOTES ON THESE DRAWINGS AND PREVIOUSLY MENTIONED DOCUMENTATION BEFORE BEGINNING CIVIL WORKS.
5. ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE RELEVANT AND CURRENT SPECIFIED STANDARDS AND WITH THE BY-LAWS AND ORDINANCES OF THE RELEVANT APPROVAL AUTHORITIES EXCEPT WHERE VARIED BY THE PROJECT SPECIFICATION AND/OR DRAWINGS.
6. THE RELEVANT AUTHORITIES OCCUPATIONAL HEALTH AND SAFETY PRACTICES MUST BE COMPLIED WITH.
7. ALL DIMENSIONS AND LEVELS SHOWN ON THE DRAWINGS SHALL BE VERIFIED BY THE CONTRACTOR ON SITE. CIVIL DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS AND SETOUT. THE ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
8. UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE IN METRES (m) AND ALL LEVELS ARE IN METRES (m) TO AUSTRALIAN HEIGHT DATUM (AHD).
9. SPACES TO PAVEMENTS TO BE AS IMPLIED BY R.L.'S ON CIVIL GRADING PLAN DRAWINGS. GRADE EVENLY BETWEEN NOMINATED R.L.'S. AREAS EXHIBITING PONDING GREATER THAN 5mm DEPTH WILL NOT BE ACCEPTED UNLESS IN A DESIGNATED SAG POINT.
10. IF THERE IS DOUBT REGARDING THE CIVIL DESIGN, CONTACT THE ENGINEER FOR CLARIFICATION.
11. ALL ABBREVIATIONS ARE AS FOLLOWS:

ESA	EXISTING GROUND LEVEL
FFL	FINISHED FLOOR LEVEL
RL	REDUCED LEVEL
E	EASTING COORDINATE
N	NORTHING COORDINATE
AHD	AUSTRALIAN HEIGHT DATUM
UNO	UNLESS NOTED OTHERWISE
UPVC	UNPLASTICISED POLYVINYL CHLORIDE
RCF	REINFORCED CONCRETE PIPE
VCF	VITRIFIED CLAY PIPE
FRC	FIBRE REINFORCED COMPOSITE
FR	FINISHED SURFACE LEVEL
K&S	KERB AND GUTTER
KD	KERB DRAIN
NFV	NOMINAL FACE OF KERB
FR	FLUSH KERB
TOP	TOP OF KERB
BOX	BOX OF KERB
DD	DISH DRAIN
MR	MOUNTABLE KERB
MR	MOUNTABLE INTEGRAL KERB
I	INTEGRAL KERB
I	INVERT LEVEL
OL	OVERLAY LEVEL
GD	GRADED DRAIN
TW	TOP WATER LEVEL
SAEY	GALVANIZED
TE	THICKENED EDGE
FP	FLASHING POINT
DP	DOWN PIPE
R&W	RETAINING WALL
I	ISOLATION JOINT
DEJ	DOVEILED EXPANSION JOINT
SJ	SAWN JOINT
KJ	KEYED JOINT
W/F	TROWELED WEAKENED PLANE JOINT
EJ	EXPANSION JOINT
TW	TOP OF WALL LEVEL
BL	BOTTOM OF WALL LEVEL
NSA	MAP GRID OF AUSTRALIA

BULK EARTHWORKS NOTES

1. REFER TO GEOTECHNICAL INVESTIGATION REPORT FOR INFORMATION RELATING TO EXISTING GROUND CONDITIONS, GROUND WATER LEVELS, SITE TREATMENT AND SUPERVISION.
2. REFER TO 'EXISTING SERVICES AND FEATURES' NOTES BEFORE COMMENCING BULK EARTHWORKS.
3. TECHNICAL SPECIFICATIONS OR SPECIFIC INSTRUCTIONS CONTAINED IN THE GEOTECHNICAL REPORT TAKE PRECEDENCE OVER THESE NOTES.
4. ALL TOP SOIL, ORGANIC MATTER AND FILL MATERIAL SHALL BE REMOVED FROM ALL AREAS UNDER PROPOSED WORK LOCATIONS TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER. AREAS TO BE FULLY STRIPPED OF EXISTING FILL AND DARK BROWN BLACK UPPER ORGANIC ALLUVIUM.
5. CONTRACTOR SHALL PLACE SAFETY BARRIERS AROUND EXCAVATIONS IN ACCORDANCE WITH RELEVANT AUTHORITY SAFETY REGULATIONS.
6. BULK EARTHWORKS DRAWINGS ARE NOT TO BE USED FOR DETAIL EXCAVATION.

SURVEY NOTES

1. THE EXISTING SITE CONDITIONS SHOWN IN THE FOLLOWING DRAWINGS HAVE BEEN DERIVED FROM SURVEY INFORMATION SUPPLIED FROM H RAMSAY & COMPANY PTY LIMITED.
2. THE FOLLOWING SURVEY INFORMATION HAS BEEN TAKEN DIRECTLY FROM ORIGINAL SURVEY DOCUMENTS.

ORIGIN OF LEVELS	SSM 1044
DATUM	RL 255 (AHD)
3. THE INFORMATION IS SHOWN TO PROVIDE A BASIS FOR DESIGN. B&E PTY LTD DOES NOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE SURVEY BASED ON ITS SUITABILITY AS A BASIS FOR CONSTRUCTION DRAWINGS.
4. SHOULD DISCREPANCIES BE ENCOUNTERED DURING CONSTRUCTION BETWEEN THE SURVEY DATA AND ACTUAL FIELD DATA, CONTACT B&E PTY LTD.
5. THE CONTRACTOR SHALL ARRANGE ALL SURVEY SETOUT TO BE CARRIED OUT BY A REGISTERED SURVEYOR.
6. BENCH MARK, SURVEY PEGS, LEVEL PEGS OR SUPPLEMENTARY REFERENCE MARKS SHALL NOT BE ADJUSTED OR MOVED WITHOUT WRITTEN APPROVAL FROM THE SUPERINTENDENT. THE CONTRACTOR SHALL TRANSFER ANY PEGS AFFECTED BY THE PROPOSED WORKS TO SURE POSITIONS (CLEAR OF OPERATIONS) AND SHALL NOTE THE EXTENT OF THE MOVEMENT IN DISTANCE AND LEVEL.

EXISTING SERVICES AND FEATURES NOTES

1. THE CONTRACTOR MUST CONFIRM THE EXACT LOCATION AND EXTENT OF EXISTING SERVICES PRIOR TO CONSTRUCTION AND NOTIFY ANY CONFLICT WITH THE DRAWINGS IMMEDIATELY TO THE ENGINEER/SUPERINTENDENT.
2. EXISTING SERVICES UNLESS SHOWN ON SURVEY PLAN HAVE BEEN PLOTTED FROM SERVICES SEARCH PLANS AND AS SUCH THEIR ACCURACY CANNOT BE GUARANTEED.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLETE A 'DIAL BEFORE YOU DIG' SEARCH AND TO ESTABLISH THE LOCATION AND LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER/SUPERINTENDENT. CLEARANCES SHALL BE OBTAINED FROM THE RELEVANT SERVICE AUTHORITY. SEARCH RESULTS ARE TO BE KEPT ON SITE AT ALL TIMES.
4. THE CONTRACTOR HAS A DUTY OF CARE WHEN EXCAVATING NEAR SERVICES. DO NOT ASSUME DEPTHS OR ALIGNMENTS OF CABLES OR PLANT AS THESE MAY VARY SIGNIFICANTLY. THE CONTRACTOR MUST ACCEPT ALL RESPONSIBILITY TO DAMAGES TO EXISTING SERVICES AS SERVICE AUTHORITIES MAY SEEK COMPENSATION FOR DAMAGES CAUSED TO THEIR PROPERTY AND SUBSEQUENT LOSSES CAUSED.
5. THE CONTRACTOR SHALL ALLOW FOR THE CAPPING OFF, EXCAVATION AND REMOVAL OR RELOCATION IF REQUIRED TO RELEVANT AUTHORITIES GUIDELINES OF ALL EXISTING SERVICES IN AREAS AFFECTED BY WORKS WITHIN THE CONTRACT AREA OR AS SHOWN ON THE DRAWINGS UNLESS DIRECTED OTHERWISE BY THE ENGINEER/SUPERINTENDENT.
6. INTERRUPTION TO SUPPLY OF EXISTING SERVICES SHALL BE DONE SO AS NOT TO CAUSE ANY INCONVENIENCE TO SURROUNDING ADJACENTS. CONTRACTOR TO OBTAIN APPROVAL FROM THE RELEVANT AUTHORITIES FOR THE TYPE OF INTERRUPTION.
7. THE CONTRACTOR SHALL CONSTRUCT TEMPORARY SERVICES TO MAINTAIN SUPPLY TO EXISTING BUILDINGS REMAINING IN OPERATION DURING WORKS TO THE SATISFACTION AND APPROVAL OF ANY RELEVANT AUTHORITIES. ONCE DIVERSION IS COMPLETE AND COMMISSIONED, THE CONTRACTOR SHALL REMOVE ALL SUCH TEMPORARY SERVICES AND MAKE GOOD TO THE SATISFACTION OF THE RELEVANT AUTHORITY/SUPERINTENDENT.
8. EXISTING SERVICES, BUILDINGS, EXTERNAL STRUCTURES AND TREES SHOWN ON THESE DRAWINGS ARE EXISTING FEATURES PRIOR TO ANY DEMOLITION WORKS.
9. ALL BRANCHED GAS AND WATER SERVICES UNDER DRIVEWAYS, BREAK PAVING AND CONSTRUCTION TRAFFIC MANOEUVREING AREAS SHALL BE PROTECTED TO RELEVANT AUTHORITIES GUIDELINES.
10. ALL EXISTING SERVICE UTILITIES COVERS AND GRATES ARE TO BE ADJUSTED (TO RELEVANT AUTHORITY GUIDELINES) TO GIVE NEW FINISHED SURFACE LEVELS WHERE APPLICABLE.
11. IF EXISTING SERVICE UTILITY COVERS AND GRATES OR SURROUNDING SURFACE LEVELS ARE TO BE LOWERED, THE CONTRACTOR IS TO MAKE CERTAIN THAT MINIMUM COVERS (TO RELEVANT SERVICE AUTHORITY GUIDELINES) TO SERVICES ARE MAINTAINED. IF MINIMUM COVERS AREN'T MAINTAINED THE CONTRACTOR IS TO LOWER OR PROTECT SERVICES TO THE SATISFACTION OF THE RELEVANT SERVICE AUTHORITY/SUPERINTENDENT.

SUBSOIL DRAINAGE NOTES

1. PROVIDE SUBSOIL DRAINS TO INTERCEPT GROUNDWATER SEEPAGE AND PREVENT WATER BUILD-UP BEHIND WALLS AND UNDER FLOORS AND PAVEMENTS. CONNECT SUBSOIL TO SURFACE DRAINS OR TO THE STORMWATER DRAINAGE SYSTEM AS APPLICABLE.
2. ALL SUBSOIL PIPES SHALL BE 100mm SLOTTED CORRUGATED UPVC IN A FILTER SOCK 1M2.
3. FILTER SOCKS ARE TO BE POLYESTER PERMEABLE SOCKS CAPABLE OF RETAINING PARTICLES GREATER THAN 0.25mm IN SIZE, SECURELY FIT OR SOW THE SOCK AT EACH JOINT.
4. WHERE SUBSOIL DRAINS PASS UNDER EXTERNAL SLABS AND VEHICULAR PAVEMENTS, UNSLOTTED UPVC SEWER GRADE PIPE IS TO BE USED.
5. SUBSOIL DRAINAGE TRENCHES ARE TO BE WRAPPED WITH PERMEABLE TEXTILE FABRIC 300M A27 OR EQUIVALENT.
6. TO REDUCE GROUND WATER TRACKING WITHIN STORMWATER TRENCHES INSTALL A 2m LENGTH OF SUBSOIL PIPE IN PIPE TRENCHES DRAINING IN DIRECTION OF FALL OF PIPE AND CONNECT TO DOWNSTREAM STORMWATER DRAINAGE PIT.
7. SUBSOIL MINIMUM CLEARANCE DEPTHS, MEASURED TO THE CROWN OF THE PIPE WHERE THE PIPE PASSES BELOW THE FOLLOWING ELEMENTS:
 - 100mm BELOW FORMATION LEVEL OF THE PAVEMENT, KERB OR CHANNEL.
 - AT THE AVERAGE GRADE OF THE BOTTOM OF FOOTINGS.
8. AT JUNCTIONS OF SUBSOIL PIPES PROVIDE TEES, COUPLINGS OR ADAPTORS IN ACCORDANCE WITH AS 2885.1.
9. SUBSOIL DRAINAGE TRENCHES SHALL BE A MINIMUM 300mm WIDE.
10. GRADE THE TRENCH FLOOR EVENLY TO THE GRADELINE OF THE PIPELINE. IF THE TRENCH FLOOR IS ROCK, CORRECT ANY IRREGULARITIES WITH COMPACTED BEDDING MATERIAL. BED PIPING ON A CONTINUOUS UNDERLAY OF BEDDING MATERIAL, AT LEAST 75mm THICK AFTER COMPACTION. LAY THE PIPE WITH ONE LINE OF PERFORATIONS AT THE BOTTOM.
11. PLACE THE MATERIAL IN THE PIPE SURROUNDING IN LAYERS SMALLER THAN OR EQUAL TO 100mm LOOSE THICKNESS, AND COMPACT WITHOUT DAMAGING OR DISPLACING PIPING.

SUBGRADE COMPACTION NOTES

1. THE EXPOSED SUBGRADE EX. THE LOWER COURSE OF PAVEMENT BELOW THE SUB-BASE) AFTER STRIPPING AND/OR EXCAVATION SHALL BE PROOF ROLLED USING NOT FEWER THAN 5 PASSES WITH A 10 TONNE DEAD WEIGHT STEEL SMOOTH DRUM ROLLER UNDER THE SUPERVISION OF AN EXPERIENCED GEOTECHNICAL ENGINEER. ANY AREAS EXHIBITING EXCESSIVE DEFLECTION/MOVEMENT UNDER ROLLER SHALL BE REMOVED TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER TO A MINIMUM DEPTH OF 500mm AND THEN BACKFILLED WITH APPROVED ENGINEERED FILL TO MEET THE DESIGN SUBGRADE LEVEL.
2. ENGINEERED FILL TO BE PLACED IN LAYERS NOT EXCEEDING 250mm LOOSE THICKNESS AND COMPACTED TO 98% OF STANDARD MAXIMUM DRY DENSITY (SMDD) AND TO WITHIN 2% OF STANDARD OPTIMUM MOISTURE CONTENT (SOMC) IN ACCORDANCE WITH AS 1289 5.11. APPROVED BACKFILL MATERIAL MAY BE CRUSHED ROCK OR SANDY LOAM WITH A PLASTICITY INDEX LESS THAN 5%.
3. TESTING OF THE SUBGRADE SHALL BE CARRIED OUT BY AN APPROVED N.S.W. REGISTERED LABORATORY.
4. ALL FILL MATERIAL SHALL BE FROM A SOURCE APPROVED BY THE SUPERINTENDENT AND SHALL COMPLY WITH THE FOLLOWING:
 - FREE FROM DRUJANE AND PUSHAUABLE MATTER
 - MAXIMUM PARTICLE SIZE = 75mm
 - MAXIMUM PLASTICITY INDEX = 5%

SUB-BASE COURSE COMPACTION NOTES

1. PAVEMENT 'SUB-BASE' (IE THE INTERMEDIATE OR LOWER COURSE OF THE PAVEMENT BELOW THE BASE) SHALL BE CONSTRUCTED FROM MATERIAL, AS SPECIFIED ON DRAWINGS AND COMPACTED TO 98% OF THE STANDARD MAXIMUM DRY DENSITY (SMDD) AND WITHIN 2% OF STANDARD OPTIMUM MOISTURE CONTENT (SOMC) IN ACCORDANCE WITH AS 1289 5.11.
2. ALL SUB-BASE MATERIAL SHALL BE HARD, DURABLE AND THE MATERIALS SHALL BE FREE OF CLAY LUMPS, ORGANIC MATTER AND OBJECTIONABLE QUANTITIES OF DELTERIOUS SUBSTANCES.
3. ALL MATERIAL REQUIREMENTS APPLY BOTH PRIOR TO AND AFTER PLACEMENT OF THE PAVEMENT.

BASE COURSE COMPACTION NOTES

1. PAVEMENT 'BASE' (IE THE HIGHEST COURSE OF THE PAVEMENT BELOW THE SURFACE) SHALL BE CONSTRUCTED FROM MATERIAL, AS SPECIFIED ON DRAWINGS AND COMPACTED TO 98% OF THE STANDARD MAXIMUM DRY DENSITY (SMDD) AND WITHIN 2% OF STANDARD OPTIMUM MOISTURE CONTENT (SOMC) IN ACCORDANCE WITH AS 1289 5.11 EXCEPT CONCRETE PAVEMENT, WHERE THE CONCRETE IS THE BASE.
2. ALL BASE MATERIAL SHALL BE HARD, DURABLE AND THE MATERIALS SHALL BE FREE OF CLAY LUMPS, ORGANIC MATTER AND OBJECTIONABLE QUANTITIES OF DELTERIOUS SUBSTANCES.
3. ALL MATERIAL REQUIREMENTS APPLY BOTH PRIOR TO AND AFTER PLACEMENT OF THE PAVEMENT.

GENERAL PAVEMENT NOTES

1. TECHNICAL SPECIFICATIONS CONTAINED WITHIN THE GEOTECHNICAL REPORT TAKE PRECEDENCE OVER THESE NOTES.
2. PRIOR TO DELIVERY OF ANY MATERIAL TO THE SITE, THE SOURCE OF ALL MATERIALS AND ANY RELEVANT CERTIFICATES STATING THAT THE MATERIAL SATISFIES THE SPECIFIED REQUIREMENTS SHALL BE PROVIDED TO THE SUPERINTENDENT FOR APPROVAL.
3. TESTING OF PAVEMENT MATERIALS WILL NORMALLY BE PERFORMED ON SAMPLES TAKEN AT THE SOURCE SITE PRIOR TO DELIVERY TO THE SITE AND IN THEIR FINAL CONDITIONS AFTER PLACEMENT AND COMPACTION. HOWEVER, THE PROPERTIES SPECIFIED AND FINAL ACCEPTANCE ARE APPLICABLE TO THE MATERIALS IN THEIR FINAL CONDITION IN THE PAVEMENT.
4. FINAL ACCEPTANCE WILL BE CONDITIONAL ON NO SIGNIFICANT CHANGE IN PROPERTIES DUE TO SEPARATION OR CONTAMINATION DURING SUBSEQUENT PAVEMENT WORKS.

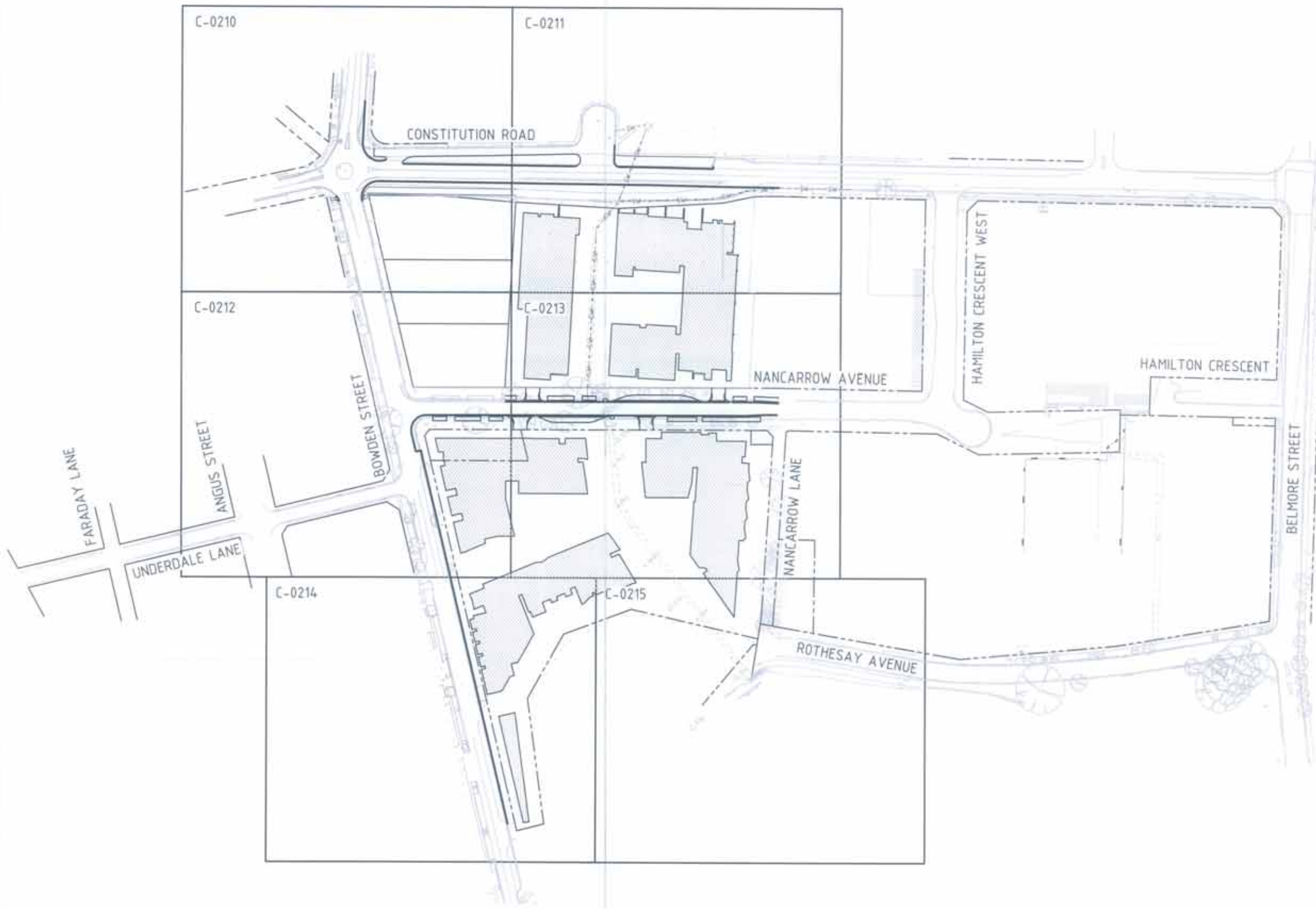
STORMWATER DRAINAGE NOTES

1. THE STORMWATER DESIGN SHOWN ON THESE DRAWINGS HAS BEEN CARRIED OUT IN ACCORDANCE WITH CITY OF RYDE COUNCIL'S REQUIREMENTS, AUSTRALIAN RAINFALL AND RUNOFF (ARRB) GUIDELINES AND RELEVANT AUTHORITIES' GUIDELINES.
2. FINISHED SURFACE LEVELS SHOWN ON CIVIL GRADING PLAN DRAWINGS TAKE PRECEDENCE OVER DRAINAGE CONNECTION SURFACE LEVELS.
3. ALL STORMWATER WORK IS TO COMPLY WITH AS 3500 PART 3.
4. PROTECTION OF PIPES EXPOSED TO LOADS EXCEEDING THE 4W WHEEL LOAD OF 80kN SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
5. NO CONSTRUCTION LOADS SHALL BE APPLIED TO UPVC PIPES.
6. EXISTING STORMWATER PIPE LOCATIONS AND INVERT LEVELS TO BE CONFIRMED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
7. FOR ALL STORMWATER DRAINAGE PITS REFER TO TYPICAL PIT CHAMBER DETAILS ON THESE DRAWINGS. IF PIT LID SIZE IS SMALLER THAN THE PIT CHAMBER SIZE THEN THE PIT LID IS TO BE CONSTRUCTED ON THE CORNER OF THE PIT CHAMBER WITH THE STEP BORDS DIRECTLY BELOW. ALTERNATIVELY THE PIT LID TO BE USED IS TO BE THE SAME SIZE AS THE PIT CHAMBER.
8. GALVANIZED STEEL BORDS SHALL BE PROVIDED AT 300 CTRS FOR PITS HAVING A DEPTH EXCEEDING 1200mm.
9. PIPES 300 DIA. AND LARGER TO BE REINFORCED CONCRETE PIPES (RCP) CLASS 'L' APPROVED SPOUT AND SOCKET WITH RUBBER RING JOINTS U.N.D.
10. PIPES UP TO 300 DIA. SHALL BE SEWER GRADE UPVC WITH SOLVENT WELDED JOINTS.
11. EQUIVALENT STRENGTH VCP OR FRC PIPES MAY BE USED IF RELEVANT APPROVAL AUTHORITY AND SUPERINTENDENT PERMITS.
12. BEDDING TYPE SHALL BE TYPE H22 FOR RCP CONFORMING TO AS 4508, WHERE NECESSARY THE OVERLAY ZONE SHALL BE REDUCED TO ACCOMMODATE PAVEMENT REQUIREMENTS.
13. PIPES SHALL BE LAD ON A 75mm THICK SAND BED. IN ALL CASES BACKFILL TRENCH WITH SAND TO 200mm ABOVE THE PIPE. WHERE PIPE IS UNDER PAVEMENTS BACKFILL REMAINDER OF TRENCH TO UNDERPINE OF PAVEMENT WITH SAND OR APPROVED GRANULAR MATERIAL COMPACTED IN 150mm LAYERS TO 98% STANDARD MAXIMUM DRY DENSITY IN ACCORDANCE WITH AS 1289 5.11 OR A DENSITY INDEX OF NOT LESS THAN 95.
14. WHERE TRENCHES ARE IN ROCK THE PIPE SHALL BE BEDDED ON A MINIMUM OF 100mm CONCRETE BED OR 75mm BED OF 10mm BLUE METALL UNDER THE BARREL OF THE PIPE.
15. ENLARGERS, CONNECTORS AND JUNCTIONS TO BE PREPARED FITTINGS WHERE PIPES ARE LESS THAN 300 DIA.
16. CARE IS TO BE TAKEN WITH LEVELS OF STORMWATER LINES, GRADES SHOWN ARE NOT TO BE REDUCED WITHOUT PRIOR WRITTEN APPROVAL FROM THE ENGINEER.
17. GRATES AND COVERS SHALL CONFORM TO AS 3999 AND AS 2424 AT ALL TIMES DURING CONSTRUCTION OF THE STORMWATER PITS.
18. ALL EXISTING STORMWATER DRAINAGE LINES AND PITS THAT ARE TO REMAIN ARE TO BE INSPECTED AND CLEANED DURING THIS PROCESS ANY PART OF THE STORMWATER DRAINAGE SYSTEM THAT WARRANTS REPAIR SHALL BE REPORTED TO THE SUPERINTENDENT AND ENGINEER FOR FURTHER DIRECTIONS.

KERBING NOTES

- INCLUDES ALL KERBS, GUTTERS, DISH DRAINS, CROSSINGS AND EDGES.
1. ALL KERBS, GUTTERS, DISH DRAINS AND CROSSINGS TO BE CONSTRUCTED ON MINIMUM 15mm GRANULAR BASE COURSE MATERIAL COMPACTED TO A MINIMUM 95% MODIFIED MAXIMUM DRY DENSITY IN ACCORDANCE WITH AS 1289 5.11.
 2. EXPANSION JOINTS (EJ) TO BE FORMED FROM 100M COMPRESSIBLE COBB PELLE BOARD FOR THE FULL DEPTH OF THE SECTION AND (CJ) TO PREVENT EXPANSION JOINTS TO BE LOCATED AT DRAINAGE PITS, ON TANGENT POINTS OF CURVES AND ELSEWHERE AT 10m CENTRES EXCEPT FOR INTERNAL KERBS WHERE THE EXPANSION JOINTS ARE TO MATCH THE JOINT LOCATIONS IN SLABS.
 3. WEAKENED PLANE JOINTS (W/PJ) ARE TO BE LOCATED AT A MAX 15m WIDTH OF THE PAVEMENT. WEAKENED PLANE JOINTS (W/PJ) ARE TO BE A MINIMUM 30mm WIDE WITH A JOINT DEPTH TO BE A MINIMUM OF 1/3 THE TOTAL DEPTH OF THE SECTION.
 4. ALL KERBING OF DISH DRAINS TO BE STEEL FLOAT FINISHED.
 5. WHEN CONSTRUCTING NEW KERB TO EXISTING AND IN THE REPLACEMENT OF KERBS, EXISTING ROAD PAVEMENT IS TO BE SAWCUT 900mm FROM (P) OR OUTER, UPON COMPLETION OF NEW KERBS, NEW BASE COURSE AND SURFACE IS TO BE LAD 900mm WIDE TO MATCH EXISTING MATERIALS AND THICKNESS.
 6. EXISTING ALLOTMENT DRAINAGE PIPES ARE TO BE BUILT INTO THE NEW KERB WITH A 75 x 75 GALVANIZED DRS.
 7. EXISTING KERBS ARE TO BE COMPLETELY REMOVED WHERE NEW KERBS ARE SHOWN.

<p>REVISIONS</p>	
<p>HOLDMARK</p> <p>1/10-4 SPRING AVENUE, MIDDLEBROOK NSW 2156</p>	
<p>Sydney Office</p> <p>1/1-6 Windsor St Sydney NSW 2000 P: +61 2 9779 3300 E: info@bgandef.com.au www.bgandef.com.au</p>	
<p>SHEPHERDS BAY MEADOWBANK</p>	
<p>PRELIMINARY ONLY NOT TO BE USED FOR CONSTRUCTION</p>	
<p>DATE</p>	<p>BY</p>
<p>TO</p>	<p>BY</p>
<p>DATE</p>	<p>BY</p>
<p>NOTES SHEET</p>	
<p>PROJECT NO.</p>	<p>DRAWING NO.</p>
<p>S10076</p>	<p>C-0201</p>
<p>REV</p>	<p>A</p>



DATE		DESCRIPTION		BY
REVISIONS				
<p>HOLDMARK 2024 OFFICE WORK, PENDING FINAL APPROVAL</p>				
<p>Sydney Office 12 B Windsor St Sydney NSW 2000 P: +61 2 9736 3000 E: info@bgandf.com www.bgandf.com</p>				
<p>SHEPHERDS BAY HEADWATER</p>				
<p>PRELIMINARY ONLY NOT TO BE USED FOR CONSTRUCTION</p>				
DATE	BY	DATE	BY	
<p>KEY PLAN</p>				
PROJECT NO.				
S10076	C-0202			A



LEGEND

- LIMIT OF WORKS
- EXISTING ROAD BOUNDARY
- PROPOSED ROAD BOUNDARY
- PROPOSED KERB AND GUTTER
- PROPOSED MOUNTABLE KERB
- PROPOSED KERB ONLY
- PROPOSED DGP DRAIN
- PROPOSED STORMWATER PIT AND LINE
- EXISTING STORMWATER LINE
- EXISTING STORMWATER TO BE REMOVED
- OVERLAND FLOW PATH
- SUBSOL DRAIN WITH FLUSHING POINT
- NEW ROAD PAVEMENT CONSTRUCTION TO BESTTECH ENGINEERS SPECIFICATION
- CONCRETE ISLAND HWLL
- FOOTPATH TO LANDSCAPE ARCHITECTS SPECIFICATION
- FILL AND RESHEET (NON-ACT)
- BI-RETENTION AREA
- NEW ROAD PAVEMENT CONSTRUCTION TO BESTTECH ENGINEERS SPECIFICATION WITH SURFACE TREAT TO LANDSCAPE ARCHITECTS SPECIFICATION

NOTE:

1. FOR SURFACE LEVELS AND FINISHES REFER TO LANDSCAPE ARCHITECTS PLANS.
2. THE ORIGINAL OF THIS DRAWING WAS PRODUCED USING COLOUR SEPARATION FOR GREATER CLARITY. WORKING WITH BLACK AND WHITE COPY MAY CAUSE ERRORS. WOOD ELEMENTS AS PER CARONS WOOD MASTER PLAN (DRAWING 10023-5805).

WARNING
WARNING OF UNDERGROUND SERVICES
 The location of underground utilities are approximate only and their exact location should be checked on site. No guarantee is given for all existing utilities and services. We do not locate all underground utilities and services before commencement of work. Refer to Statutory Regulation 3.2.1.

DIAL 1100 BEFORE YOU DIG

NO.	DATE	REVISION

HOLDMARK
 210-4 DUNDY AVENUE, INDAGORE PARK NSW 2128

Sydney Office
 12 B Whitehead Sydney NSW 2000
 P: +61 2 9770 1300
 E: info@bgandae.com
 www.bgandae.com



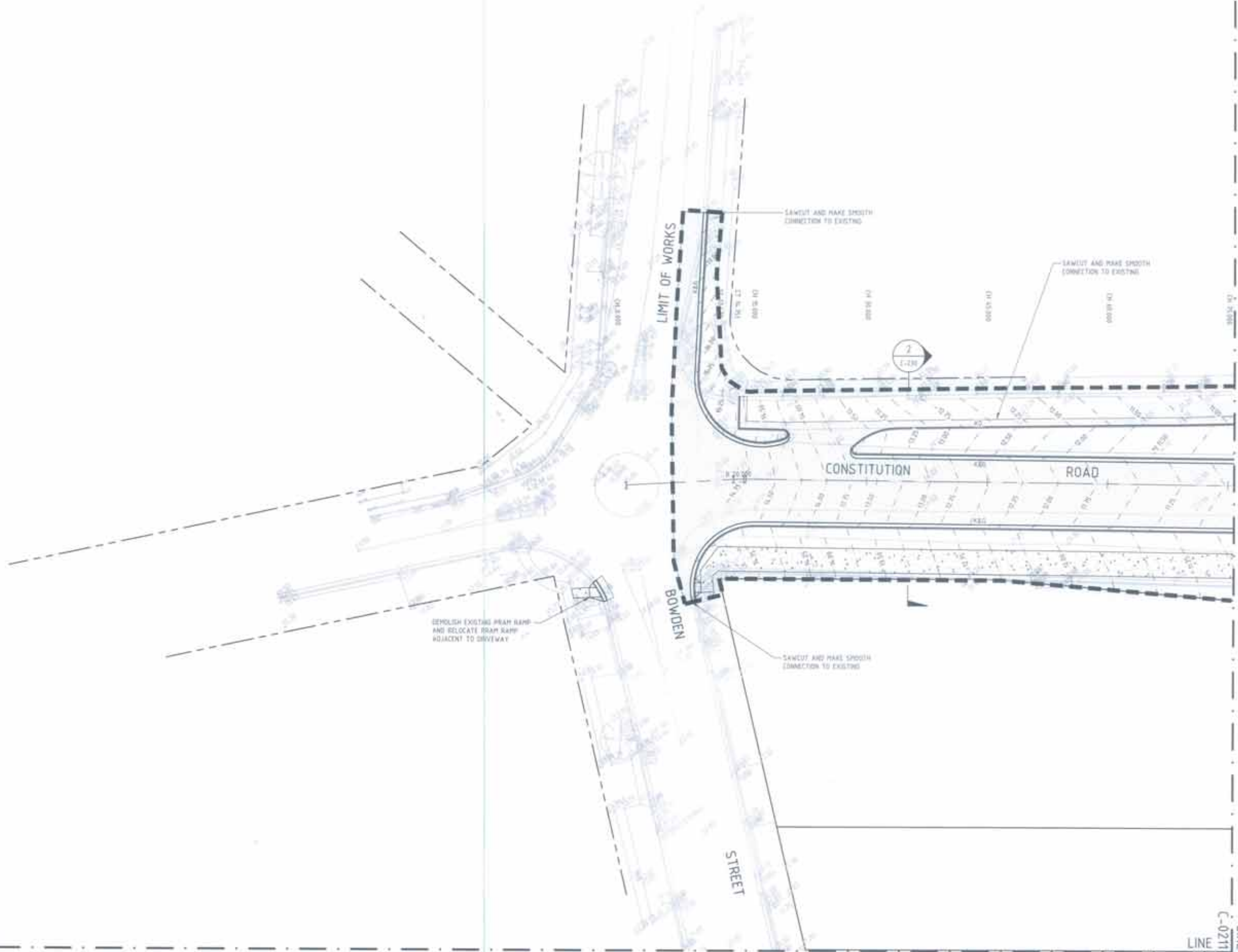
SHEPHERDS BAY MEADOWBANK

PRELIMINARY ONLY
 NOT TO BE USED FOR CONSTRUCTION

DATE	BY	CHKD	DATE

SITWORKS PLAN SHEET 1

Project No.	Sheet No.	Rev.
S10076	C-0210	A



MATCH JOINS

LINE C-0212
 LINE C-0211

MATCH
JOINS



LINE
MATCH
JOINS
C-0210

LEGEND

	LIMIT OF WORKS
	EXISTING ROAD BOUNDARY
	PROPOSED ROAD BOUNDARY
	PROPOSED KERB AND GUTTER
	PROPOSED MOUNTABLE KERB
	PROPOSED KERB ONLY
	PROPOSED OGH DRAIN
	PROPOSED STORMWATER PIT AND LINE
	EXISTING STORMWATER LINE
	EXISTING STORMWATER TO BE REMOVED
	OVERLAND FLOW PATH
	SUBSOIL DRAIN WITH FLUSHING POINT
	NEW ROAD PAVEMENT CONSTRUCTION TO SCOTCH ENGINEERS SPECIFICATION
	CONCRETE ISLAND INFILL
	FOOTPATH TO LANDSCAPE ARCHITECTS SPECIFICATION
	TILL AND RESHET 20mm 4/5/6
	80-RETENTION AREA
	NEW ROAD PAVEMENT CONSTRUCTION TO GATTECH ENGINEERS SPECIFICATION WITH SURFACE FINISH TO LANDSCAPE ARCHITECTS SPECIFICATION

NOTE:

- FOR SURFACE LEVELS AND FINISHES REFER TO LANDSCAPE ARCHITECTS PLANS
- THE ORIGINAL OF THIS DRAWING WAS PRODUCED USING COLOUR SEPARATION FOR GREATER CLARITY, WORKING WITH BLACK AND WHITE COPY MAY CAUSE ISSUES
- WOOD ELEMENTS AS PER LANSING WOOD MASTER PLAN DRAWING 200503-54001

WARNING
 BEWARE OF UNDERGROUND SERVICES
 The location of underground cables and services are approximate only and their exact location should be checked before any excavation work. The guarantee is given that all existing cables and services are shown. Locate all underground cables and services before excavation of any work under the provisions of Regulation 1.2.1.

DIAL 1100 BEFORE YOU DIG



NO.	DATE	REVISIONS

HOLDMARK
 22-4 GORDON AVENUE, HEDGEHURST PARK NSW 2127

Sydney Office
 12 B Windsor St Sydney NSW 2000
 P: +61 2 9770 3300
 F: +61 2 9770 3300
 www.bge.com.au

BG & E

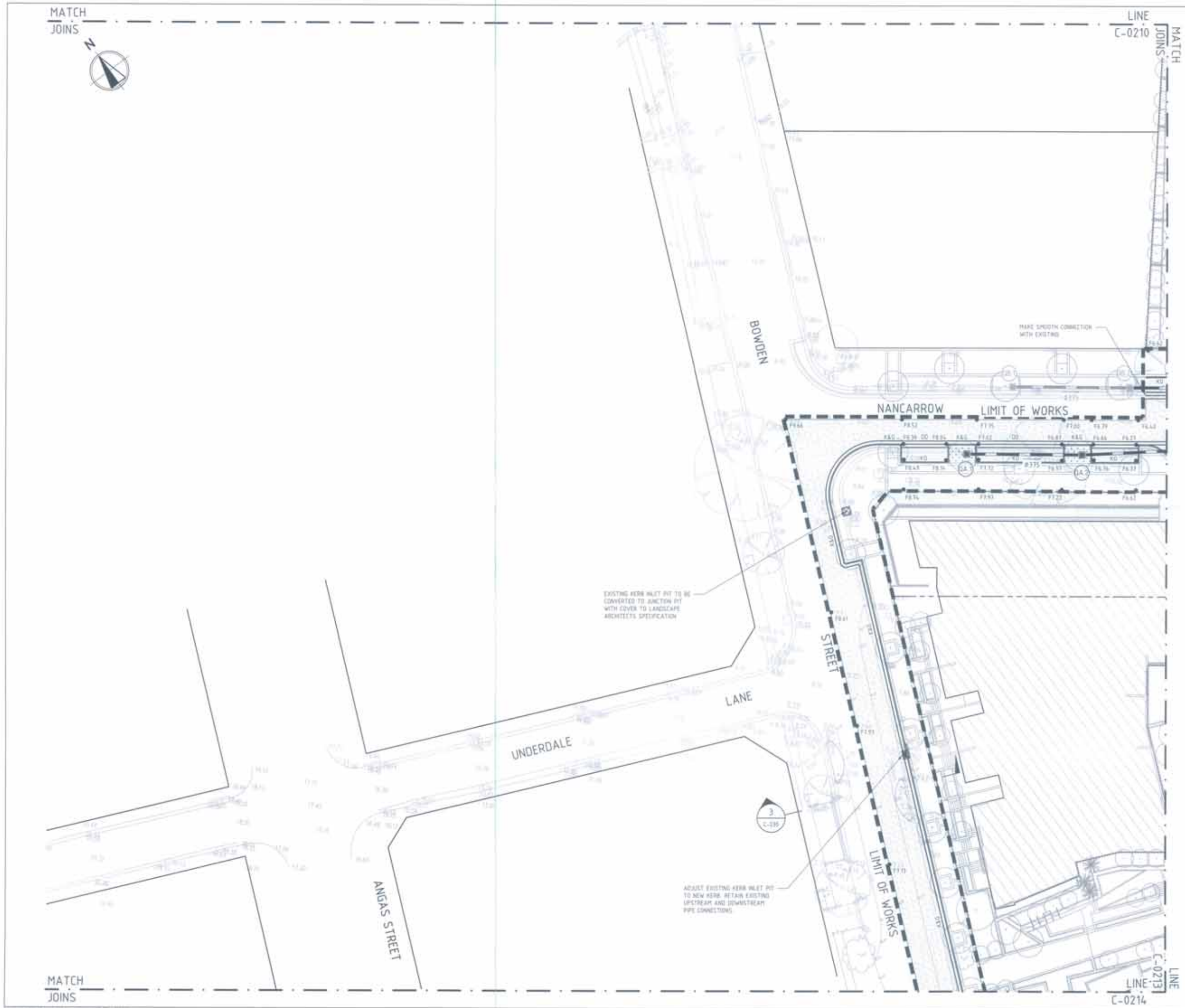
**SHEPHERDS BAY
 MEADOWBANK**

PRELIMINARY ONLY
 NOT TO BE USED FOR CONSTRUCTION

DATE	BY	CHECKED	APPROVED

PROJECT NO.	S10076	SHEET NO.	C-0211	OF	A
SITWORKS PLAN SHEET 2					

LINE
C-0213



LEGEND

- LIMIT OF WORKS
- EXISTING ROAD BOUNDARY
- PROPOSED ROAD BOUNDARY
- PROPOSED KERB AND GUTTER
- PROPOSED MOUNTABLE KERB
- PROPOSED KERB ONLY
- PROPOSED DSH DRAIN
- PROPOSED STORMWATER PIT AND LINE
- EXISTING STORMWATER LINE
- EXISTING STORMWATER TO BE REMOVED
- OVERLAND FLOW PATH
- SUBSOIL DRAIN WITH FLUSHING POINT
- NEW ROAD PAVEMENT CONSTRUCTION TO DEITCH ENGINEERS SPECIFICATION
- CONCRETE ISLAND MULL
- FOOTPATH TO LANDSCAPE ARCHITECTS SPECIFICATION
- PILL AND RECKET 1000 x 100
- BIO-RETENTION AREA

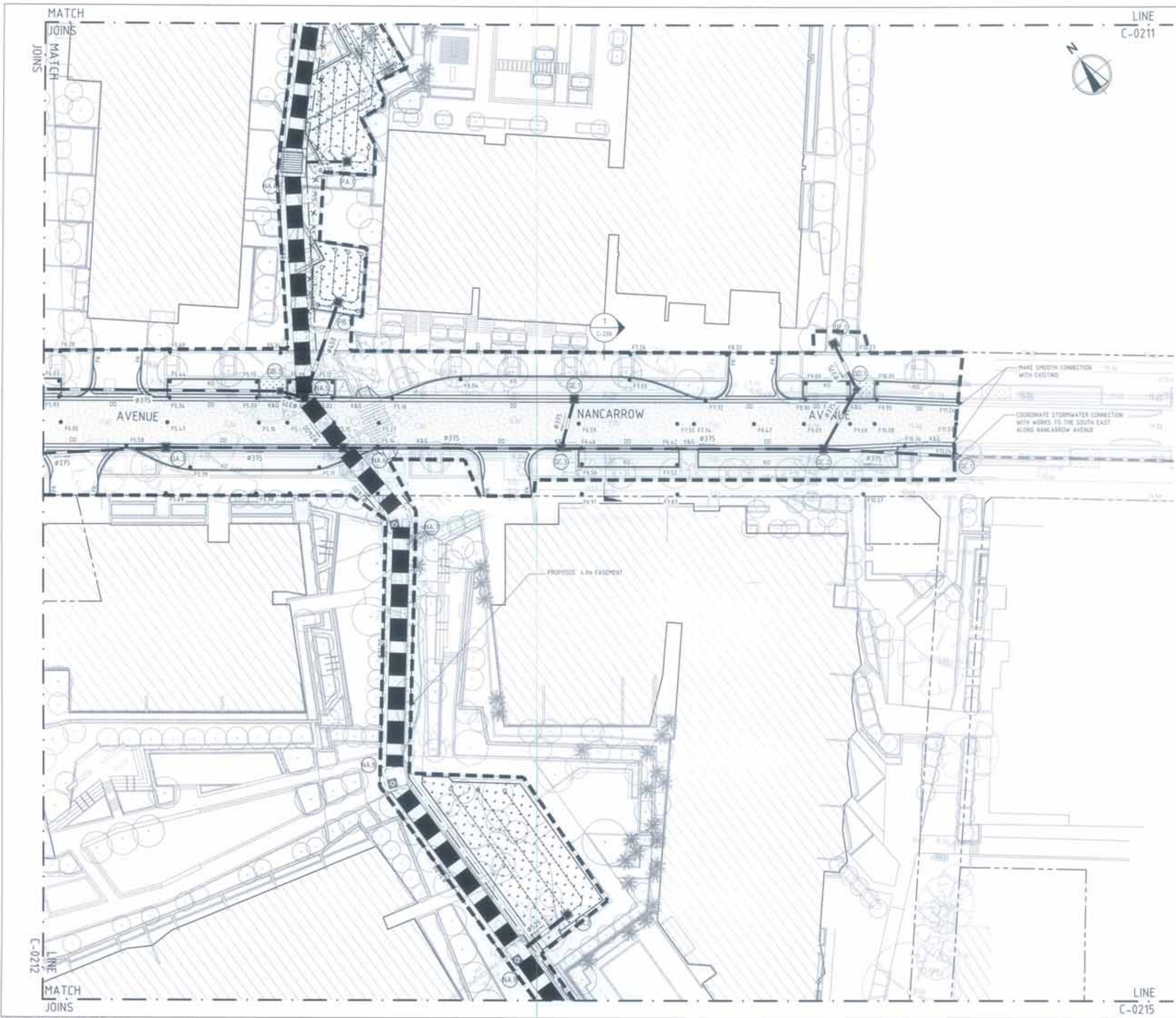
NOTE:

- FOR SURFACE LEVELS AND PROFILES REFER TO LANDSCAPE ARCHITECTS PLANS
- THE ORIGINAL OF THIS DRAWING WAS PRODUCED USING COLOUR SEPARATION FOR GREATER CLARITY. WORKING WITH BLACK AND WHITE COPY MAY CAUSE ERRORS
- WOOD ELEMENTS AS PER CARING WOOD PATTERN PLAN DRAWING

WARNING
 BEFORE OF LANDSCAPING SERVICES
 The location of underground services and structures vary and their exact location should be checked on site. The contractor is advised to check all services and structures before commencement of work. Refer to Australian Regulation 5.4.1

DIAL 1100
 BEFORE YOU DIG

REVISIONS			
NO.	DATE	DESCRIPTION	BY
HOLDMARK			
S10-4 SPRINKLER SYSTEMS, ENCLAVE TOWN BOX 210			
Sydney Office LA 8 Windsor St Sydney NSW 2000 P: +61 2 9770 3300 F: +61 2 9770 3300 E: info@bgae.com.au www.bgae.com.au			
SHEPHERDS BAY MEADOWBANK			
PRELIMINARY ONLY NOT TO BE USED FOR CONSTRUCTION			
DATE	BY	CHECKED	APPROVED
SITWORKS PLAN SHEET 3			
PROJECT NO.			
S10076	C-0212		A



LEGEND

- LPT OF WORKS
- EXISTING ROAD BOUNDARY
- PROPOSED ROAD BOUNDARY
- K&G PROPOSED KERB AND GUTTER
- M PROPOSED MOUNTABLE KERB
- R PROPOSED KERB ONLY
- D PROPOSED SOAK DRAIN
- PROPOSED STORMWATER PIT AND LINE
- SW --- SW EXISTING STORMWATER LINE
- SW - X - SW EXISTING STORMWATER TO BE REMOVED
- OVERLAND FLOW PATH
- SUBSOIL DRAIN WITH FLUSHING POINT
- NEW ROAD PAVEMENT CONSTRUCTION TO GEOTECH ENGINEERS SPECIFICATION
- CONCRETE ISLAND HWY
- FOOTPATH TO LANDSCAPE ARCHITECTS SPECIFICATION
- PILL AND REINSET (See A/C2)
- 80-RETENTION AREA

NOTE:

- FOR SURFACE LEVELS AND FINISHES REFER TO LANDSCAPE ARCHITECTS PLANS
- THE ORIGINAL OF THIS DRAWING WAS PRODUCED USING COLOUR SEPARATION FOR GREATER CLARITY. WORKING WITH BLACK AND WHITE COPY MAY CAUSE ERRORS
- WOOD ELEMENTS AS PER EXISTING WOOD MASTER PLAN DRAWING

WARNING
WARNING OF UNDERGROUND SERVICES
 The location of underground cables and pipelines is shown only and their exact position should be checked on-site. No guarantee is given that all existing cables and services are shown. Locate all underground cables and services before commencement of work under the Worksafe Regulation 1.21.

DIAL 1100
 BEFORE YOU DIG

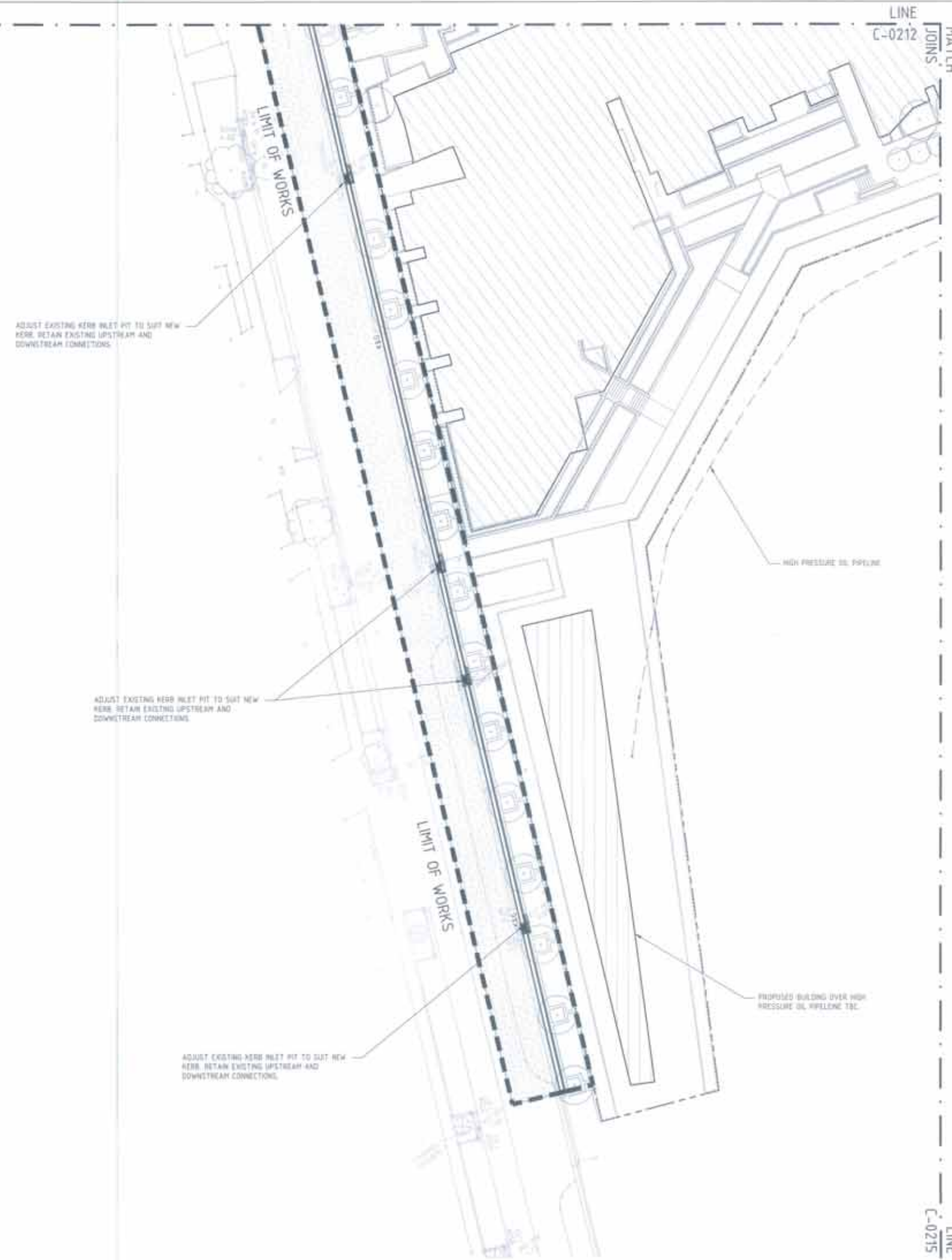
NO.	DATE	DESCRIPTION	BY
REVISIONS			
HOLDMARK			
21-4 SHEPHERD AVENUE, HAWTHORNE PARK NSW VIC			
Sydney Office 12 B Woodhill St Sydney NSW 2000 P +61 2 9770 3300 E: info@bgandc.com www.bgandc.com			
SHEPHERDS BAY MEADOWBANK			
PRELIMINARY ONLY NOT TO BE USED FOR CONSTRUCTION			
TO	BY	DATE	SCALE
AND	NSA	1/250	A1
SITWORKS PLAN SHEET 4			
PROJECT NO	PROJECT CODE	SHEET NO	TOTAL SHEETS
S10076	C-0213	A	1

MATCH
JOINS



LINE
C-0212

MATCH
JOINS



LEGEND

- LIMIT OF WORKS
- EXISTING ROAD BOUNDARY
- PROPOSED ROAD BOUNDARY
- PROPOSED KERB AND GUTTER
- PROPOSED MOUNTABLE KERB
- PROPOSED KERB ONLY
- PROPOSED DEER DRAIN
- PROPOSED STORMWATER PIT AND LIE
- EXISTING STORMWATER LINE
- EXISTING STORMWATER TO BE REMOVED
- OVERLAND FLOW PATH
- SUBSOIL DRAIN WITH FLUSHING POINT
- NEW ROAD PAVEMENT CONSTRUCTION TO SCOTCH ENGINEER'S SPECIFICATION
- CONCRETE ISLAND INFILL
- FOOTPATH TO LANDSCAPE ARCHITECTS SPECIFICATION
- MILL AND RESURF 20mm A12
- 80-RETENTION AREA

NOTE:

1. FOR SURFACE LEVELS AND FINISHES REFER TO LANDSCAPE ARCHITECT'S PLAN.
2. THE ORIGINAL OF THIS DRAWING WAS PRODUCED USING COLOUR SEPARATION FOR GREATER CLARITY. WORKING WITH BLACK AND WHITE COPY MAY CAUSE ERRORS.
3. WOOD ELEMENTS AS PER CARING WOOD MASTER PLAN DRAWING.

WARNING
NO SMOKING
 BEWARE OF UNDERGROUND SERVICES.
 The location of underground cables are approximate only and their exact position should be checked on site. No guarantee is given that all existing cables and services are shown. Contact an underground cable and service locator before commencing work. Refer to Document Population 2.2.

DIAL 1100
 BEFORE YOU DIG

NO.	DATE	REVISION	BY

HOLDMARK
 2024-09-04 14:00:00

Sydney Office
 13 B Whitehall St Sydney NSW 2000
 P: +61 2 9770 5000
 E: info@bgandae.com
 bgandae.com

SHEPHERDS BAY
 HEADOWBANK

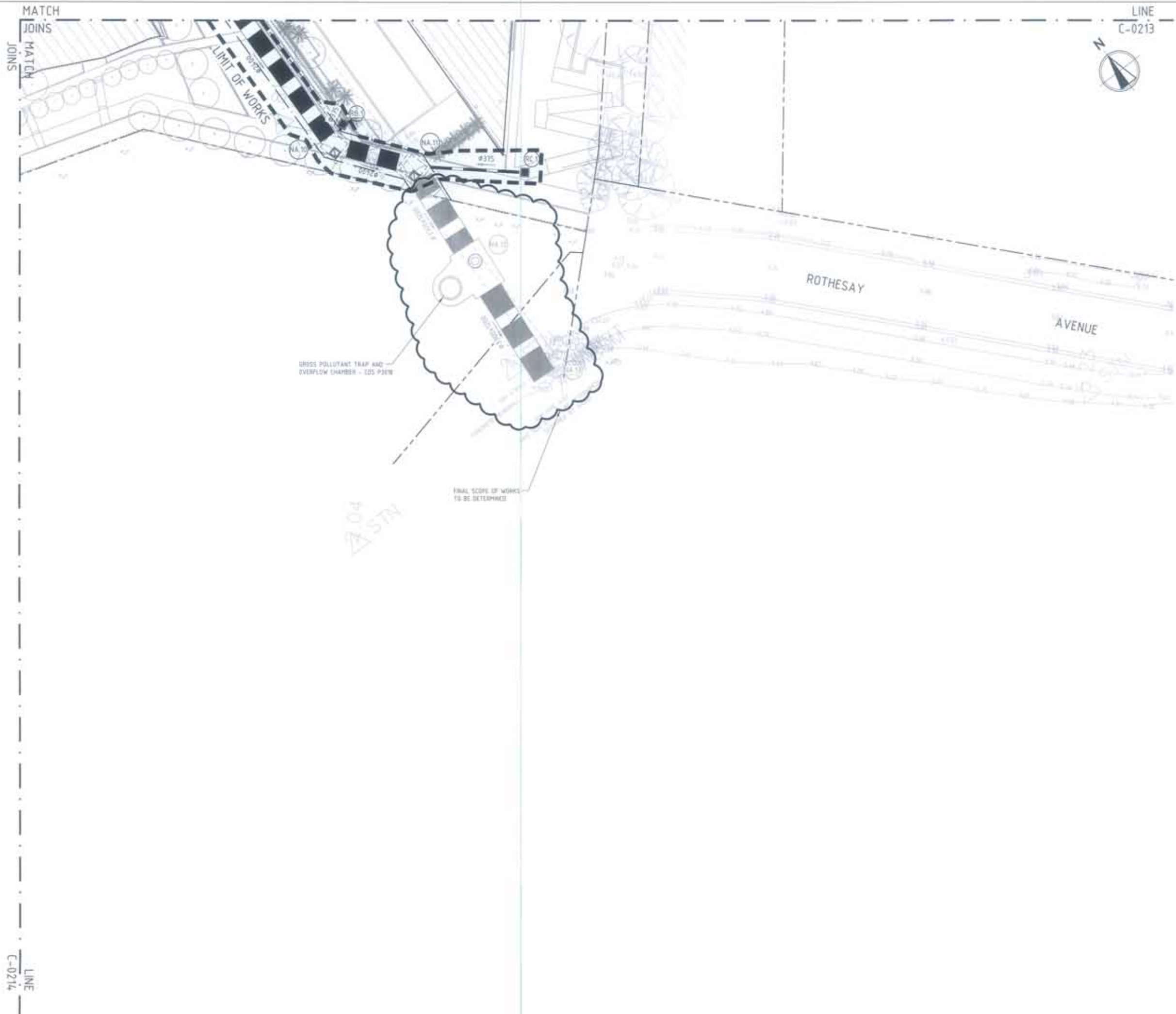
PRELIMINARY ONLY
 NOT TO BE USED FOR CONSTRUCTION

DATE	BY	CHK	APP	REV

SITWORKS PLAN
SHEET 5

PROJECT NO.		

S10076 C-0214 A



LEGEND

- LIMIT OF WORKS
- EXISTING ROAD BOUNDARY
- PROPOSED ROAD BOUNDARY
- PROPOSED KERB AND GUTTER
- PROPOSED MOUNTABLE KERB
- PROPOSED KERB ONLY
- PROPOSED DITCH DEKIN
- PROPOSED STORMWATER PIT AND LINC
- EXISTING STORMWATER LINE
- EXISTING STORMWATER TO BE REVISED
- OVERLAND FLOW PATH
- SUBSIL TRAP WITH FLOODING POINT
- NEW ROAD PAVEMENT CONSTRUCTION TO GOSTEN ENGINEERS SPECIFICATION
- CONCRETE ISLAND MULL
- FOOTPATH TO LANDSCAPE ARCHITECTS SPECIFICATION
- MILL AND RESEAL 80mm AC10
- MULL RETENTION AREA

- NOTE:**
1. FOR SURFACE LEVELS AND FINISHES REFER TO LANDSCAPE ARCHITECTS PLANS.
 2. THE ORIGINAL OF THIS DRAWING WAS PRODUCED USING COLOUR SEPARATION FOR GREATER CLARITY. WORKING WITH BLACK AND WHITE COPY MAY CAUSE ERRORS.
 3. VISUAL ELEMENTS AS PER CARROAD WOULD MASTER PLAN (DRAWING 1).

WARNING
BEWARE OF UNDISCOVERED SERVICES
 The location of underground cables are approximate only and their exact position should be checked on site. No guarantee is given that all existing cables and services are shown. Locate all underground cables and services before commencement of work. Refer to Worksafe Regulation 2.21.

DIAL 1100
 BEFORE YOU DIG

NO.	DATE	BY	DESCRIPTION

HOLDMARK
 214 SHEPHERS BAY, INCLOSURE FORM 954-315

Sydney Office
 12 B Wentworth St Sydney NSW 2000
 P: +61 2 9770 3300
 E: info@bgandc.com.au
 bgandc.com.au

BG & E

SHEPHERDS BAY
 MEADOWBANK

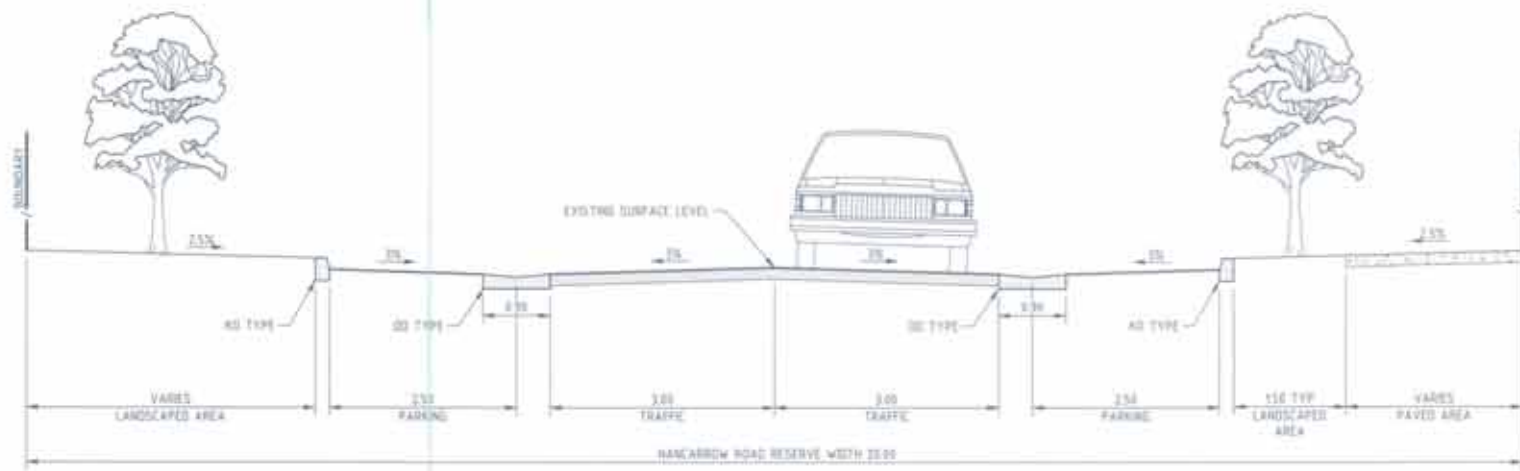
PRELIMINARY ONLY
 NOT TO BE USED FOR CONSTRUCTION

DATE	BY	CHKD	APP'D

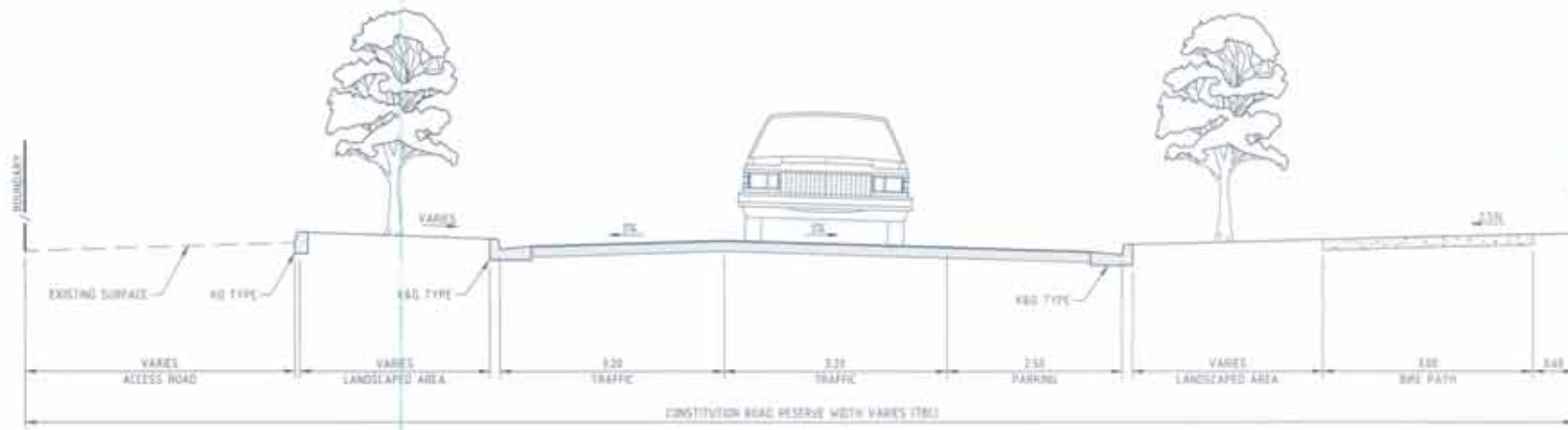
SITWORKS PLAN
SHEET 6

PROJECT NO	S10076	DRAWING NO	C-0215	SHEET NO	A
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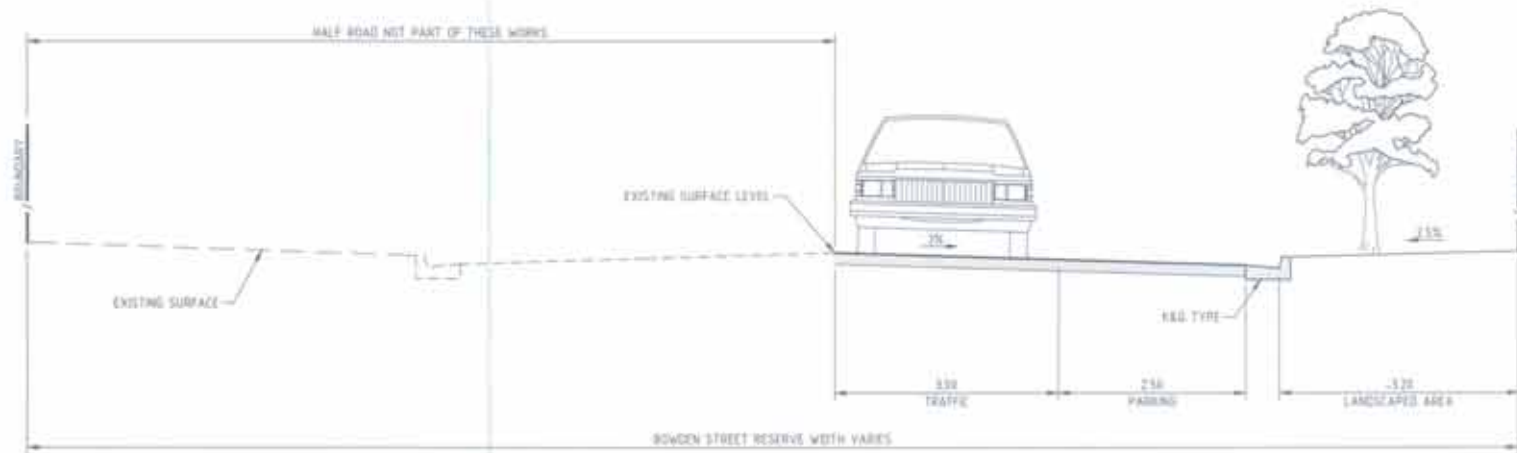
LINE
 C-0214



SECTION 1
SCALE: 1:50
C-0230



SECTION 2
SCALE: 1:50
C-0230



SECTION 3
SCALE: 1:50
C-0230

NO.	DATE	BY	CHKD BY	REVISIONS
1	12/04/20	ALD	ALD	ISSUED FOR PERMITTING
2	12/04/20	ALD	ALD	REVISIONS

HOLDMARK
12-1 SHEPHERS BAY, NANCARROW ROAD 2000

Sydney Office
12 & Wharf Rd, Sydney NSW 2000
P: +61 2 9719 1300
E: info@bgandef.com.au
bgandef.com.au

BG & E

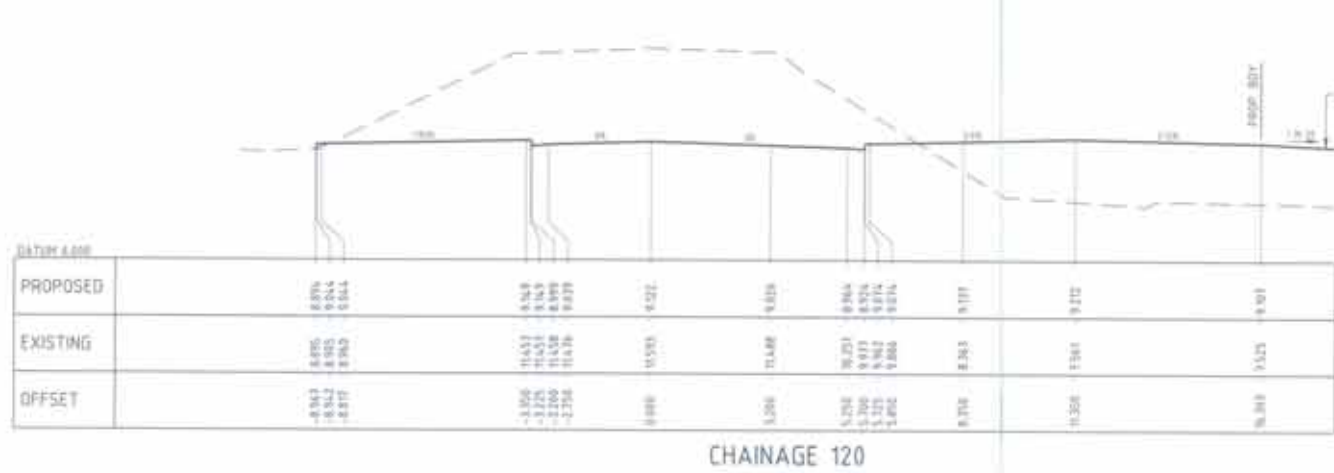
**SHEPHERS BAY
MEADOWBANK**

PRELIMINARY ONLY
NOT TO BE USED FOR CONSTRUCTION

NO.	DATE	BY	CHKD BY	REVISIONS
1	12/04/20	ALD	ALD	ISSUED FOR PERMITTING

TYPICAL ROAD SECTIONS

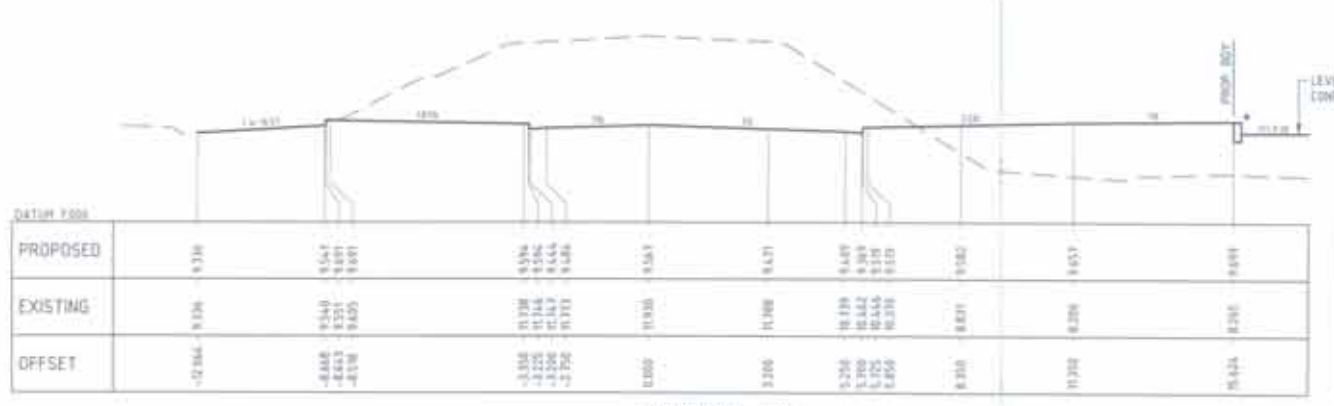
S14053 C-0230 A



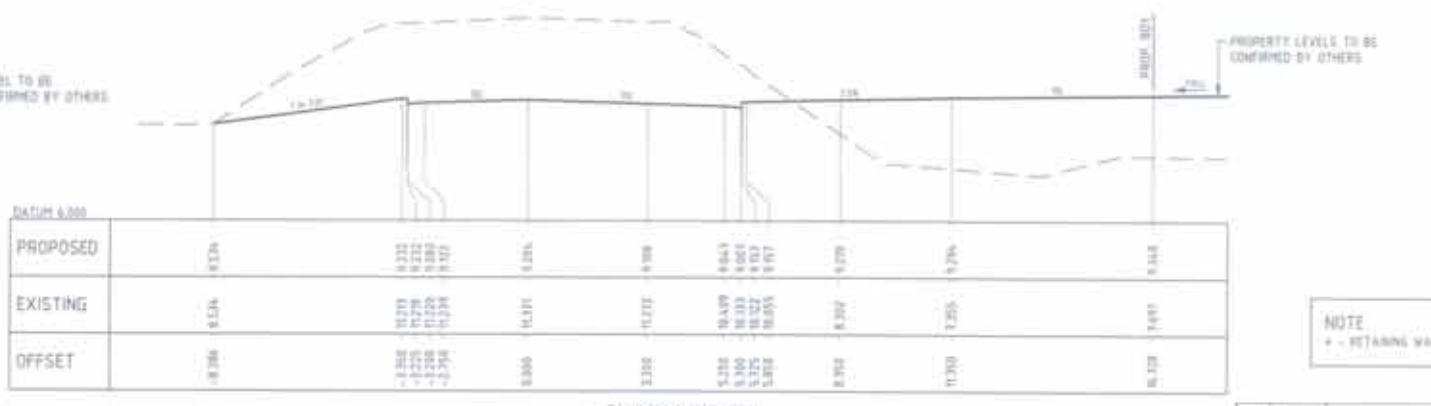
CHAINAGE 120



CHAINAGE 150



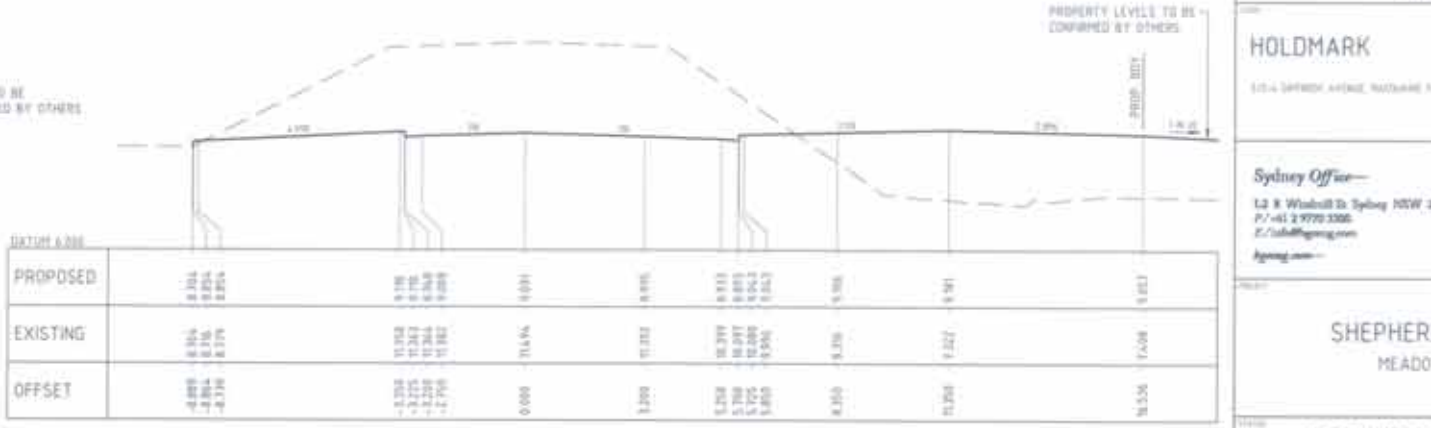
CHAINAGE 105



CHAINAGE 135



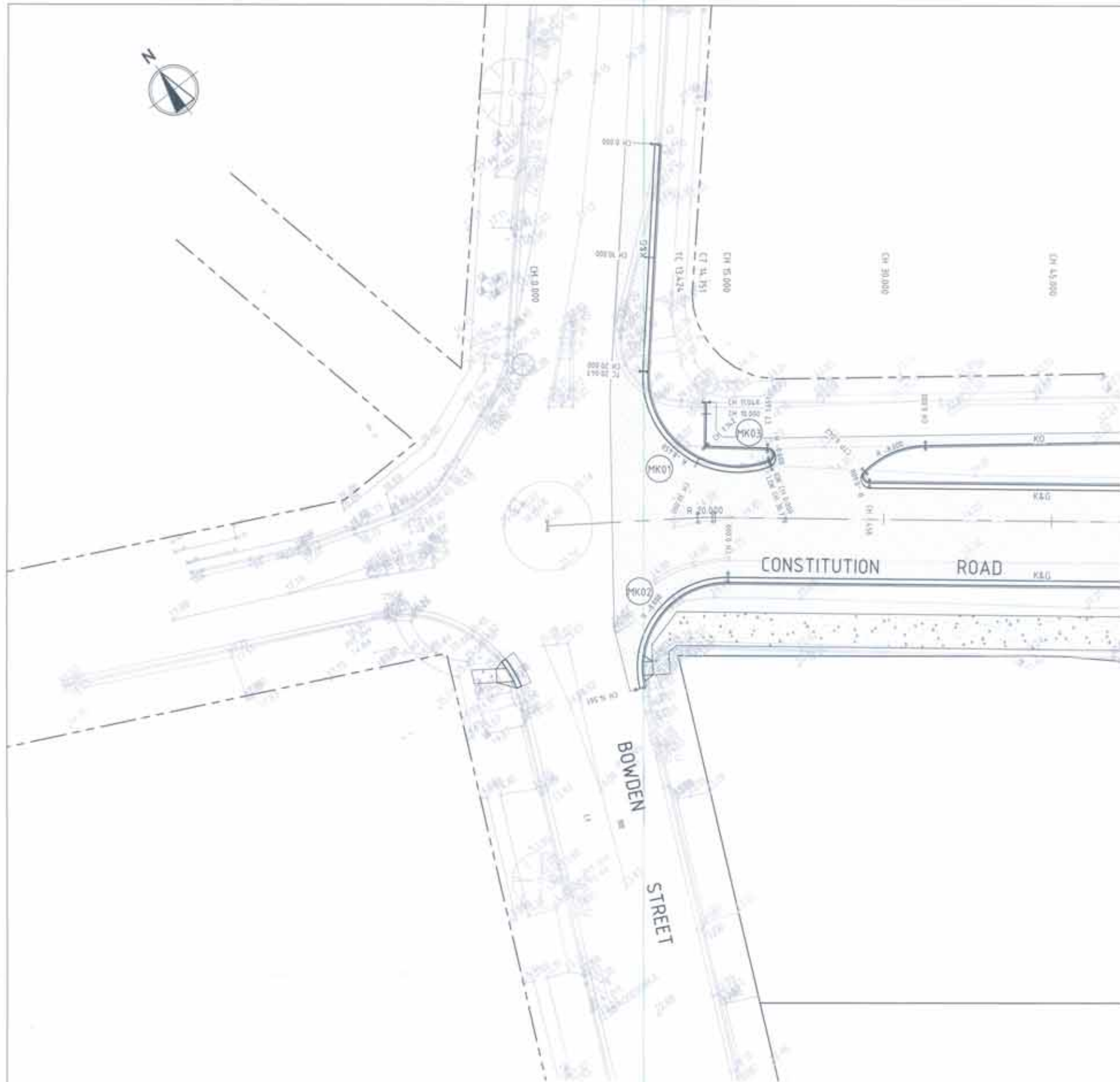
CHAINAGE 90



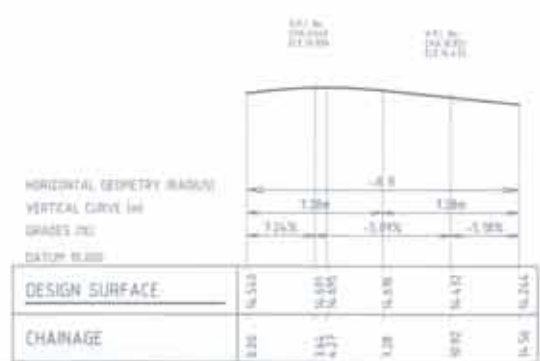
CHAINAGE 125.158

NOTE
+ - RETAINING WALL BY OTHERS

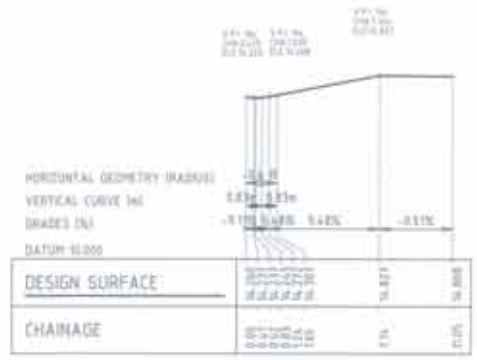
REVISIONS	
NO.	DESCRIPTION
<p>HOLDMARK 110-4 SHEPHERD AVENUE, MADDENHAM PARK NSW 2105</p> <p>Sydney Office L2 8 Windsor St Sydney NSW 2000 P: +61 2 9779 3300 E: info@bgandf.com.au www.bgandf.com.au</p>	
<p>BG & F</p>	
<p>SHEPHERDS BAY MEADOWBANK</p>	
<p>PRELIMINARY ONLY NOT TO BE USED FOR CONSTRUCTION</p>	
DATE	SCALE
<p>CONSTITUTION ROAD CROSS SECTIONS SHEET 2</p>	
S14053	C-0246 A



PROFILE - MK01
SCALE 1:200H, 1:500V

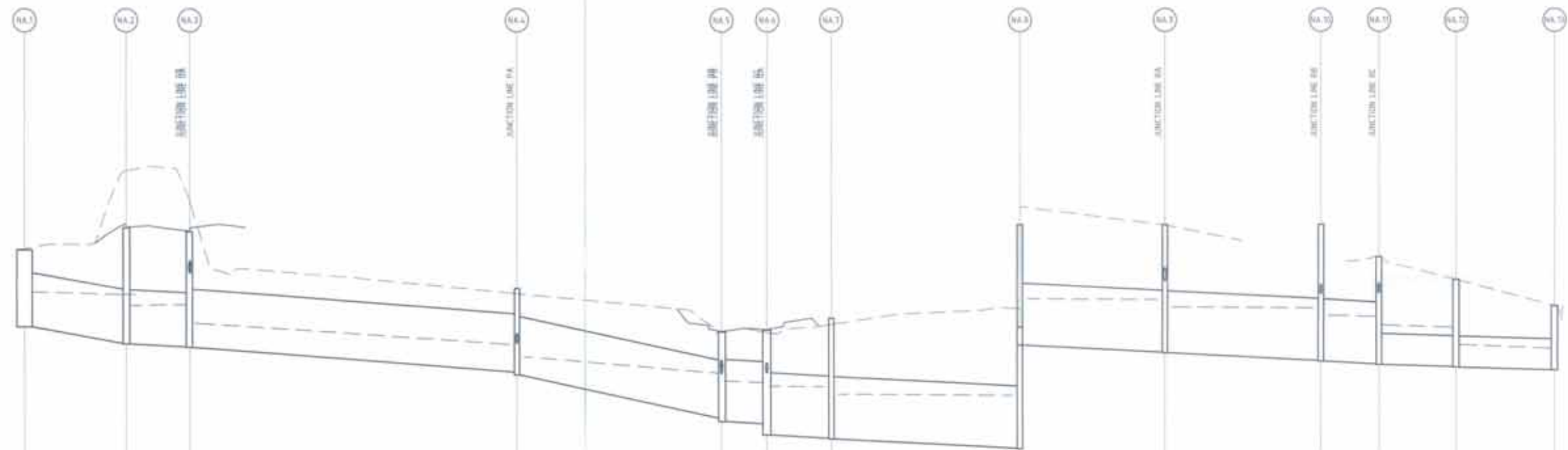


PROFILE - MK02
SCALE 1:200H, 1:500V



PROFILE - MK03
SCALE 1:200H, 1:500V

NO.	DATE	DESCRIPTION	BY	CHKD
REVISIONS				
HOLDMARK				
1:10 - APPROX. EXISTING HOLDMARK FROM 2011				
Sydney Office L3 & Woodhill St Sydney NSW 2000 P: +61 2 9779 3300 E: info@bgandc.com.au www.bgandc.com.au				
				
SHEPHERDS BAY MEADOWSBANK				
PRELIMINARY ONLY NOT TO BE USED FOR CONSTRUCTION				
DATE	BY	CHKD	APPD	DATE
2023	ME	ME		
APPD	YGA	YGD		27/01/23
INTERSECTION PLAN CONSTITUTION ROAD/ BOWDEN STREET				
PROJECT NO.	CONTRACT NO.	REV.		
S14053	C-0250	A		



PIPE DIAMETER (mm)	#200	#200	#225	#225	#225	#240	#240	#240	#240	#240	#240	#240	#240	#240	#240	#240
PIPE CLASS	REP CLASS 2	REP CLASS 2	REP CLASS 2	REP CLASS 2	REP CLASS 2	REP CLASS 2	REP CLASS 2	REP CLASS 2	REP CLASS 2	REP CLASS 2	REP CLASS 2	REP CLASS 2	REP CLASS 2	REP CLASS 2	REP CLASS 2	REP CLASS 2
PIPE GRADE (%)	2.26%	1%	1.00%	4.17%	2%	1%	2%	2.31%	1%	1%	1%	1%	1%	1%	1%	1%
PIPE LENGTH (m)	19.60m	10.45m	14.30m	48.04m	1.94m	1.44m	1.44m	16.31m	18.30m	18.30m	18.30m	18.30m	18.30m	18.30m	18.30m	18.30m
PIPE MIN COVER (m)	1.67m	2.43m	2.43m	1.3m	1.3m	1.3m	2.28m	2.3m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m
PIPE FLOW (L/s)	1525 L/s	1075 L/s	1866 L/s	1893 L/s	1733 L/s	1733 L/s	1733 L/s	1733 L/s	1733 L/s	1733 L/s	1733 L/s	1733 L/s	1733 L/s	1733 L/s	1733 L/s	1733 L/s
PIPE CAPACITY (L/s)	4.82m³/s	4.36m³/s	7.44m³/s	7.33m³/s	3.97m³/s	3.23m³/s	3.53m³/s	3.43m³/s	3.43m³/s	3.43m³/s	3.43m³/s	3.43m³/s	3.43m³/s	3.43m³/s	3.43m³/s	3.43m³/s
DATUM RL (m)	-7.66															
DEPTH TO INVERT	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
HGL 1 in 10 YR ARI	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
DESIGN INVERT	1.20	1.20	1.20	1.20	1.20	1.20	1.20	1.20	1.20	1.20	1.20	1.20	1.20	1.20	1.20	1.20
DESIGN SURFACE	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
EXISTING SURFACE	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
ROAD CHAINAGE	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
PIPE CHAINAGE	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

LINE NA

SECTION

HOLDMARK

1:1 - GENERAL VIEW, INCLUDING FROM 0% TO 100%

Sydney Office
 12 B Wentworth Dr Sydney NSW 2000
 P: +61 2 9739 3300
 E: info@bgandc.com.au
 bgandc.com.au

BG & E

SHEPHERDS BAY MEADOWBANK

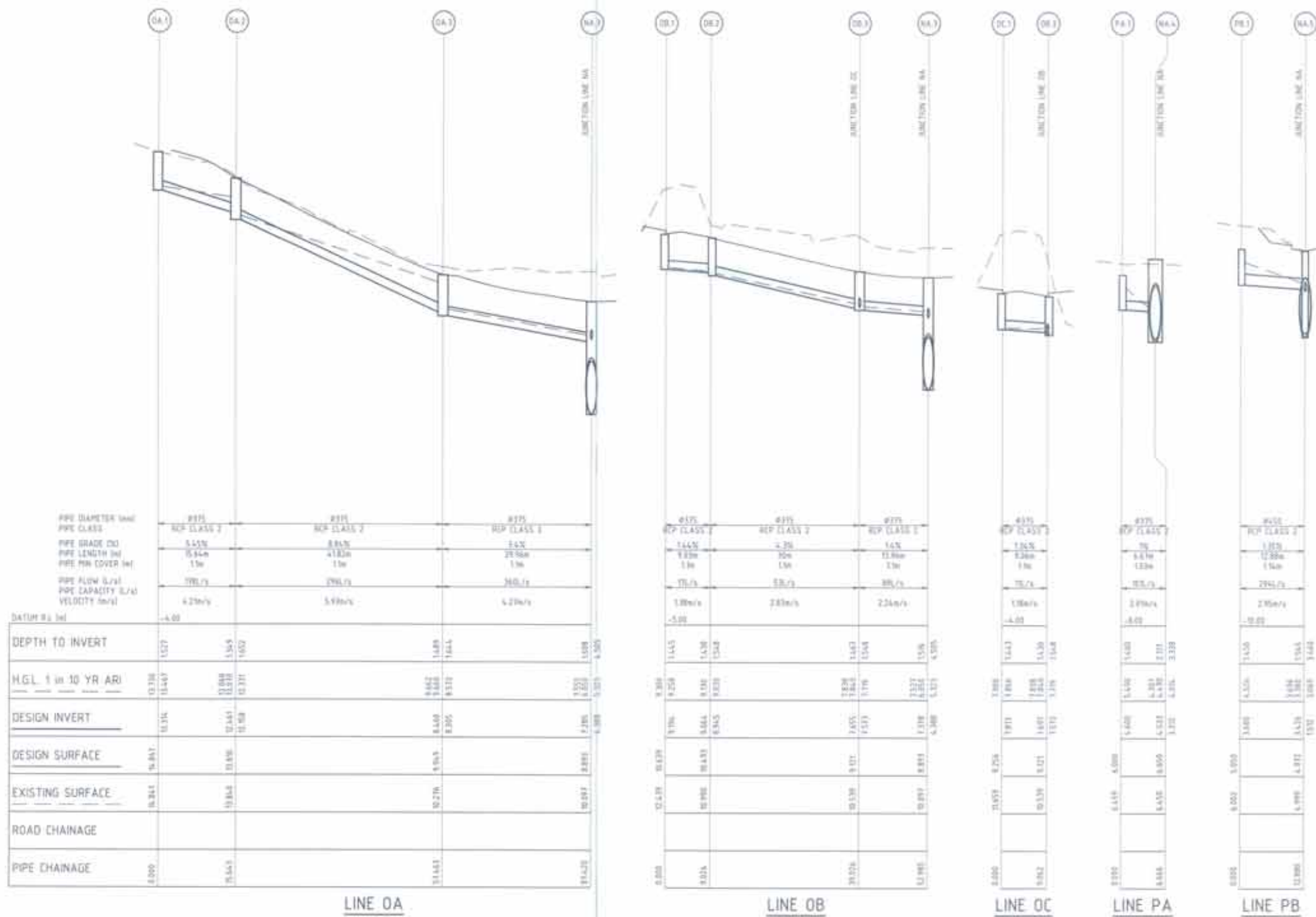
PRELIMINARY ONLY
 NOT TO BE USED FOR CONSTRUCTION

DATE: 18/08/2022

PROJECT: S10076

SECTION: C-0260

SHEET: A



NO.	DATE	DESCRIPTION
1	12/15/2020	DESIGN
2	12/15/2020	DESIGN

HOLDMARK
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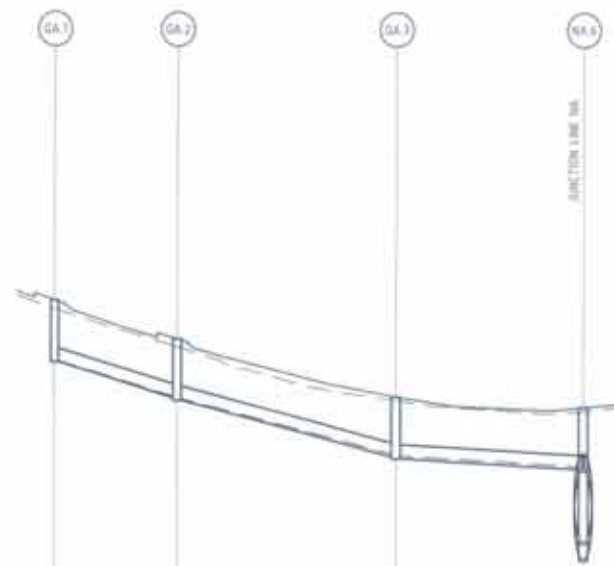
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DATE	BY	DATE	BY	DATE	BY

Scale: 1:100
 Date: 12/15/2020

STORMWATER LONGITUDINAL SECTIONS SHEET 2

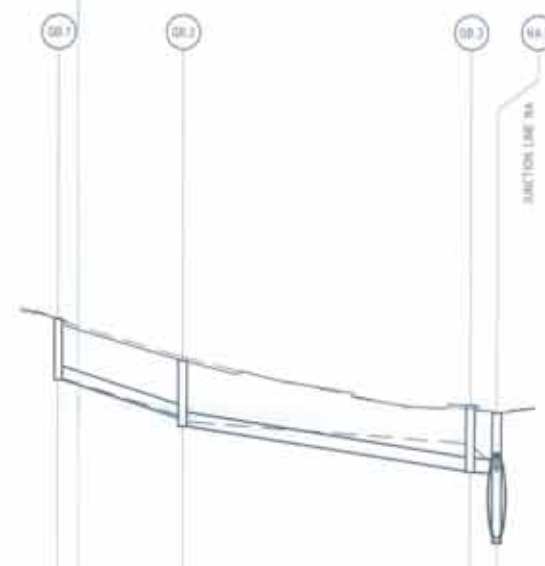
Project No:	S10076	Sheet No:	C-0261	Scale:	A
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PIPE DIAMETER (mm)	#775	#775	#775
PIPE CLASS	RCP CLASS 2	RCP CLASS 2	RCP CLASS 2
PIPE GRADE (%)	0.20%	0.20%	0.20%
PIPE LENGTH (M)	24.34	24.34	25.00
PIPE MIN COVER (M)	1.50	1.50	1.50
PIPE FLOW Q (L/s)	75.24	75.24	75.24
PIPE CAPACITY Q (L/s)	175m³/s	205m³/s	175m³/s
VELOCITY (M/S)			

DATUM RL (M)	+100			
DEPTH TO INVERT	1645	1590	1650	1640
HGL - 1 in 10 YR ARI	6.530	6.270	6.270	6.485
DESIGN INVERT	6.285	6.285	6.277	6.285
DESIGN SURFACE	7.899	6.883	6.376	6.567
EXISTING SURFACE	6.880	6.616	6.317	6.517
ROAD CHAINAGE				
PIPE CHAINAGE	0+00	8+34	15+71	18+21

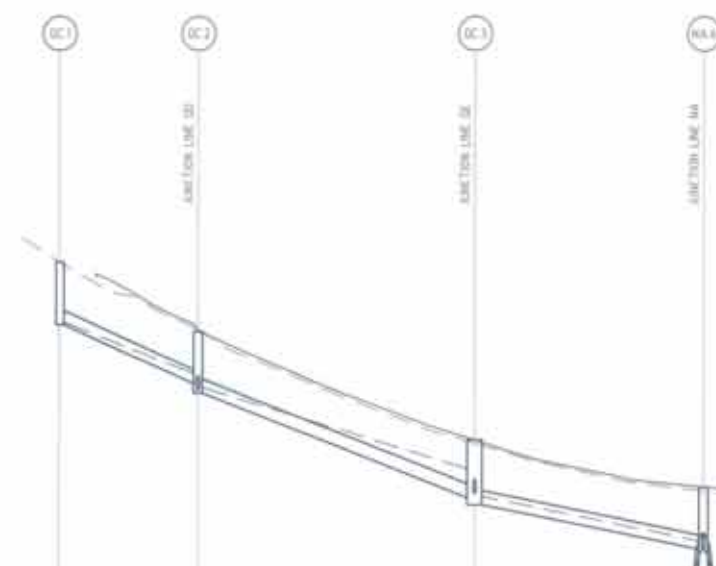
LINE QA



PIPE DIAMETER (mm)	#775	#775	#775
PIPE CLASS	RCP CLASS 2	RCP CLASS 2	RCP CLASS 2
PIPE GRADE (%)	0.20%	0.20%	0.20%
PIPE LENGTH (M)	24.34	24.34	25.00
PIPE MIN COVER (M)	1.50	1.50	1.50
PIPE FLOW Q (L/s)	75.24	75.24	75.24
PIPE CAPACITY Q (L/s)	175m³/s	205m³/s	175m³/s
VELOCITY (M/S)			

DATUM RL (M)	+100			
DEPTH TO INVERT	1645	1617	1572	1581
HGL - 1 in 10 YR ARI	7.542	7.881	8.280	8.562
DESIGN INVERT	6.285	6.285	6.280	6.285
DESIGN SURFACE	7.822	6.376	6.376	6.567
EXISTING SURFACE	7.822	6.376	6.376	6.567
ROAD CHAINAGE				
PIPE CHAINAGE	0+00	8+34	15+71	18+21

LINE QB

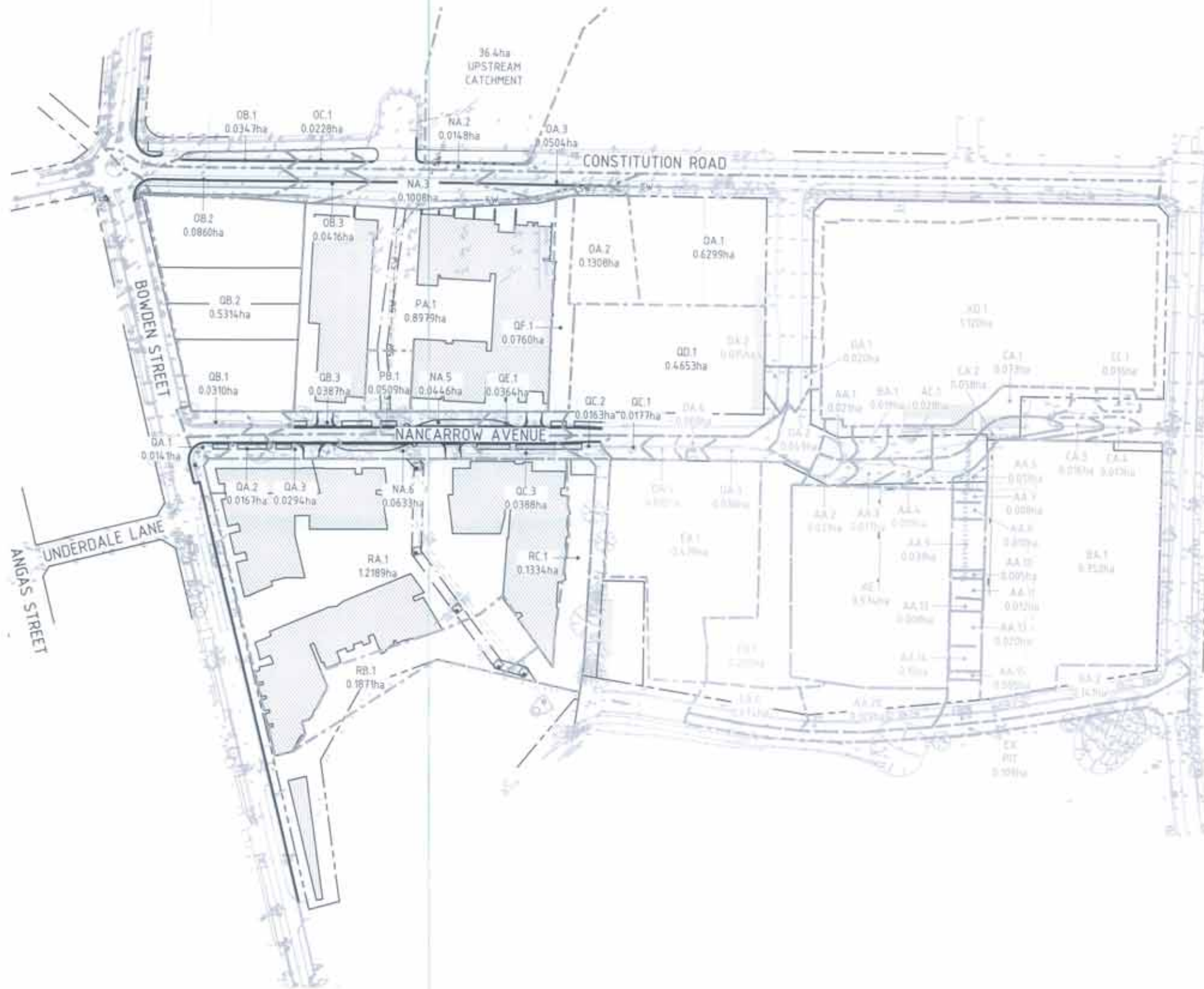


PIPE DIAMETER (mm)	#775	#775	#775
PIPE CLASS	RCP CLASS 2	RCP CLASS 2	RCP CLASS 2
PIPE GRADE (%)	0.20%	0.20%	0.20%
PIPE LENGTH (M)	24.34	24.34	25.00
PIPE MIN COVER (M)	1.50	1.50	1.50
PIPE FLOW Q (L/s)	75.24	75.24	75.24
PIPE CAPACITY Q (L/s)	175m³/s	205m³/s	175m³/s
VELOCITY (M/S)			

DATUM RL (M)	+100			
DEPTH TO INVERT	1645	1590	1650	1640
HGL - 1 in 10 YR ARI	6.530	6.270	6.270	6.485
DESIGN INVERT	6.285	6.285	6.277	6.285
DESIGN SURFACE	7.899	6.883	6.376	6.567
EXISTING SURFACE	6.880	6.616	6.317	6.517
ROAD CHAINAGE				
PIPE CHAINAGE	0+00	8+34	15+71	18+21

LINE QC

REVISIONS	
HOLDMARK <small>SEE 4 APPROX APPROX, INCLUDING FURTHER DTD</small>	
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SHEPHERDS BAY MEADOWBANK	
PRELIMINARY ONLY <small>NOT TO BE USED FOR CONSTRUCTION</small>	
Scale	1:500, 1:200
STORMWATER LONGITUDINAL SECTIONS SHEET 3	
Project No	S10076
Sheet No	C-0262
Rev	A



NO. 1		DATE FOR APPROVAL	
NO. 2	NO.	DESCRIPTION	DATE
REVISIONS			
<p>HOLDMARK</p> <p>613-4 SPRING DRIVE, MICKLEHART PARK NSW 1570</p>			
<p>Sydney Office—</p> <p>1/2 & Vincent St Sydney 2000 NSW</p> <p>Tel: +61 2 9770 3300</p> <p>E: info@bge.com.au</p> <p>www.bge.com.au</p>			
<p>SHEPHERDS BAY</p> <p>MEADOWBANK</p>			
<p>PRELIMINARY ONLY</p> <p>NOT TO BE USED FOR CONSTRUCTION</p>			
DATE	BY	CHKD	APPROVED
DATE	BY	CHKD	APPROVED
<p>CATCHMENT PLAN</p>			
PROJECT NO.	DATE	SCALE	BY
S10076	C-0265	A	

PIT / NODE DETAILS							
Name	Max HGL	Max Pond HGL	Max Surface Flow Arriving (cu.m/s)	Version 8 Max Pond Volume (cu.m)	Min Freeboard (m)	Overflow (cu.m/s)	Constraint
NA.1	7.7900	9.0300	11.4550	0.6000	0.4100	0.0000	Inlet Capacity
NA.2	6.8600		0.0090		2.2000	0.0000	None
NA.3	6.2700	9.0400	0.0920	5.3000	2.6200	0.0000	Inlet Capacity
NA.4	4.7800		0.0000		1.8700	0.0000	None
NA.5	4.2800	5.0700	0.2400	1.7000	0.6900	0.1420	Inlet Capacity
NA.6	3.9100	5.1800	0.1710	2.1000	1.1300	0.0000	Inlet Capacity
NA.7	3.6800		0.0000		1.8200	0.0000	None
NA.8	3.2500		0.0000		1.9000	0.0000	None
NA.9	2.8500		0.0000		2.3000	0.0000	None
NA.10	2.4200		0.0000		1.1800	0.0000	None
NA.11	2.0100		0.0000		1.9000	0.0000	None
NA.12	1.3700		0.0000		1.6200		None
NA.13	0.4700		0.0000				
OA.1	13.8700		0.3680	0.1000	0.9700	0.1800	Inlet Capacity
OA.2	12.8100		0.2560	0.1000	1.0000	0.0960	Inlet Capacity
OA.3	8.9200		0.1230	0.1000	1.0300	0.0400	Inlet Capacity
OB.1	9.3100		0.0200		1.3300	0.0000	None
OB.2	9.1400		0.0500		1.3500	0.0100	Inlet Capacity
OB.3	7.7900		0.0330		1.3300	0.0000	None
OC.1	7.9100		0.0130		1.3500	0.0000	None
QA.1	6.3300	7.9300	0.0080	0.1000	1.5800	0.0000	Inlet Capacity
QA.2	5.3400	6.9000	0.0100	0.1000	1.5500	0.0000	Inlet Capacity
QA.3	3.9400		0.0170		1.4000	0.0040	Inlet Capacity
QB.1	5.9500	7.5000	0.0180	0.2000	1.5200	0.0000	Inlet Capacity
QB.2	4.8800	6.4800	0.3080	0.9000	1.4900	0.2130	Inlet Capacity
QB.3	4.7000	5.2700	0.2350	0.9000	0.4800	0.1370	Inlet Capacity
QE.1	5.8000		0.1630		0.5900	0.0830	Inlet Capacity
QC.3	5.7200		0.0260		0.5500	0.0000	None
RA.1	4.8000	5.1800	0.6780	21.5000	0.1000	0.0000	Inlet Capacity
RB.1	2.7800	4.0200	0.1030	0.4000	1.1600	0.0000	Inlet Capacity
RC.1	3.8000		0.0740		1.1800	0.0000	None
QF.1	8.4400		0.0440		1.5000	0.0000	None
QD.1	8.4100	9.8500	0.2370	0.9000	1.3500	0.1420	Inlet Capacity
QC.2	8.1400		0.0190		1.0400	0.0040	Inlet Capacity

PIPE DETAILS					
Name	Max Q (cu.m/s)	Max V (m/s)	Max U/S HGL (m)	Max D/S HGL (m)	Due to Storm
P NA.1	13.9080	4.4700	6.9690	6.8600	AR&R 100 year, 2 hours storm, average 53.0 mm/h, Zone 1
P NA.2	13.9140	4.2800	6.5950	6.2740	AR&R 100 year, 2 hours storm, average 53.0 mm/h, Zone 1
P NA.3	14.2580	7.6900	5.4530	4.7760	AR&R 100 year, 2 hours storm, average 53.0 mm/h, Zone 1
P NA.4	14.3430	7.1900	4.3890	4.2830	AR&R 100 year, 2 hours storm, average 53.0 mm/h, Zone 1
P NA.5	14.8650	3.2900	3.9530	3.9060	AR&R 100 year, 2 hours storm, average 53.0 mm/h, Zone 1
P NA.6	15.1660	3.3500	3.7340	3.6790	AR&R 100 year, 2 hours storm, average 53.0 mm/h, Zone 1
P NA.7	15.1780	3.3600	3.5730	3.2530	AR&R 100 year, 2 hours storm, average 53.0 mm/h, Zone 1
P NA.8	15.1740	3.3500	3.1800	2.8460	AR&R 100 year, 2 hours storm, average 53.0 mm/h, Zone 1
P NA.9	15.5160	3.4300	2.7930	2.4200	AR&R 100 year, 2 hours storm, average 53.0 mm/h, Zone 1
P NA.10	15.5800	3.5500	2.0590	2.0100	AR&R 100 year, 2 hours storm, average 53.0 mm/h, Zone 1
P NA.11	15.6020	4.0600	1.5040	1.3740	AR&R 100 year, 2 hours storm, average 53.0 mm/h, Zone 1
P NA.12	15.5920	5.0400	0.6070	0.4670	AR&R 100 year, 2 hours storm, average 53.0 mm/h, Zone 1
P OA.1	0.2050	3.9500	13.5450	12.8120	AR&R 100 year, 15 minutes storm, average 154 mm/h, Zone 1
P OA.2	0.3320	6.1100	12.3430	8.9180	AR&R 100 year, 15 minutes storm, average 154 mm/h, Zone 1
P OA.3	0.4030	4.3000	8.7820	7.6180	AR&R 100 year, 25 minutes storm, average 122 mm/h, Zone 1
P OB.1	0.0200	1.4300	9.2630	9.1440	AR&R 100 year, 1.5 hours storm, average 62.0 mm/h, Zone 1
P OB.2	0.0610	2.9400	9.0360	7.7950	AR&R 100 year, 1.5 hours storm, average 62.0 mm/h, Zone 1
P OB.3	0.1040	2.2800	7.7350	7.5400	AR&R 100 year, 25 minutes storm, average 122 mm/h, Zone 1

SUB-CATCHMENT DETAILS							
Name	Max Flow Q (cu.m/s)	Paved Max Q (cu.m/s)	Grassed Max Q (cu.m/s)	Paved Tc (min)	Grassed Tc (min)	Supp. Tc (min)	Due to Storm
C NA.2	0.0090	0.0080	0.0010	5.0000	10.0000	0.0000	AR&R 100 year, 1.5 hours storm, average 62.0 mm/h, Zone 1
C NA.3	0.0580	0.0540	0.0040	5.2400	10.0000	0.0000	AR&R 100 year, 1.5 hours storm, average 62.0 mm/h, Zone 1
C NA.5	0.0250	0.0230	0.0020	5.2900	10.0000	0.0000	AR&R 100 year, 25 minutes storm, average 122 mm/h, Zone 1
C NA.6	0.0360	0.0340	0.0020	5.2300	10.0000	0.0000	AR&R 100 year, 1.5 hours storm, average 62.0 mm/h, Zone 1
C OA.1	0.3680	0.3430	0.0260	5.0000	10.0000	0.0000	AR&R 100 year, 1.5 hours storm, average 62.0 mm/h, Zone 1
C OA.2	0.0760	0.0710	0.0050	5.0900	10.0000	0.0000	AR&R 100 year, 1.5 hours storm, average 62.0 mm/h, Zone 1
C OA.3	0.0290	0.0270	0.0020	5.2100	10.0000	0.0000	AR&R 100 year, 1.5 hours storm, average 62.0 mm/h, Zone 1
C OB.1	0.0200	0.0190	0.0010	5.0000	10.0000	0.0000	AR&R 100 year, 1.5 hours storm, average 62.0 mm/h, Zone 1
C OB.2	0.0500	0.0470	0.0030	5.0000	10.0000	0.0000	AR&R 100 year, 1.5 hours storm, average 62.0 mm/h, Zone 1
C OB.3	0.0240	0.0220	0.0020	5.2100	10.0000	0.0000	AR&R 100 year, 1.5 hours storm, average 62.0 mm/h, Zone 1
C OC.1	0.0130	0.0120	0.0010	5.2100	10.0000	0.0000	AR&R 100 year, 1.5 hours storm, average 62.0 mm/h, Zone 1
C QA.1	0.0080	0.0080	0.0010	5.0000	10.0000	0.0000	AR&R 100 year, 1.5 hours storm, average 62.0 mm/h, Zone 1
C QA.2	0.0100	0.0090	0.0010	5.1000	10.0000	0.0000	AR&R 100 year, 1.5 hours storm, average 62.0 mm/h, Zone 1
C QA.3	0.0170	0.0160	0.0010	5.1900	10.0000	0.0000	AR&R 100 year, 1.5 hours storm, average 62.0 mm/h, Zone 1
C QB.1	0.0180	0.0170	0.0010	5.0000	10.0000	0.0000	AR&R 100 year, 1.5 hours storm, average 62.0 mm/h, Zone 1
C QB.2	0.3080	0.2860	0.0220	5.1000	10.0000	0.0000	AR&R 100 year, 1.5 hours storm, average 62.0 mm/h, Zone 1
C QB.3	0.0220	0.0200	0.0020	5.3300	10.0000	0.0000	AR&R 100 year, 25 minutes storm, average 122 mm/h, Zone 1
C QE.1	0.0210	0.0190	0.0010	5.2000	10.0000	0.0000	AR&R 100 year, 1.5 hours storm, average 62.0 mm/h, Zone 1
C QC.3	0.0220	0.0210	0.0020	5.2000	10.0000	0.0000	AR&R 100 year, 1.5 hours storm, average 62.0 mm/h, Zone 1
C RA.1	0.6780	0.5420	0.1360	5.0000	10.0000	0.0000	AR&R 100 year, 25 minutes storm, average 122 mm/h, Zone 1
C RB.1	0.1030	0.0820	0.0210	5.3500	10.0000	0.0000	AR&R 100 year, 25 minutes storm, average 122 mm/h, Zone 1
C RC.1	0.0740	0.0590	0.0150	5.0000	10.0000	0.0000	AR&R 100 year, 25 minutes storm, average 122 mm/h, Zone 1
C QF.1	0.0440	0.0410	0.0030	5.0000	10.0000	0.0000	AR&R 100 year, 1.5 hours storm, average 62.0 mm/h, Zone 1
C QD.1	0.2370	0.2160	0.0210	10.0000	10.0000	0.0000	AR&R 100 year, 25 minutes storm, average 122 mm/h, Zone 1
C QC.2	0.0090	0.0090	0.0010	5.0900	10.0000	0.0000	AR&R 100 year, 1.5 hours storm, average 62.0 mm/h, Zone 1
C PA.1	0.4480	0.3480	0.1000	10.0000	10.0000	0.0000	AR&R 100 year, 25 minutes storm, average 122 mm/h, Zone 1
C PB.1	0.0290	0.0080	0.0210	5.0000	5.0000	0.0000	AR&R 100 year, 1.5 hours storm, average 62.0 mm/h, Zone 1

PIPE DETAILS					
Name	Max Q (cu.m/s)	Max V (m/s)	Max U/S HGL (m)	Max D/S HGL (m)	Due to Storm
P OC.1	0.0130	1.2300	7.8700	7.7950	AR&R 100 year, 1.5 hours storm, average 62.0 mm/h, Zone 1
P QA.1	0.0080	1.8100	6.2960	5.3360	AR&R 100 year, 1.5 hours storm, average 62.0 mm/h, Zone 1
P QA.2	0.0180	2.1800	5.2810	3.9370	AR&R 100 year, 1.5 hours storm, average 62.0 mm/h, Zone 1
P QA.3	0.0310	0.3900	3.9350	3.9060	AR&R 100 year, 25 minutes storm, average 122 mm/h, Zone 1
P QB.1	0.0180	2.3500	5.8910	4.8850	AR&R 100 year, 1.5 hours storm, average 62.0 mm/h, Zone 1
P QB.2	0.1130	3.4500	4.7160	4.6960	AR&R 100 year, 1.5 hours storm, average 62.0 mm/h, Zone 1
P QB.3	0.2080	1.8800	4.4080	4.2830	AR&R 100 year, 25 minutes storm, average 122 mm/h, Zone 1
P QE.1	0.0780	0.7000	5.7480	5.7230	AR&R 100 year, 25 minutes storm, average 122 mm/h, Zone 1
P QC.3	0.3320	4.4000	4.7970	3.9060	AR&R 100 year, 25 minutes storm, average 122 mm/h, Zone 1
P RA.1	0.6570	3.0900	4.2850	3.5640	AR&R 100 year, 25 minutes storm, average 122 mm/h, Zone 1
P RB.1	0.1020	2.0100	2.6530	2.6090	AR&R 100 year, 25 minutes storm, average 122 mm/h, Zone 1
P RC.1	0.1600	7.3200	3.5610	2.0100	AR&R 100 year, 25 minutes storm, average 122 mm/h, Zone 1
P QF.1	0.0440	0.6900	8.4070	8.4050	AR&R 100 year, 1.5 hours storm, average 62.0 mm/h, Zone 1
P QD.1	0.1390	3.9400	8.2140	8.1360	AR&R 100 year, 1.5 hours storm, average 62.0 mm/h, Zone 1
P QC.2	0.2330	5.2500	7.6810	5.7230	AR&R 100 year, 15 minutes storm, average 154 mm/h, Zone 1
P PA.1	0.1300	1.6300	5.4890	4.7760	AR&R 100 year, 25 minutes storm, average 122 mm/h, Zone 1
P PB.1	0.3390	2.1300	5.1080	4.2830	AR&R 100 year, 25 minutes storm, average 122 mm/h, Zone 1

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REVISED

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111-4 BENTLEY AVENUE, INVERBELL 5146 NSW 2101

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 L2 8 Wentworth St Sydney NSW 2000
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SHEPHERDS BAY MEADOWSBANK

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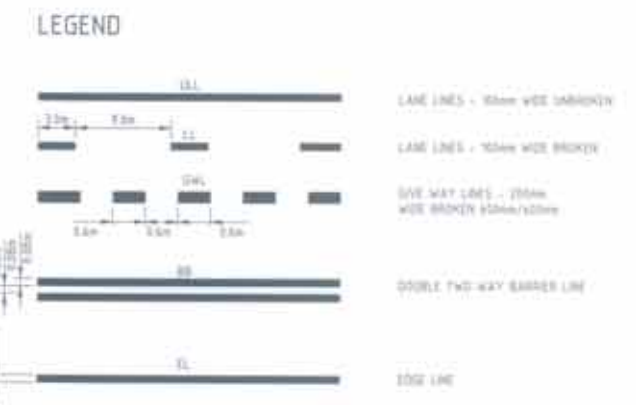
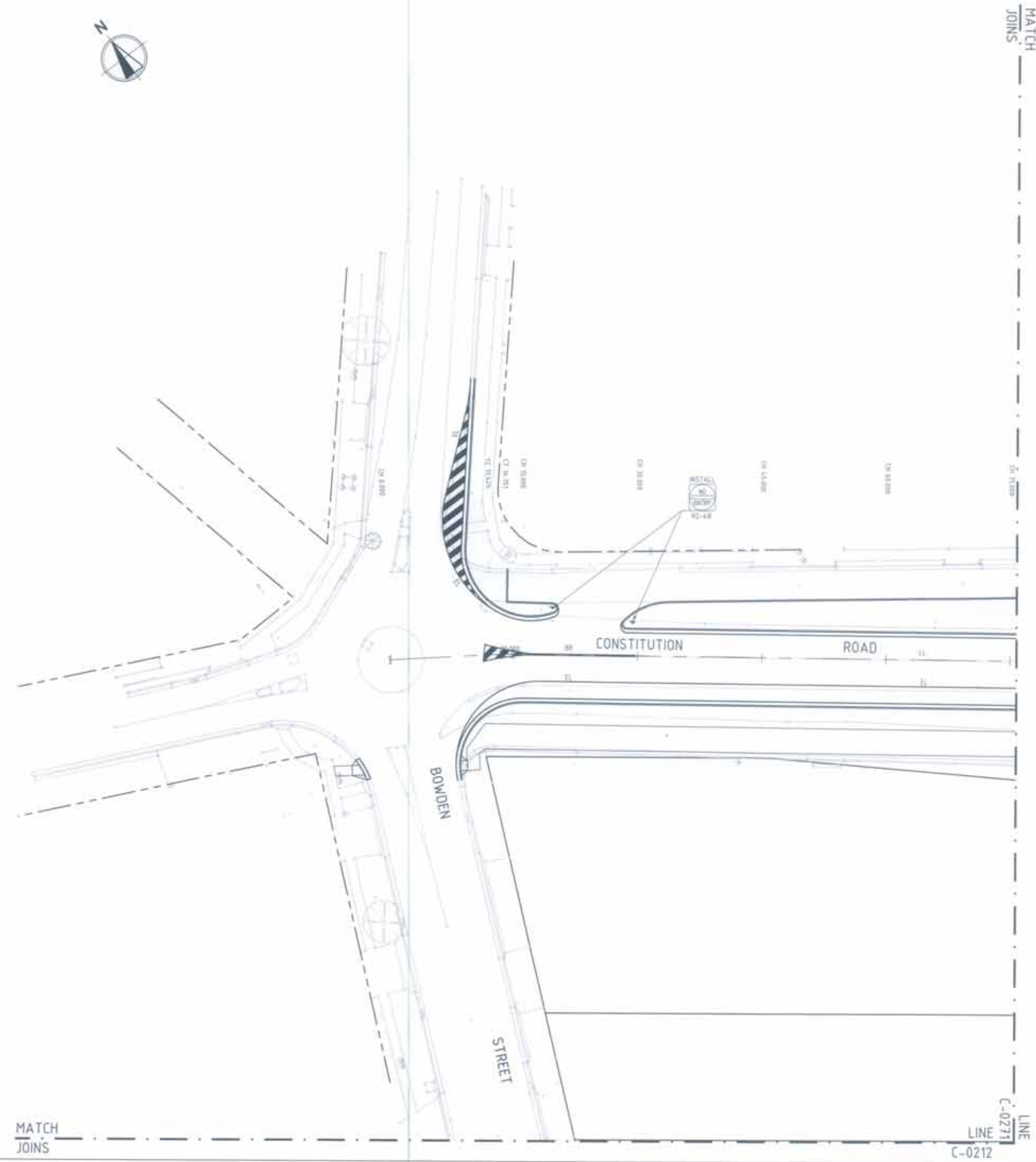
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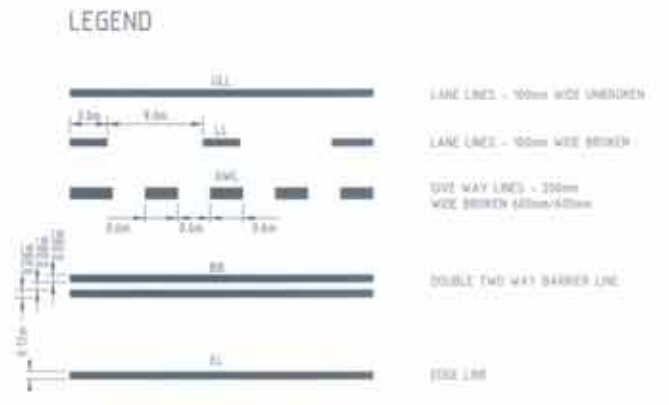
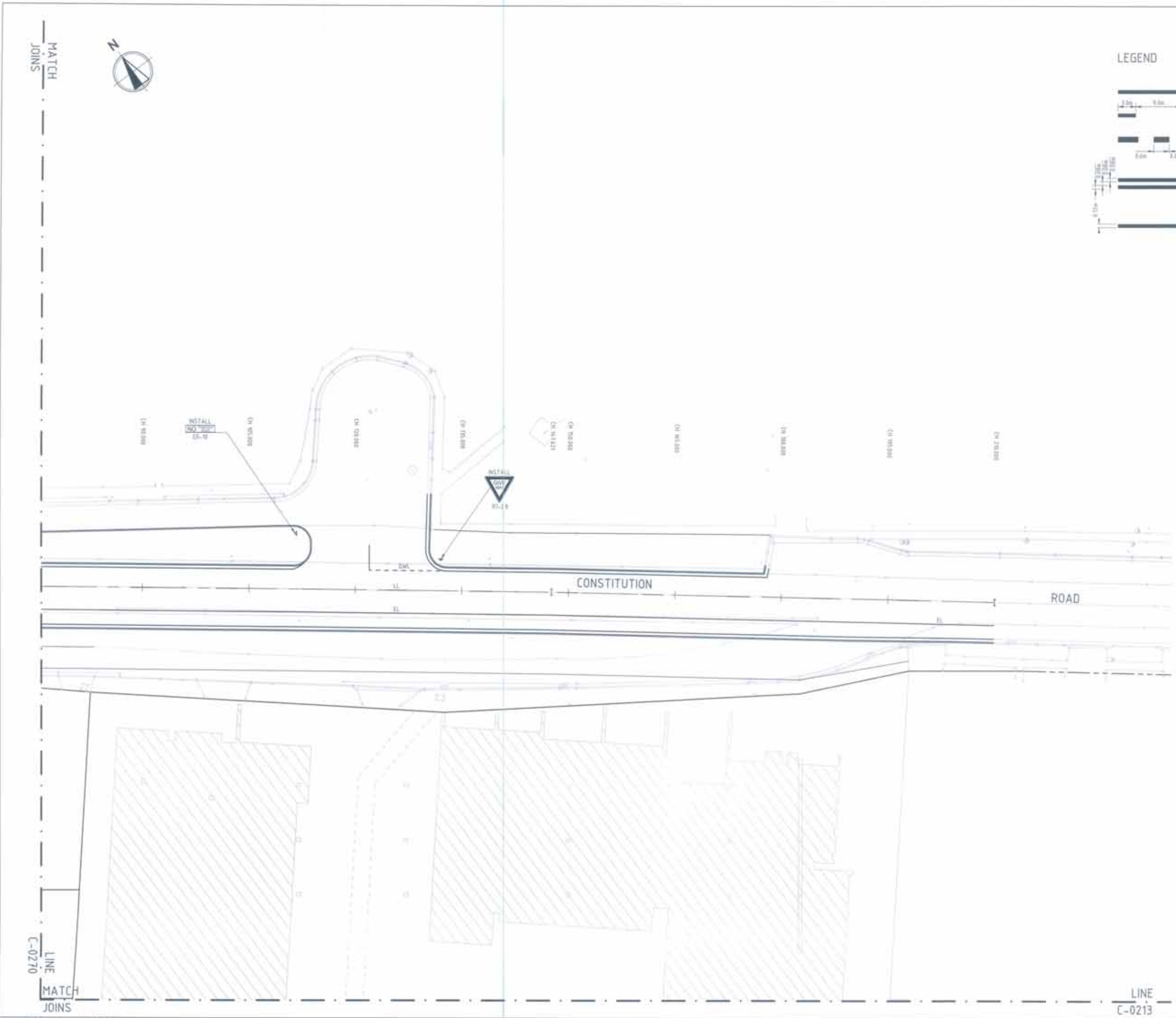
REVISIONS	
NO.	DESCRIPTION
HOLDMARK	
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SHEPHERDS BAY MEADOWBANK	
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MATCH JOINS

MATCH JOINS

LINE C-0212

LINE C-0271



PROJECT		SHEPHERDS BAY MEADOWBANK	
CLIENT		HOLDMARK	
ADDRESS		210-4 SPRING AVENUE, TULLOCH PARK NSW 2117	
DRAWN BY		SHEPHERDS BAY MEADOWBANK	
DATE		2024/08/28	
SCALE		AS SHOWN	
PROJECT NO.		S10076	
DRAWING NO.		C-0271	
SHEET NO.		A	
PROJECT NAME		SHEPHERDS BAY MEADOWBANK	
PROJECT ADDRESS		210-4 SPRING AVENUE, TULLOCH PARK NSW 2117	
PROJECT CLIENT		HOLDMARK	
PROJECT CONTACT		SHEPHERDS BAY MEADOWBANK	
PROJECT PHONE		SHEPHERDS BAY MEADOWBANK	
PROJECT EMAIL		SHEPHERDS BAY MEADOWBANK	
PROJECT WEBSITE		SHEPHERDS BAY MEADOWBANK	
PROJECT SOCIAL MEDIA		SHEPHERDS BAY MEADOWBANK	
PROJECT LOGO		SHEPHERDS BAY MEADOWBANK	
PROJECT DESCRIPTION		SHEPHERDS BAY MEADOWBANK	
PROJECT PURPOSE		SHEPHERDS BAY MEADOWBANK	
PROJECT STATUS		SHEPHERDS BAY MEADOWBANK	
PROJECT PHASE		SHEPHERDS BAY MEADOWBANK	
PROJECT BUDGET		SHEPHERDS BAY MEADOWBANK	
PROJECT RISK		SHEPHERDS BAY MEADOWBANK	
PROJECT COMPLIANCE		SHEPHERDS BAY MEADOWBANK	
PROJECT APPROVALS		SHEPHERDS BAY MEADOWBANK	
PROJECT NOTES		SHEPHERDS BAY MEADOWBANK	
PROJECT REFERENCES		SHEPHERDS BAY MEADOWBANK	
PROJECT RELATED DOCUMENTS		SHEPHERDS BAY MEADOWBANK	
PROJECT CONTACTS		SHEPHERDS BAY MEADOWBANK	
PROJECT HISTORY		SHEPHERDS BAY MEADOWBANK	
PROJECT CHANGES		SHEPHERDS BAY MEADOWBANK	
PROJECT REVISIONS		SHEPHERDS BAY MEADOWBANK	
PROJECT APPROVALS		SHEPHERDS BAY MEADOWBANK	
PROJECT SIGNATURES		SHEPHERDS BAY MEADOWBANK	
PROJECT DATES		SHEPHERDS BAY MEADOWBANK	
PROJECT LOCATIONS		SHEPHERDS BAY MEADOWBANK	
PROJECT COORDINATES		SHEPHERDS BAY MEADOWBANK	
PROJECT ELEVATIONS		SHEPHERDS BAY MEADOWBANK	
PROJECT DISTANCES		SHEPHERDS BAY MEADOWBANK	
PROJECT ANGLES		SHEPHERDS BAY MEADOWBANK	
PROJECT CURVES		SHEPHERDS BAY MEADOWBANK	
PROJECT SLOPES		SHEPHERDS BAY MEADOWBANK	
PROJECT VOLUMES		SHEPHERDS BAY MEADOWBANK	
PROJECT AREAS		SHEPHERDS BAY MEADOWBANK	
PROJECT PERIMETERS		SHEPHERDS BAY MEADOWBANK	
PROJECT CENTERS		SHEPHERDS BAY MEADOWBANK	
PROJECT POINTS		SHEPHERDS BAY MEADOWBANK	
PROJECT LINES		SHEPHERDS BAY MEADOWBANK	
PROJECT SURFACES		SHEPHERDS BAY MEADOWBANK	
PROJECT VOLUMES		SHEPHERDS BAY MEADOWBANK	
PROJECT AREAS		SHEPHERDS BAY MEADOWBANK	
PROJECT PERIMETERS		SHEPHERDS BAY MEADOWBANK	
PROJECT CENTERS		SHEPHERDS BAY MEADOWBANK	
PROJECT POINTS		SHEPHERDS BAY MEADOWBANK	
PROJECT LINES		SHEPHERDS BAY MEADOWBANK	
PROJECT SURFACES		SHEPHERDS BAY MEADOWBANK	



Sydney Office
 12 B Windsor St Sydney NSW 2000
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 E: hold@bgandehold.com
 www.bgandehold.com

SHEPHERDS BAY
 MEADOWBANK

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SIGNAGE AND LINEMARKING
 PLAN SHEET 2

S10076 C-0271 A



MATCH JOINS

LINE C-0270

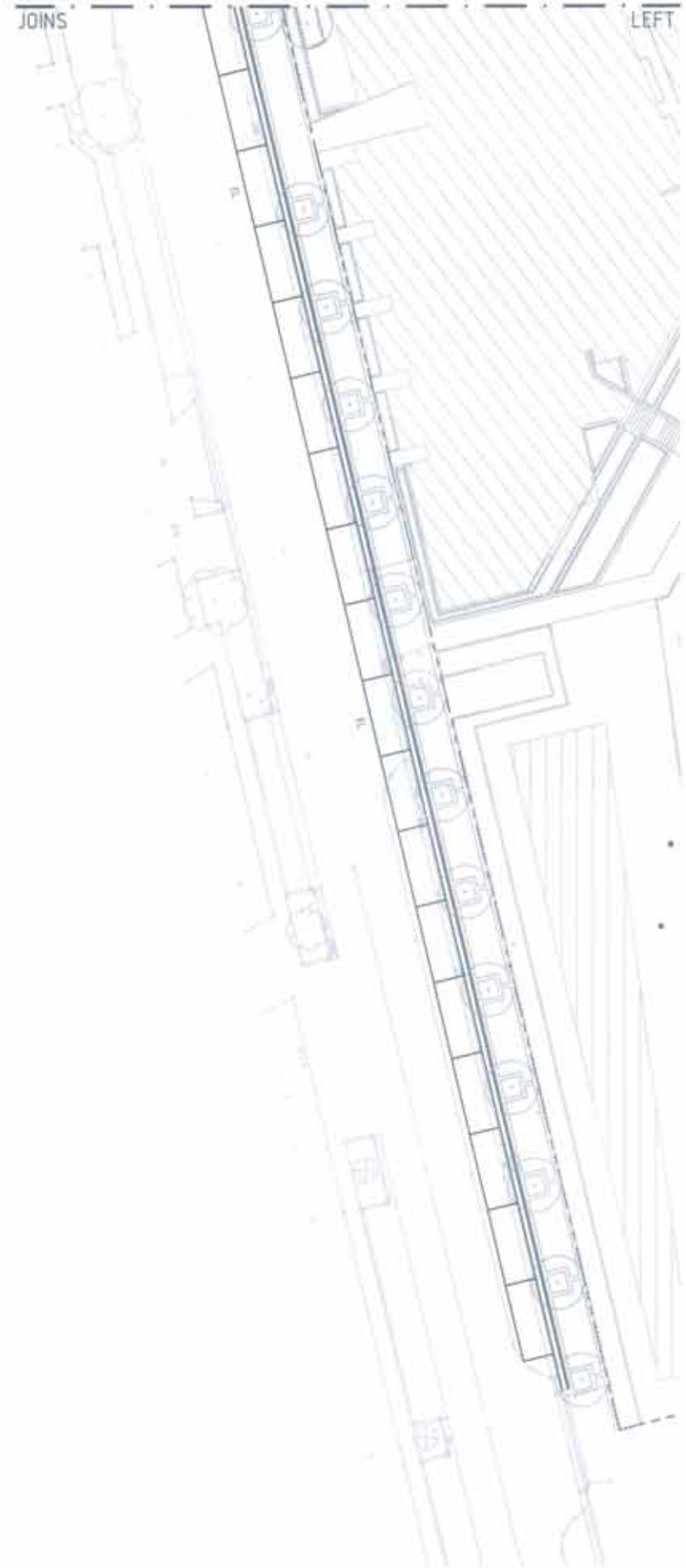


MATCH JOINS

LINE RIGHT

MATCH JOINS

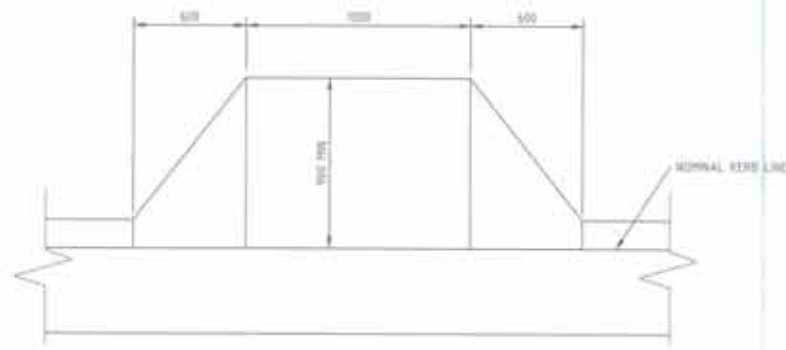
LINE LEFT



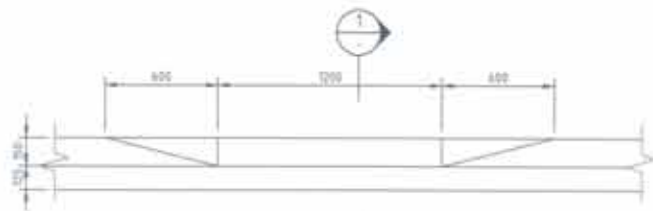
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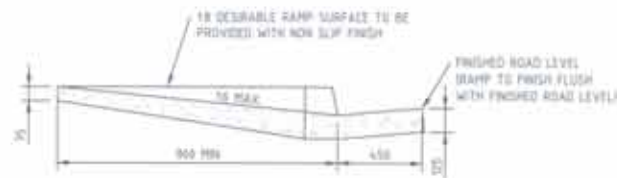
REVISED	
NO	DESCRIPTION
HOLDMARK	
S.S. LINES & KERB HEIGHTS FROM W.A. 711	
Sydney Office 12 & Woodhill St Sydney NSW 2000 P: +61 2 9739 3300 E: info@bgandamp.com www.bgandamp.com	
SHEPHERDS BAY MEADOWBANK	
PRELIMINARY ONLY NOT TO BE USED FOR CONSTRUCTION	
TO	BY
AND	DATE
SIGNAGE AND LINEMARKING PLAN SHEET 3	
S10076	C-0272
A	



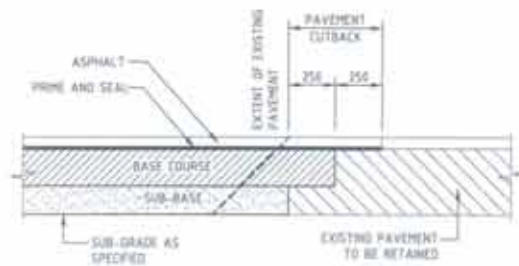
PLAN - KERB RAMP
SCALE 1:20



ELEVATION
SCALE 1:20



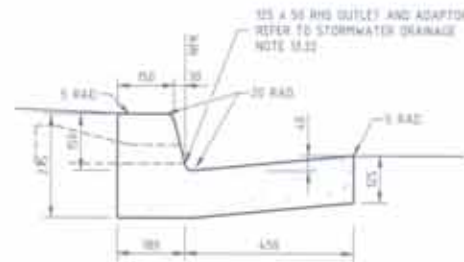
SECTION 1
SCALE 1:10



BLEND TO EXISTING PAVEMENT DETAIL
SCALE 1:20



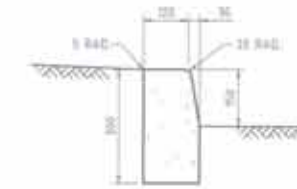
DISH DRAIN (DD)
SCALE 1:10



KERB AND GUTTER (K&G)
SCALE 1:10



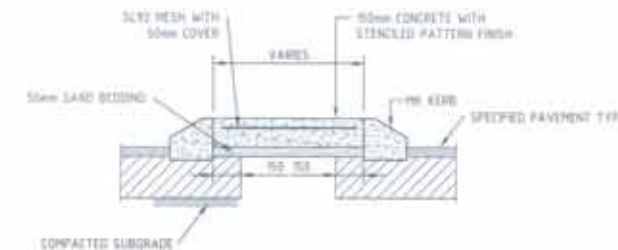
MOUNTABLE KERB (MK)
SCALE 1:10



KERB ONLY (KO)
SCALE 1:10



EDGE STRIP (ES)
SCALE 1:10



SECTION THROUGH MOUNTABLE ISLAND
SCALE 1:20

NO.	DATE	REVISION

HOLDMARK
 11-11-2019
 11-11-2019

Sydney Office
 12 B Wharf Rd Sydney NSW 2000
 P: +61 2 9799 3300
 E: info@bgandae.com
 www.bgandae.com

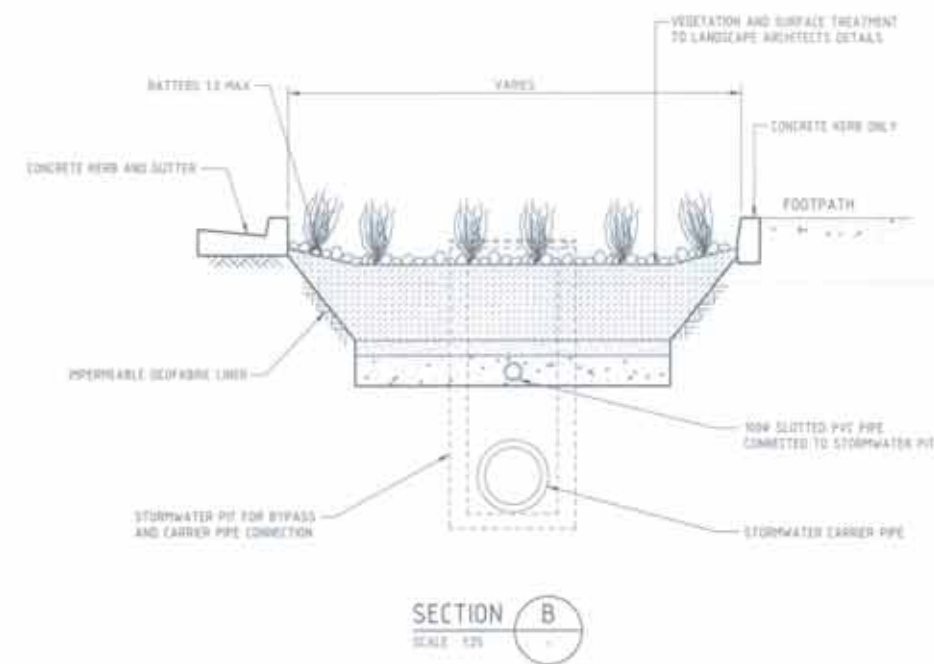
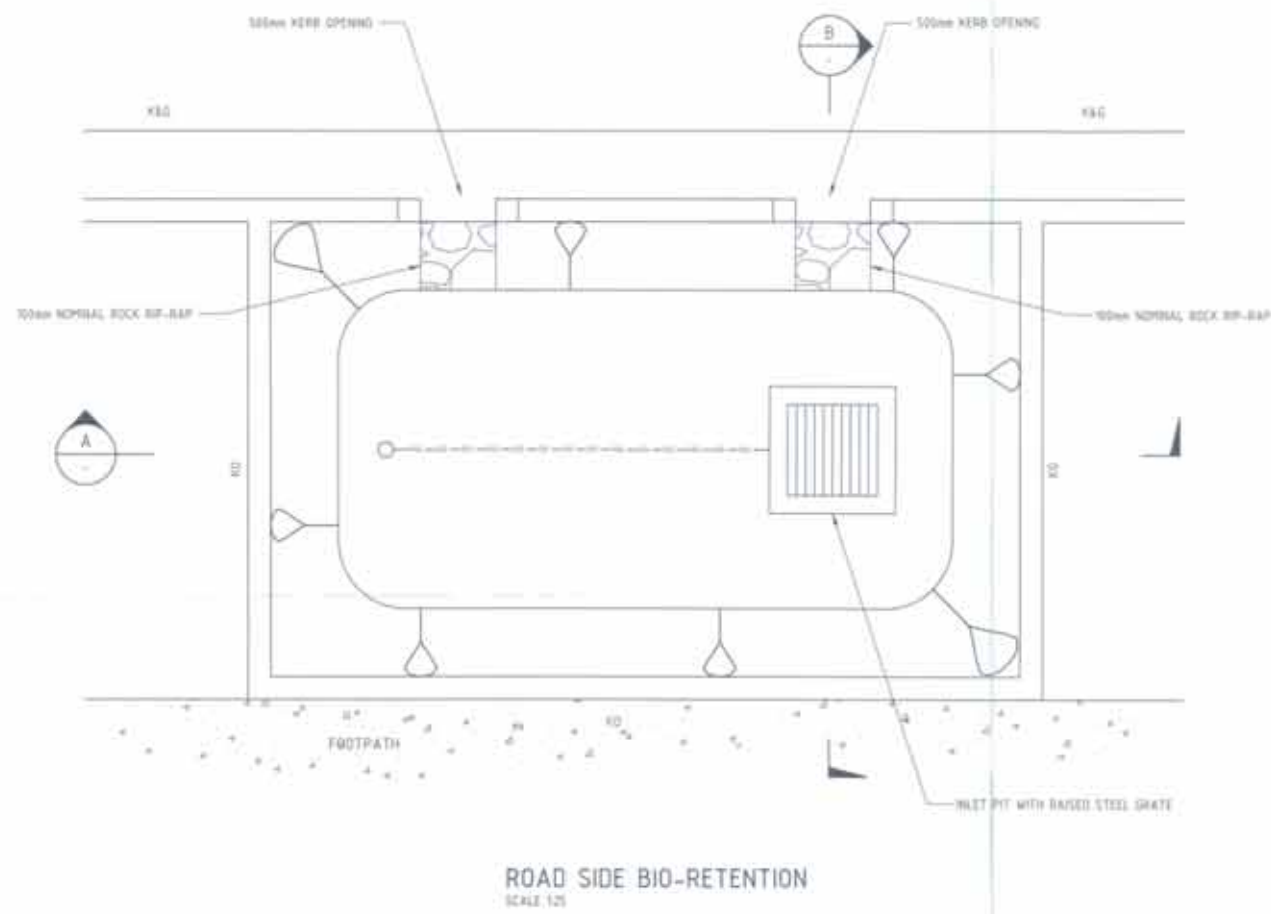
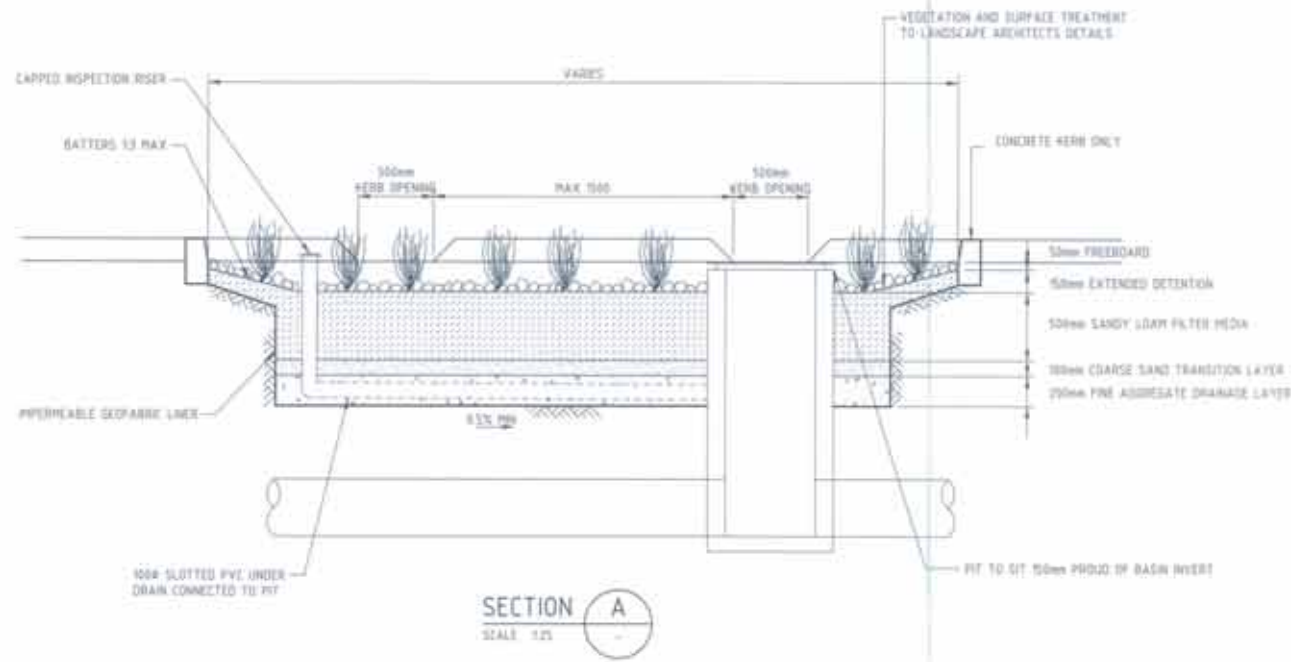


SHEPHERDS BAY
 MEADOWBANK

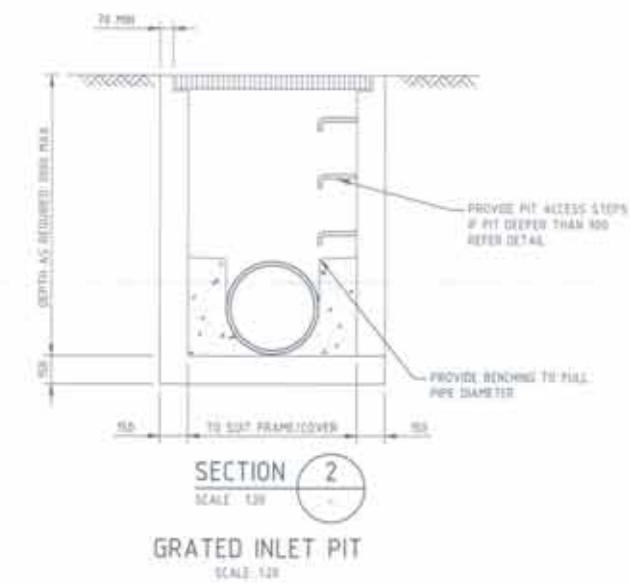
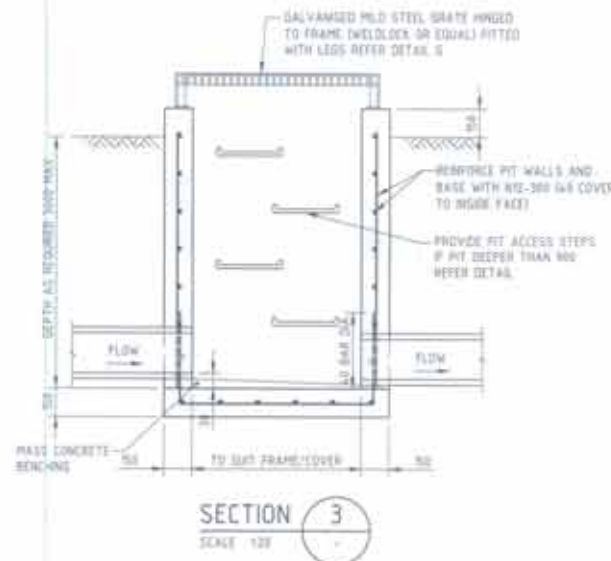
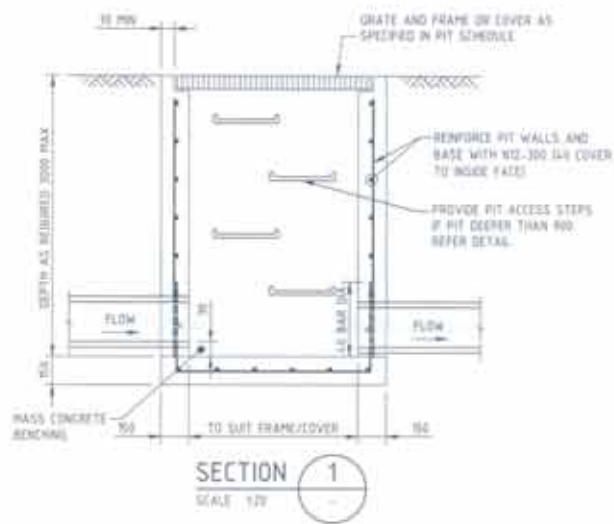
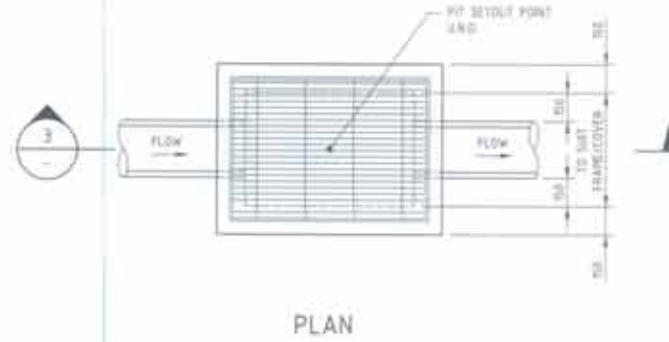
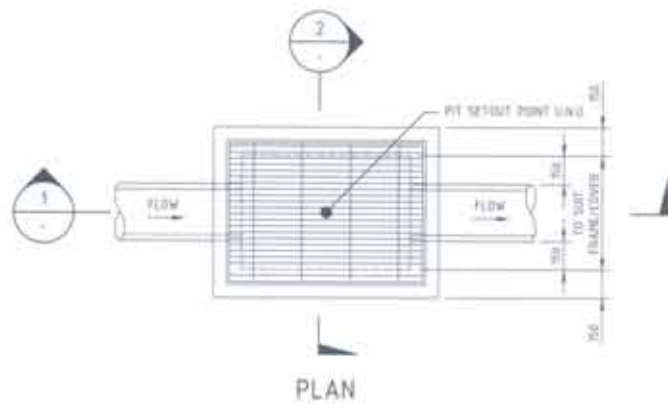
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DETAILS SHEET 1

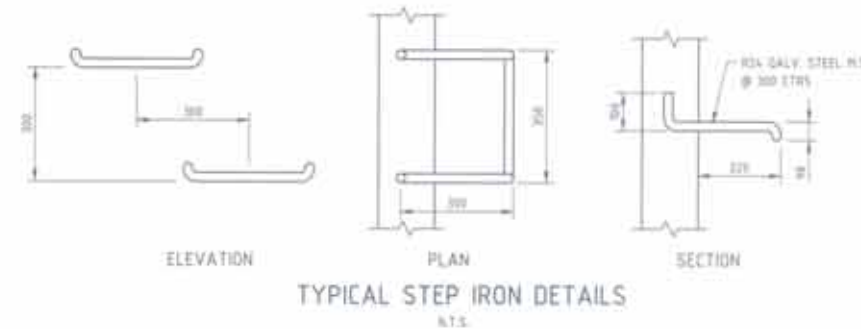
S10076 C-0280 A



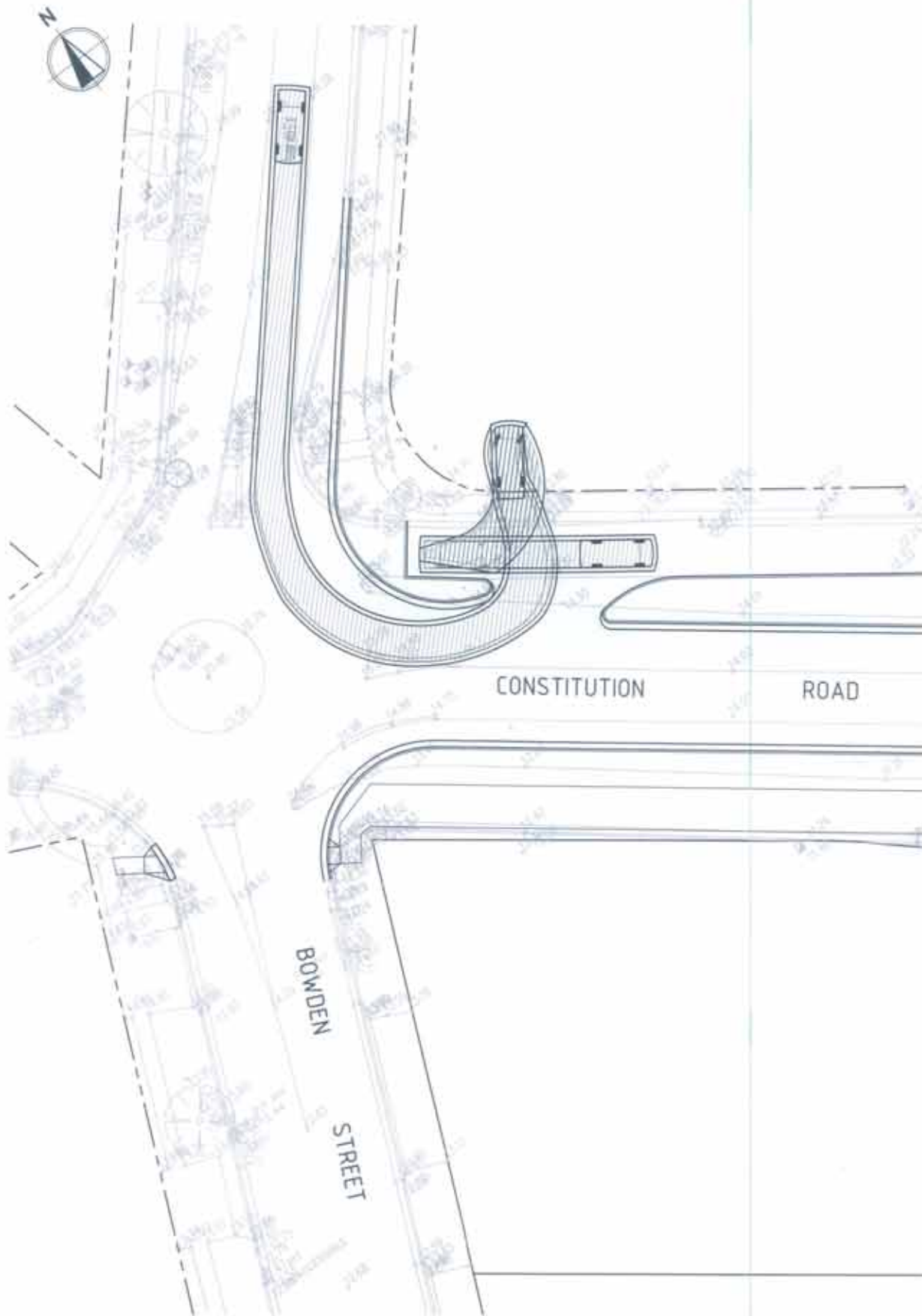
REVISIONS	
NO.	DESCRIPTION
HOLDMARK 1/3 - 8/2000 K&E INC. PROJECTS P&E NSW LTD	
Sydney Office L2 9 Windsor St Sydney NSW 2000 P: +61 2 9770 3300 F: +61 2 9770 3300 A: info@hldmark.com.au hldmark.com.au	
	
SHEPHERDS BAY MEADOWBANK	
PRELIMINARY ONLY NOT TO BE USED FOR CONSTRUCTION	
DATE	BY
DATE	BY
DETAILS SHEET 2	
PROJECT NO.	REVISION NO.
S10076	C-0281
SHEET NO. A	



GRADED PIT WITH RAISED STEEL GRATE DETAIL
SCALE: 1/2"



REVISIONS	
NO.	DESCRIPTION
HOLDMARK CIVIL ENGINEERING & ARCHITECTURE 1/200 WINDUP DR SYDNEY NSW 2000 P: +61 2 9770 3300 F: +61 2 9770 3300 E: hold@holdmark.com www.holdmark.com	
Sydney Office BG & E	
SHEPHERDS BAY MEADOWBANK	
PRELIMINARY ONLY NOT TO BE USED FOR CONSTRUCTION	
DATE	BY
DATE	BY
DETAILS SHEET 3	
PROJECT NO.	
S10076	
DETAILS NO.	
C-0282	
REV.	
A	

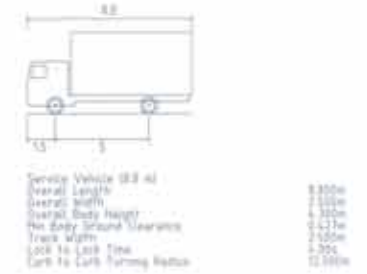


PLAN - PASSENGER VEHICLE (5.2m)
SCALE 1:200



PLAN - SERVICE VEHICLE (8.8m)
SCALE 1:200

LEGEND



NO.	DATE	DESCRIPTION	BY
REVISIONS			

HOLDMARK

22-4 SHEPHERS BAY, INDCORE PARK 650-210

Sydney Office
12 B Woodhill St Sydney NSW 2000
P: +61 2 9799 3300
E: info@bgae.com
bgae.com



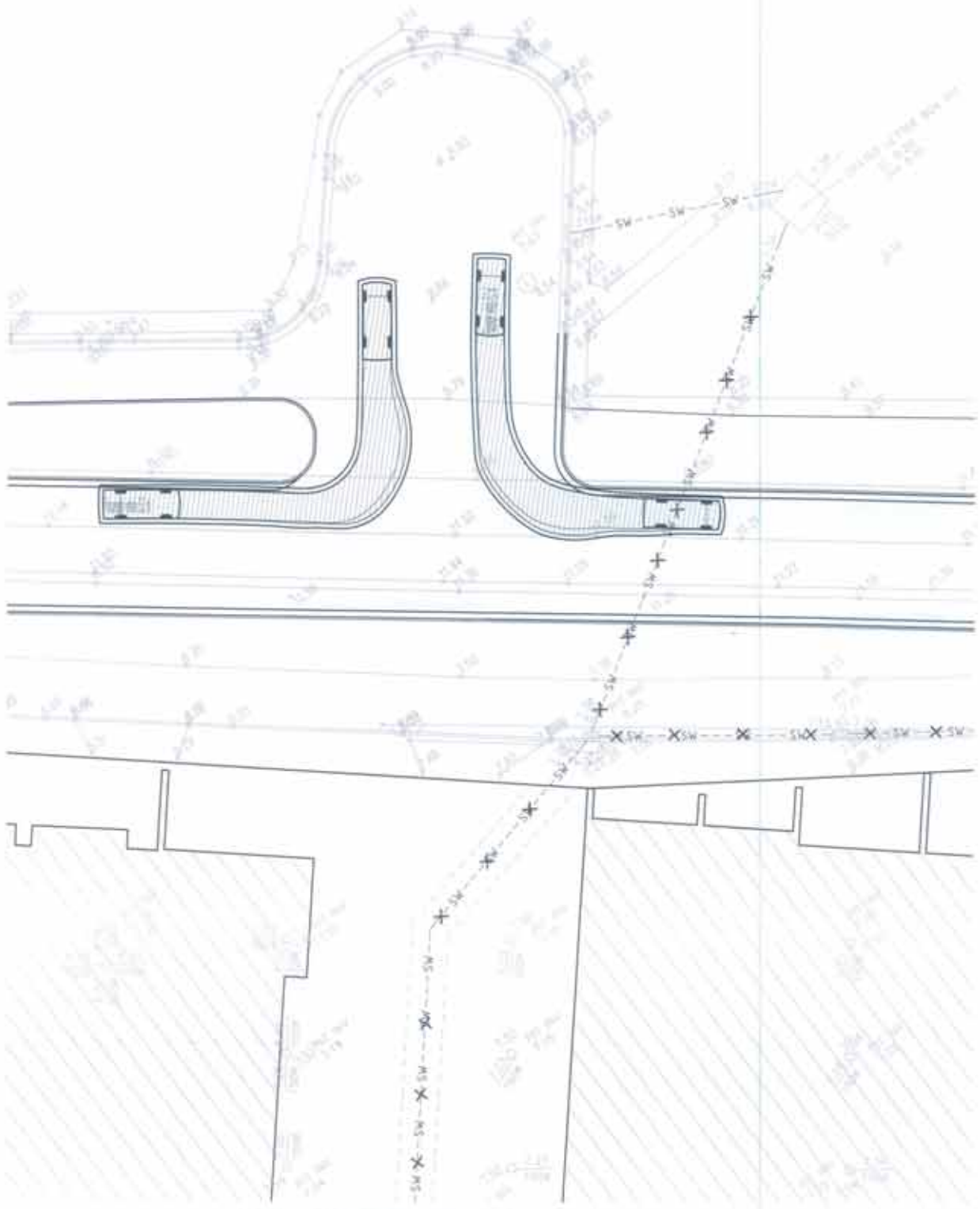
SHEPHERS BAY
MEADOWBANK

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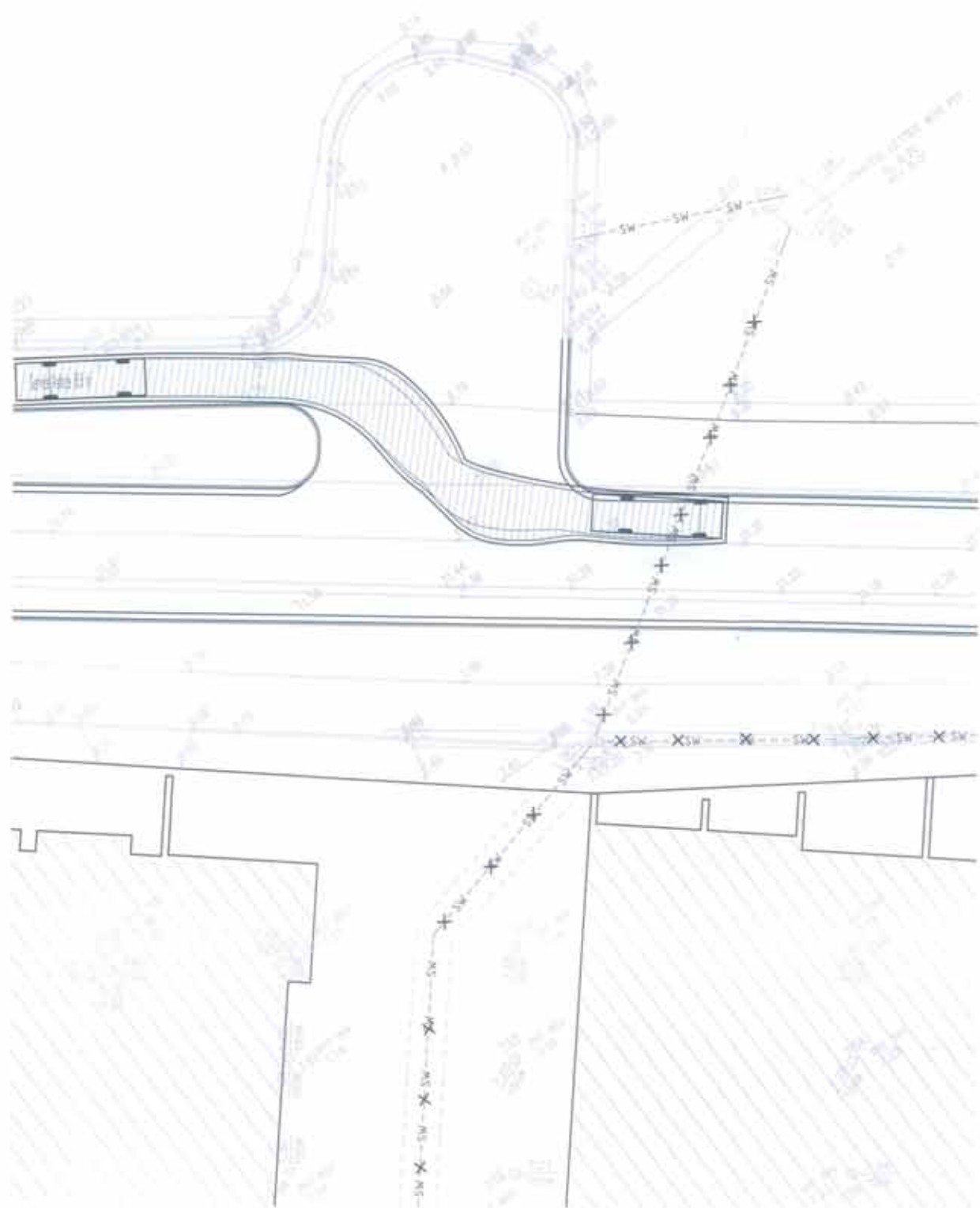
NO.	DATE	DESCRIPTION	BY

TURNING PATH PLAN
SHEET 1

S10076 C-0290 A

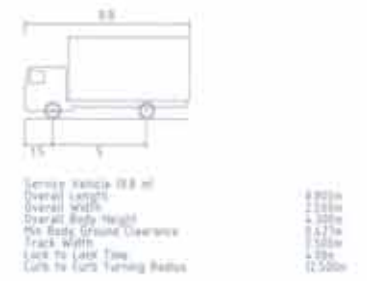


PLAN - PASSENGER VEHICLE (5.2m)
SCALE 1:200



PLAN - SERVICE VEHICLE (8.8m)
SCALE 1:200

LEGEND



NO.	DATE	DESCRIPTION	BY	CHKD
REVISIONS				

HOLDMARK
210 x 300mm (width) (height) FROM 000 000

Sydney Office
12 B Wentworth Sydney NSW 2000
P: +61 2 9700 1000
E: info@bgandc.com.au
www.bgandc.com.au



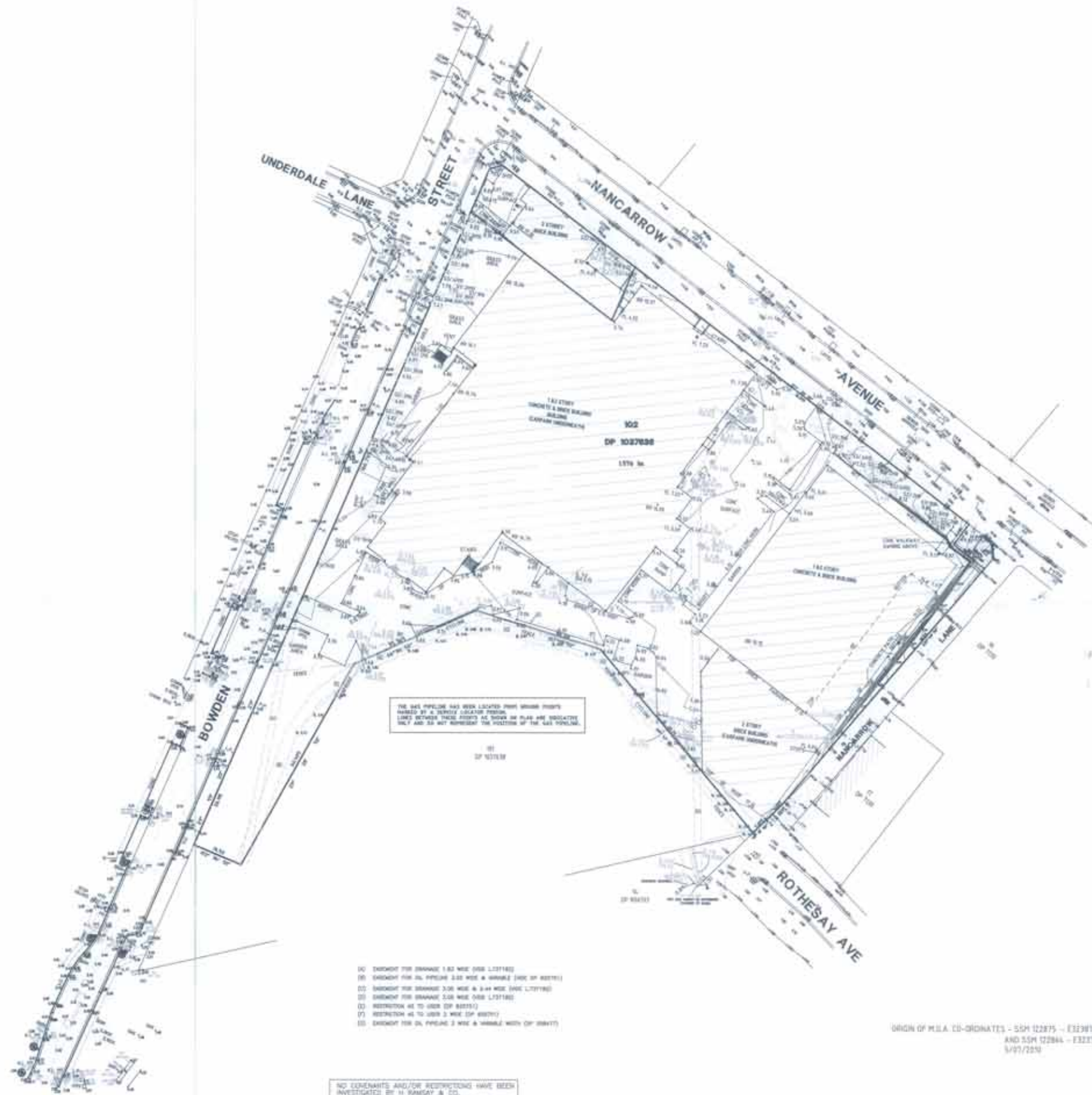
SHEPHERDS BAY
MEADOWBANK

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NO.	DATE	DESCRIPTION	BY	CHKD
AHD	MGA	1200		31 00

TURNING PATH PLAN
SHEET 2

S10076 C-0291 A



NOTES:
 INTERNAL DETAIL AND LEVELS BY SpharSurv Surveyors.
 DIAMETER, HEIGHT & SPREAD OF TREES ARE APPROXIMATE ONLY
 NO BOUNDARY SURVEY HAS BEEN CARRIED OUT.
 DETAIL ON THIS PLAN HAS BEEN LOCATED FOR PLOTTING PURPOSES ONLY
 SERVICES ETC. UNLESS NOTED HAVE NOT BEEN LOCATED
 SERVICES SHOWN ARE INDICATIVE ONLY. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN. THEREFORE, FIELD CONFIRMATION OF THE EXACT POSITION SHOULD BE MADE PRIOR TO COMMENCEMENT OF ANY EXCAVATION.
 ANY POINT OR FEATURE CRITICAL TO THE PREPARATION OF PLANS AND/OR CONSTRUCTION SHOULD BE ACCURATELY LOCATED PRIOR TO COMPLETION OF THESE PLANS AND/OR COMMENCEMENT OF CONSTRUCTION
 DIMENSIONS & AREA HAVE BEEN TAKEN FROM DP 1037638
 DESIGN OF LEVELS: GSH 1044 TO 255 (AHS) (CLASS C ORDER L)
 USE STATED DIMENSIONS. DO NOT SCALE.

- D0: EXHUMPT FOR DRAINAGE 1.82 WIDE OVER L231182
- D1: EXHUMPT FOR GAS PIPELINE 2.00 WIDE & VARIABLE (SIDE OF BOWDEN)
- D2: EXHUMPT FOR DRAINAGE 3.00 WIDE & 2.44 HIGH (SIDE CLIPPING)
- D3: EXHUMPT FOR DRAINAGE 2.00 WIDE OVER L231182
- D4: RESTRICTION AS TO USE OF BOWDEN
- D5: RESTRICTION AS TO USE OF 2 WIDE (DP 1037638)
- D6: EXHUMPT FOR GAS PIPELINE 2 WIDE & VARIABLE WIDTH (DP 1037638)

NO COVENANTS AND/OR RESTRICTIONS HAVE BEEN INVESTIGATED BY H RAMSAY & CO.

ORIGIN OF M.S.A. CO-ORDINATES - 55M 122875 - E329619.375, N625426.894 (CLASS C ORDER 3)
 AND 55M 122844 - E329745.396, N6256407.178 (CLASS C ORDER 3)
 5/07/2014

<p>© THIS PLAN & THE INFORMATION CONTAINED HEREON REMAINS THE PROPERTY OF H RAMSAY & COMPANY AND MUST NOT BE COPIED IN WHOLE OR PART WITHOUT THE WRITTEN CONSENT OF H RAMSAY & COMPANY & IS NOT TO BE USED FOR ANY OTHER PURPOSE THAN FOR THAT WHICH IT HAS BEEN PREPARED THIS PLAN HAS BEEN PREPARED FOR THE SOLE USE OF THE INSTRUCTING PARTY & FOR THEIR NAMED CLIENT</p>	<p>AMENDMENTS</p> <table border="1"> <thead> <tr> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> </tr> </tbody> </table>		DATE	DESCRIPTION			<p>L.G.A RYDE</p> <p>LOCALITY: RYDE</p>	<p>INSTRUCTED BY: MR G YOUSSEF</p> <p>RE: HOLDMARK DEVELOPMENTS P/L</p>	<p>H RAMSAY & CO. SURVEYORS EST. 1962</p> <p>H Ramsay & Company Pty Limited ACN 009 967 817 CARLINGFORD CENTRAL SUITE 15, 241-245 FENWANT HILLS RD, CARLINGFORD NSW 2118 P.O. BOX 9082 HARRIS PARK NSW 2150 PH (02) 9635 5840 FAX (02) 9608 0027 EMAIL: surveyor@hramsays.com.au www.hramsays.com.au</p>	<p>PLAN SHOWING DETAIL AND LEVELS OVER LOT 2 DP 792836 AND LOT 102 DP 1037638 BOWDEN STREET, NANCARROW AVENUE AND NANCARROW LANE SHEPHERDS BAY</p>	<p>SCALE 1:500 NAT DATUM AND SURVEY GCS NM DRAW P/B CSM DATE 12/02/2014 DWR REF 0101/14 SHEET 1 OF 1 SHEETS</p>
	DATE	DESCRIPTION									
<p>819</p>											