

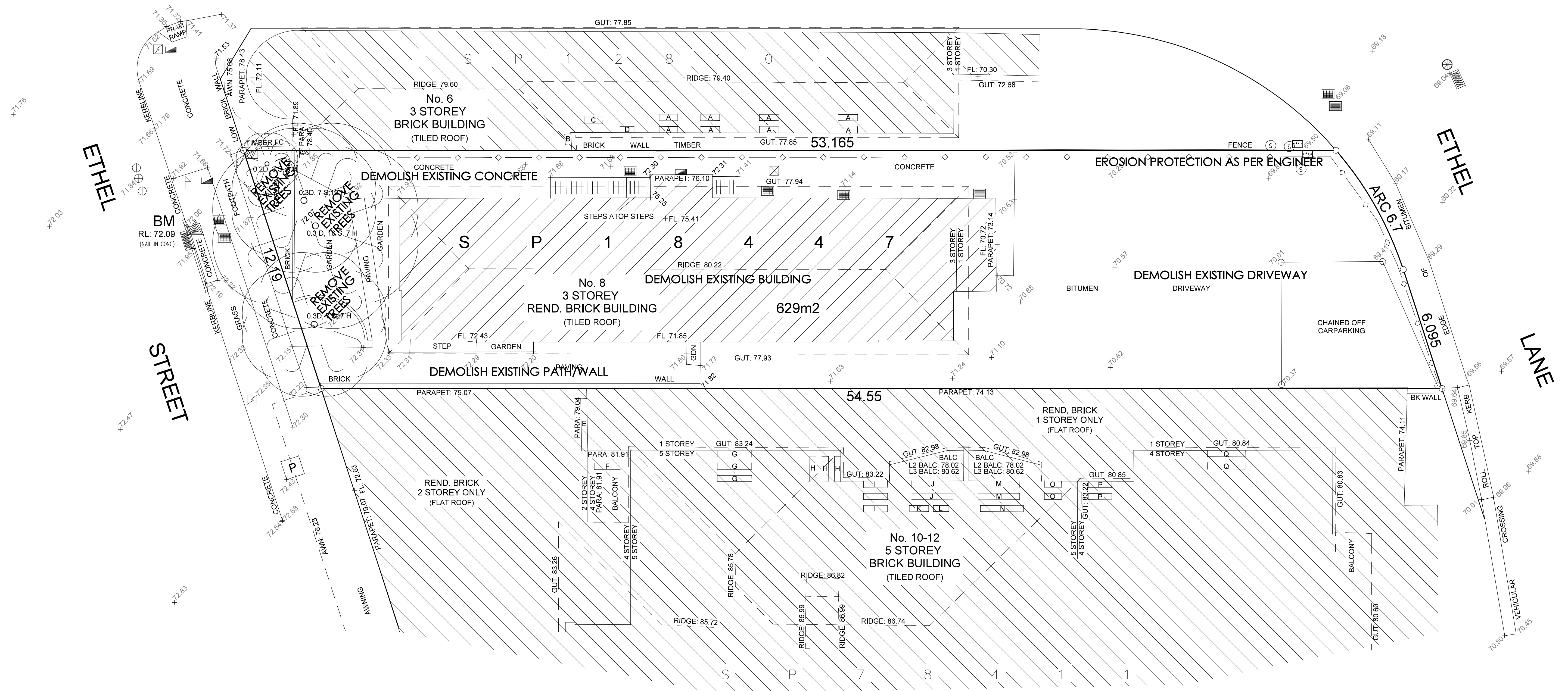


SITE ANALYSIS PLAN
SCALE 1:100

DRAWING SITE ANALYSIS				PROJECT PROPOSED MIXED COMMERCIAL AND SHOP-TOP HOUSING DEVELOPMENT				REV. REVISION DESCRIPTION		DATE		REV. REVISION DESCRIPTION		DATE		REV. REVISION DESCRIPTION		DATE		NOTES					
DATE MARCH, 2021		DRAWN A.P.G.		AT 8 ETHEL STREET STRATA PLAN SP.18447 EASTWOOD NSW 2122				FOR MR RON WANG												FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALING. ANY DISCREPANCIES TO BE CHECKED WITH THE AUTHOR PRIOR TO COMMENCING WORK. ALL LOCAL GOVERNMENT REGULATIONS, BUILDING CODE OF AUSTRALIA AND OTHER CODES AND STANDARDS SHALL BE COMPLIED WITH IN THE WORKS. THESE DRAWINGS ARE PROTECTED BY COPYRIGHT.					
REF. FILES\RON-ETHEL\DAPLANI																									
DRAWING No. 19059		EX. DA										YEAR 21		REV. -											

ETHEL LANE

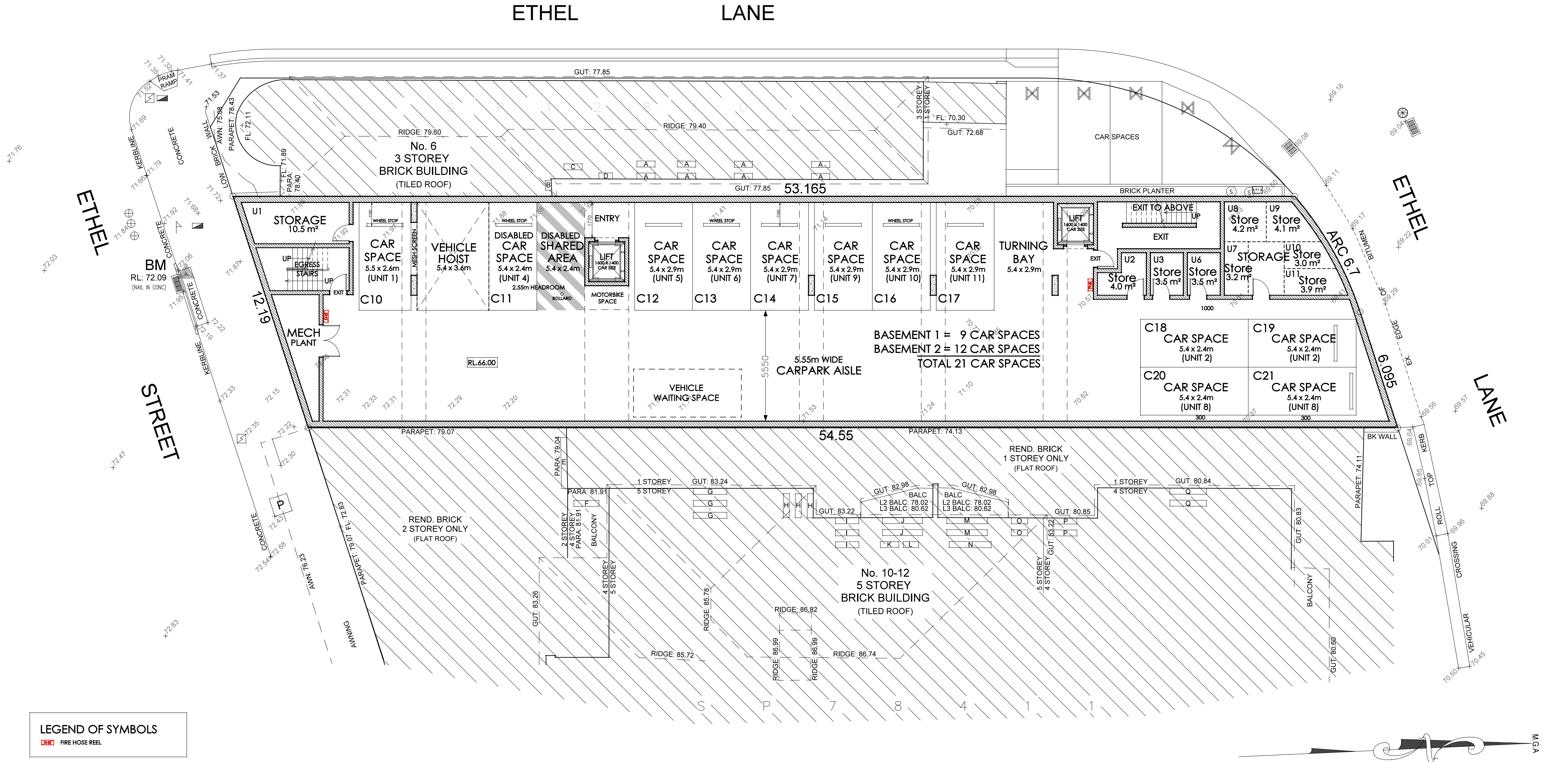


DEMOLITION PLAN

SCALE 1:100

A1 SHEET

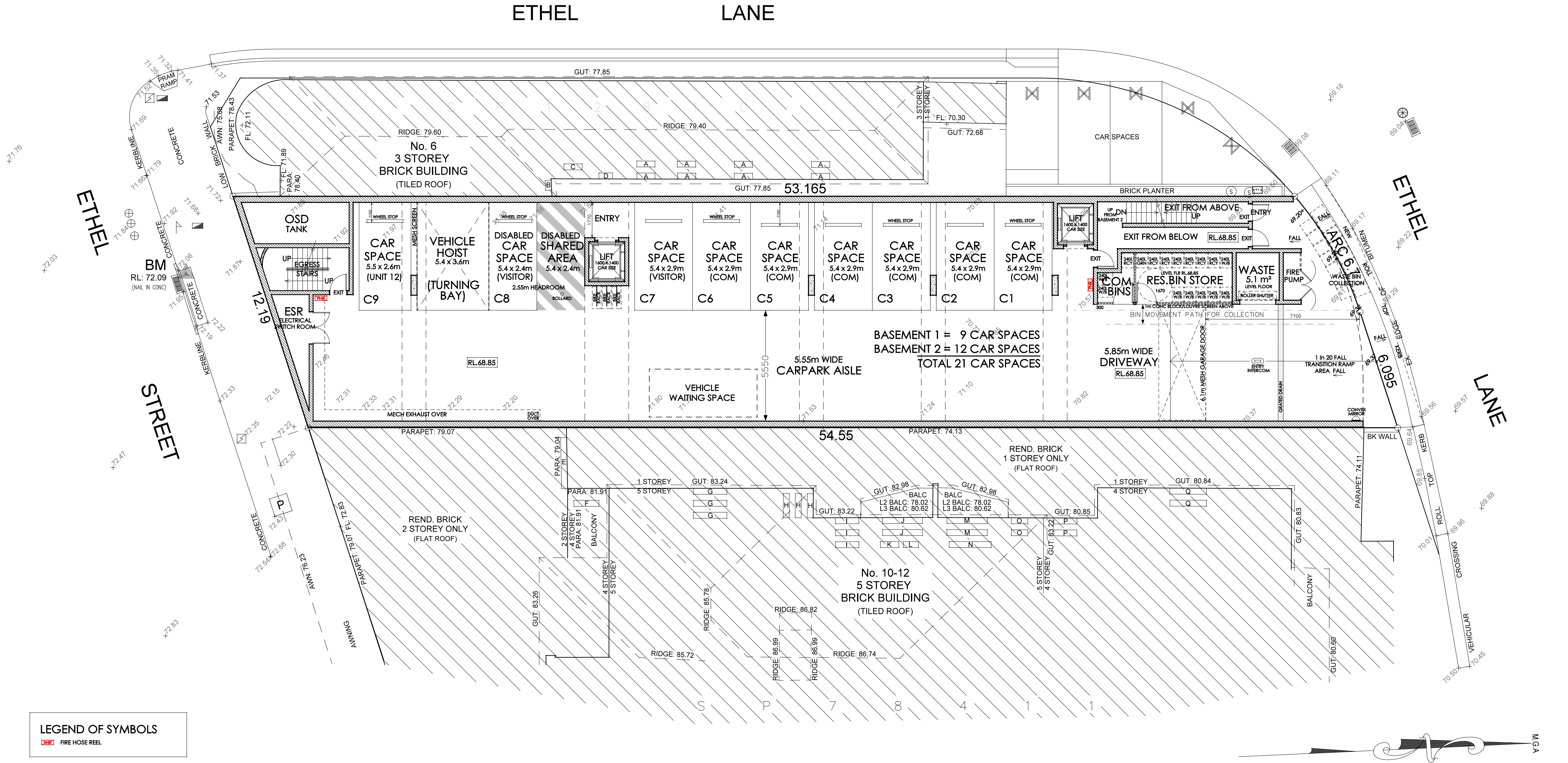
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LOWER BASEMENT PLAN
SCALE 1:100

A1 SHEET

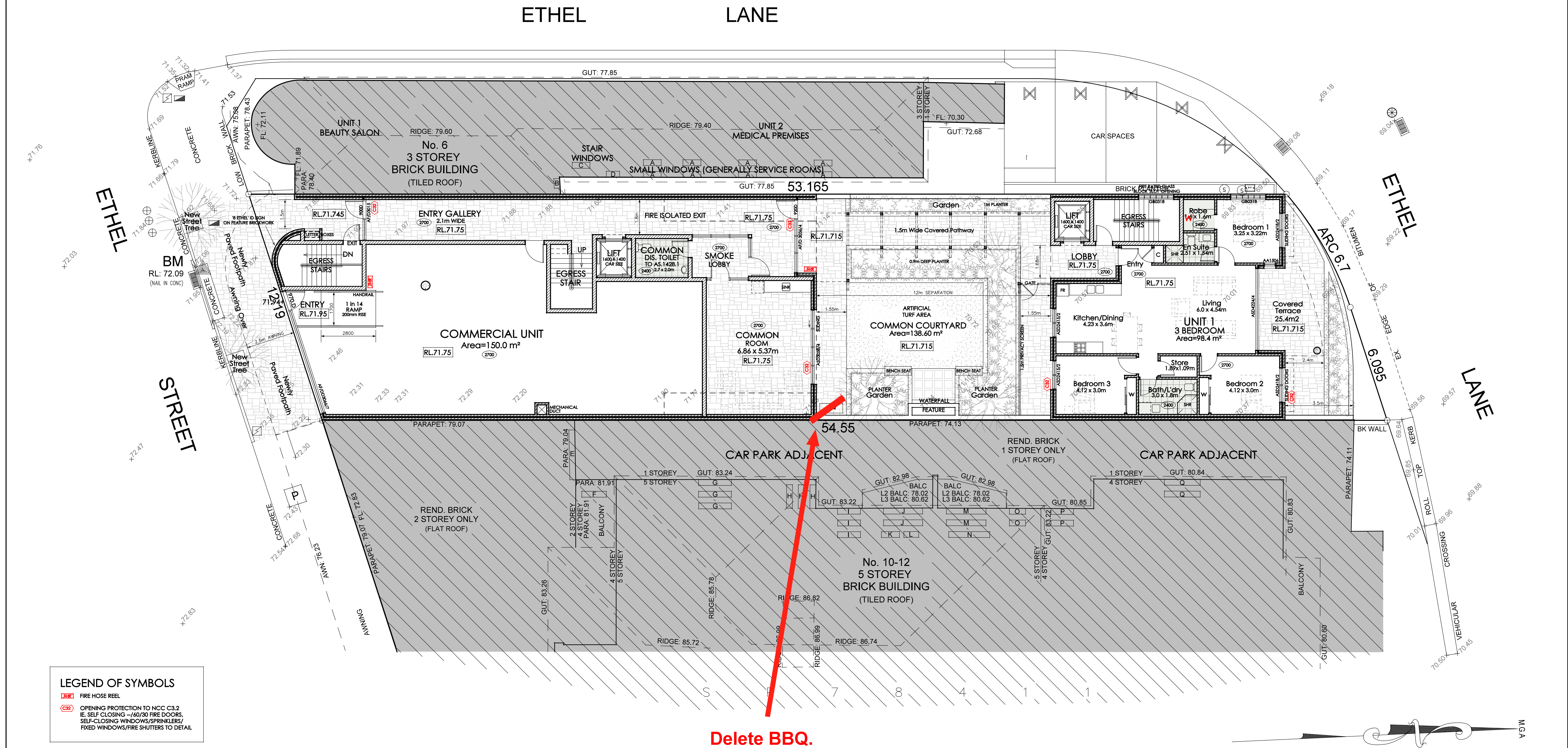
<div>DRAWING</div> <div>LOWER BASEMENT</div>				<div>PROJECT</div> <div>PROPOSED MIXED COMMERCIAL AND SHOP-TOP HOUSING DEVELOPMENT</div>				<div>REV.</div> <div>REVISION DESCRIPTION</div> <div>A</div> <div>REVISED DA DESIGN SUBMISSION</div> <div>B</div> <div>REVISED DA DESIGN SUBMISSION</div> <div>C</div> <div>MINOR DETAIL NOTATION/REVISIONS</div>		<div>DATE</div> <div>OCT. 2021</div> <div>FEB. 2022</div> <div>APRIL, 2022</div>		<div>REV.</div> <div>REVISION DESCRIPTION</div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> 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BASEMENT FLOOR PLAN

SCALE 1:100

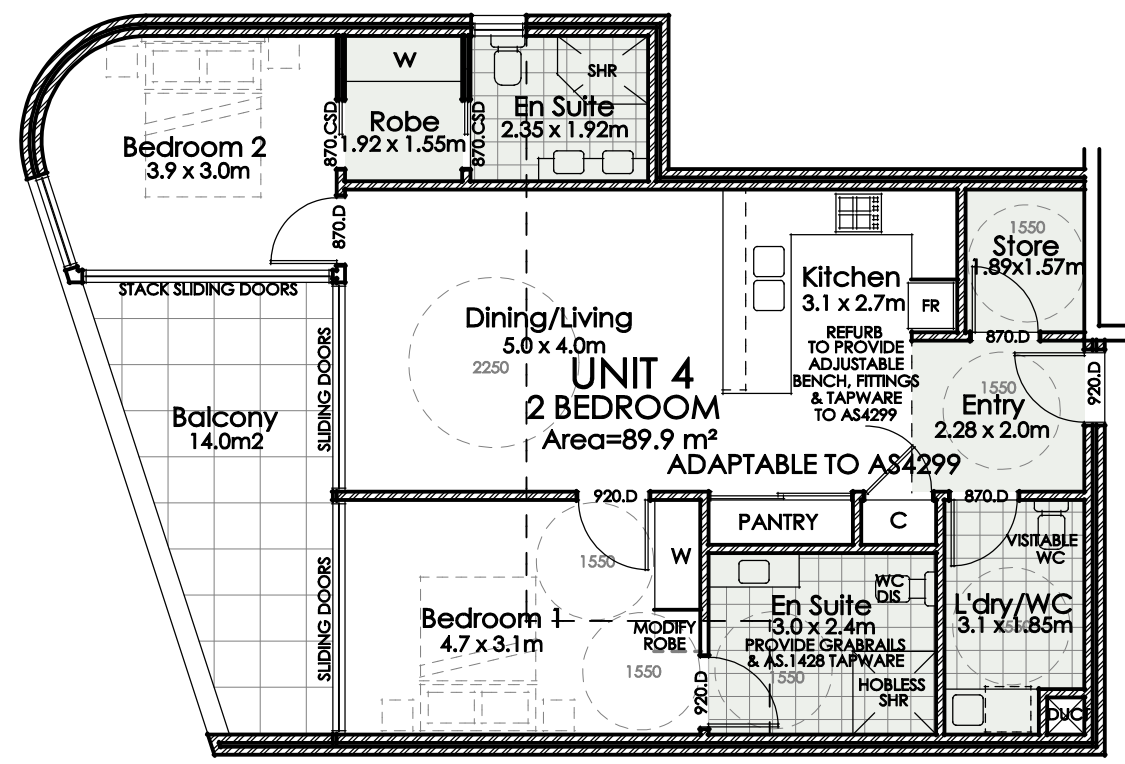
Table of Areas															Site Area 629 m2	
Unit No#	Com Unit	1	2	3	4	5	6	7	8	9	10	11	12	Common	Total	F.S.R
Bedrooms		3	3	1	2	1	2	2	2	2	2	2	1 -		23	
Floor Area (m2)	150	98.4	98.4	53.6	89.9	41.8	72.1	75.8	90.5	72.1	75.8	90.5	60.4	36.8	1106.1	1.75 : 1
Balcony/ Terr (m2)		25.4	12	10	14	10	26.3	30.9	21	12.4	12.4	12	8.4	219	413.8	
Car Parking	6	1	2	0	1	1	1	1	2	1	1	1	1	2	21	



SITE & GROUND FLOOR PLAN
SCALE 1:100

A1 SHEET

DRAWING GROUND FLOOR PLAN		PROJECT PROPOSED MIXED COMMERCIAL AND SHOP-TOP HOUSING DEVELOPMENT				REV. REVISION DESCRIPTION DATE REV. REVISION DESCRIPTION DATE REV. REVISION DESCRIPTION DATE				NOTES FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALING. ANY DISCREPANCIES TO BE CHECKED WITH THE AUTHOR PRIOR TO COMMENCING WORK. ALL LOCAL GOVERNMENT REGULATIONS, BUILDING CODE OF AUSTRALIA AND OTHER CODES AND STANDARDS SHALL BE COMPLIED WITH IN THE WORKS. THESE DRAWINGS ARE PROTECTED BY COPYRIGHT.		MOMENTUM ARCHITECTS UNIT 20, 22 HUDSON AVE, CASTLE HILL, NSW 2154, AUSTRALIA P: 02 8850 6821 E: MOMARCH@BIGPOND.COM JOHN G. BOURKE, B.A.R.C.H. (HONS), A.R.A.I.A. DIP. C.D. (HONS), A.S.T.C. (HONS), P.D.C., N.S.W. REG. #2426
DATE APRIL, 2022	DRAWN A.P.G	AT 8 ETHEL STREET STRATA PLAN SP.18447 EASTWOOD NSW 2122				A REVISED DA DESIGN SUBMISSION OCT. 2021						
REF. FILES\RON-ETHEL\DAPLAN4		FOR MR RON WANG				B REVISED DA DESIGN SUBMISSION FEB. 2022						
DRAWING No. 19062	EX. DA	YEAR 21	REV. C					C MINOR DETAIL NOTATION/REVISIONS APRIL, 2022				



UNIT 4: POST AS4299 ADAPTION PLAN

ETHEL LANE

GLAZING/INSULATION SPECIFICATION NOTES

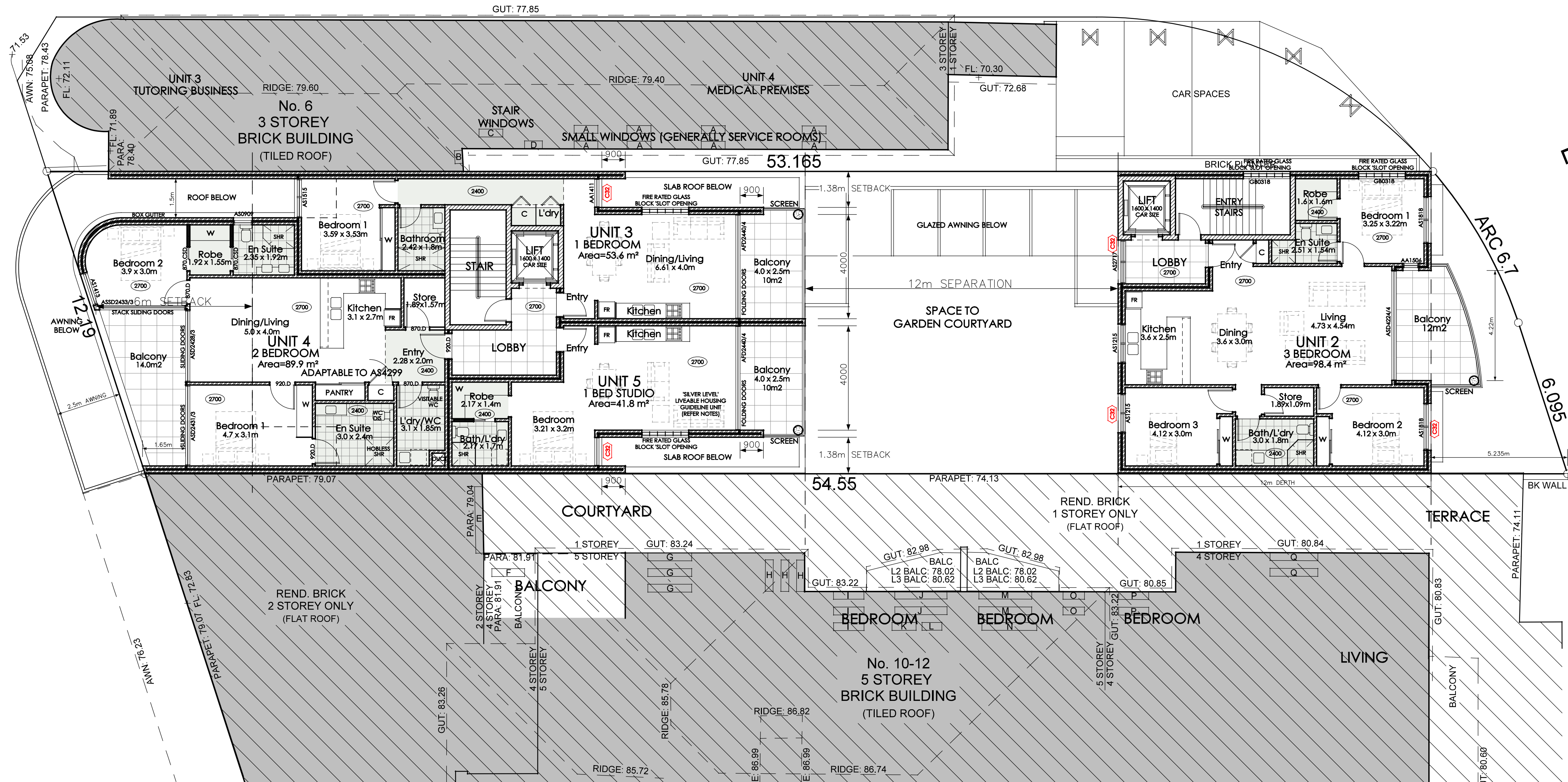
WINDOWS/GLAZED DOORS	RES. UNITS 4 & 12 ALL OTHER RES. UNITS	DOUBLE GLAZED / ALUMINIUM FRAMED SINGLE GLAZED / ALUMINIUM FRAMED	COLOUR SPECIFICATIONS BASED ON BASIX PROTOCOL 2017	
			U-VALUE 4.3 U-VALUE 6.7	SHGC 0.47 SHGC 0.7
EXTERNAL/INTERNAL WALLS	RES. UNIT 12 EXTERNAL WALLS ALL OTHER RES. UNITS ALL INTERNAL WALLS ALL PARTY WALLS ALL COMMON AREA WALLS	270mm CAVITY BRICK 270mm CAVITY BRICK 110mm SINGLE BRICK 270mm CAVITY BRICK 270mm CAVITY BRICK	R.2.0 INSULATION R.1.5 INSULATION NO INSULATION NO INSULATION R.1.5 INSULATION	MEDIUM (0.30 < 0.85) COLOUR MEDIUM (0.30 < 0.85) COLOUR COLOUR N / A COLOUR N / A COLOUR N / A
FLOORS	ALL FLOORS ABOVE ANOTHER RESIDENTIAL FLOOR ALL RESIDENTIAL FLOORS ABOVE BASEMENT, COMM. & COMMON AREAS OF UNITS 1, 3, 4 & 5	CONCRETE CONSTRUCTION CONCRETE CONSTRUCTION	NO INSULATION R.1.5 INSULATION	FLOOR COVERING NOT SPECIFIED FLOOR COVERING NOT SPECIFIED
CEILINGS & ROOFS	ALL CEILINGS UNDER ANOTHER FLOOR ALL CEILINGS UNDER ROOF OF UNIT 12 ALL OTHER CEILINGS UNDER ROOF ALL ROOFS	CONCRETE CONSTRUCTION PLASTERBOARD CONSTRUCTION PLASTERBOARD CONSTRUCTION METAL CLADDING	NO INSULATION R.3.5 INSULATION R.2.5 INSULATION NO INSULATION	COLOUR N / A COLOUR N / A COLOUR N / A MEDIUM (0.30 < 0.85) COLOUR

ETHEL

STREET

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LANE



LEGEND OF SYMBOLS

OPENING PROTECTION TO NCC C3.2
IE. SELF CLOSING -/60/30 FIRE DOORS,
SELF-CLOSING WINDOWS/SPRINKLERS/
FIXED WINDOWS/FIRE SHUTTERS TO DETAIL

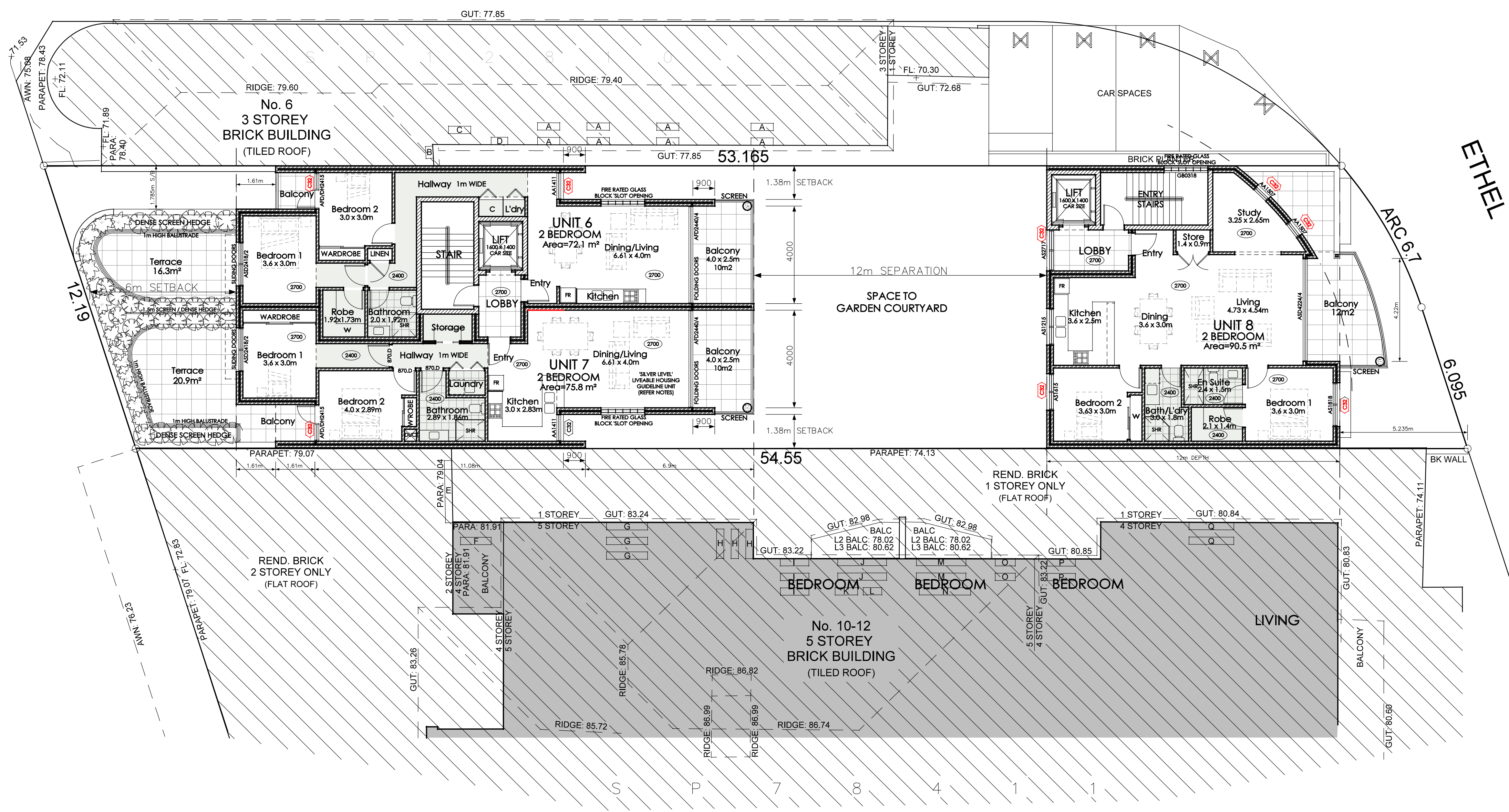
FIRST FLOOR PLAN

SCALE 1:100

A1 SHEET

DRAWING FIRST FLOOR PLAN	PROJECT PROPOSED MIXED COMMERCIAL AND SHOP-TOP HOUSING DEVELOPMENT	REV. A REVISED DA DESIGN SUBMISSION OCT. 2021	REV. B REVISED DA DESIGN SUBMISSION FEB. 2022	REV. C MINOR DETAIL NOTATION/REVISIONS APRIL, 2022	DATE OCT. 2021	DATE FEB. 2022	DATE APRIL, 2022	NOTES FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALING. ANY DISCREPANCIES TO BE CHECKED WITH THE AUTHOR PRIOR TO COMMENCING WORK. ALL LOCAL GOVERNMENT REGULATIONS, BUILDING CODE OF AUSTRALIA AND OTHER CODES AND STANDARDS SHALL BE COMPLIED WITH IN THE WORKS. THESE DRAWINGS ARE PROTECTED BY COPYRIGHT.	UNIT 20, 22 HUDSON AVE, CASTLE HILL NSW 2154 P. 02 8850 6821 E.MOMARCH@BIGPOND.COM
DATE APRIL, 2022	DRAWN A.P.G	REF. FILES\RON-ETHEL\DAPLAN4	AT 8 ETHEL STREET STRATA PLAN SP.18447 EASTWOOD NSW 2122	FOR MR RON WANG					
DRAWING No. 19063	EX. DA	YEAR 21	REV. C						

ETHEL LANE



LEGEND OF SYMBOLS

(C3.2) OPENING PROTECTION TO NCC C3.2, IE. SELF CLOSING -/60/30 FIRE DOORS, SELF-CLOSING WINDOWS/SPRINKLERS/FIXED WINDOWS/FIRE SHUTTERS TO DETAIL

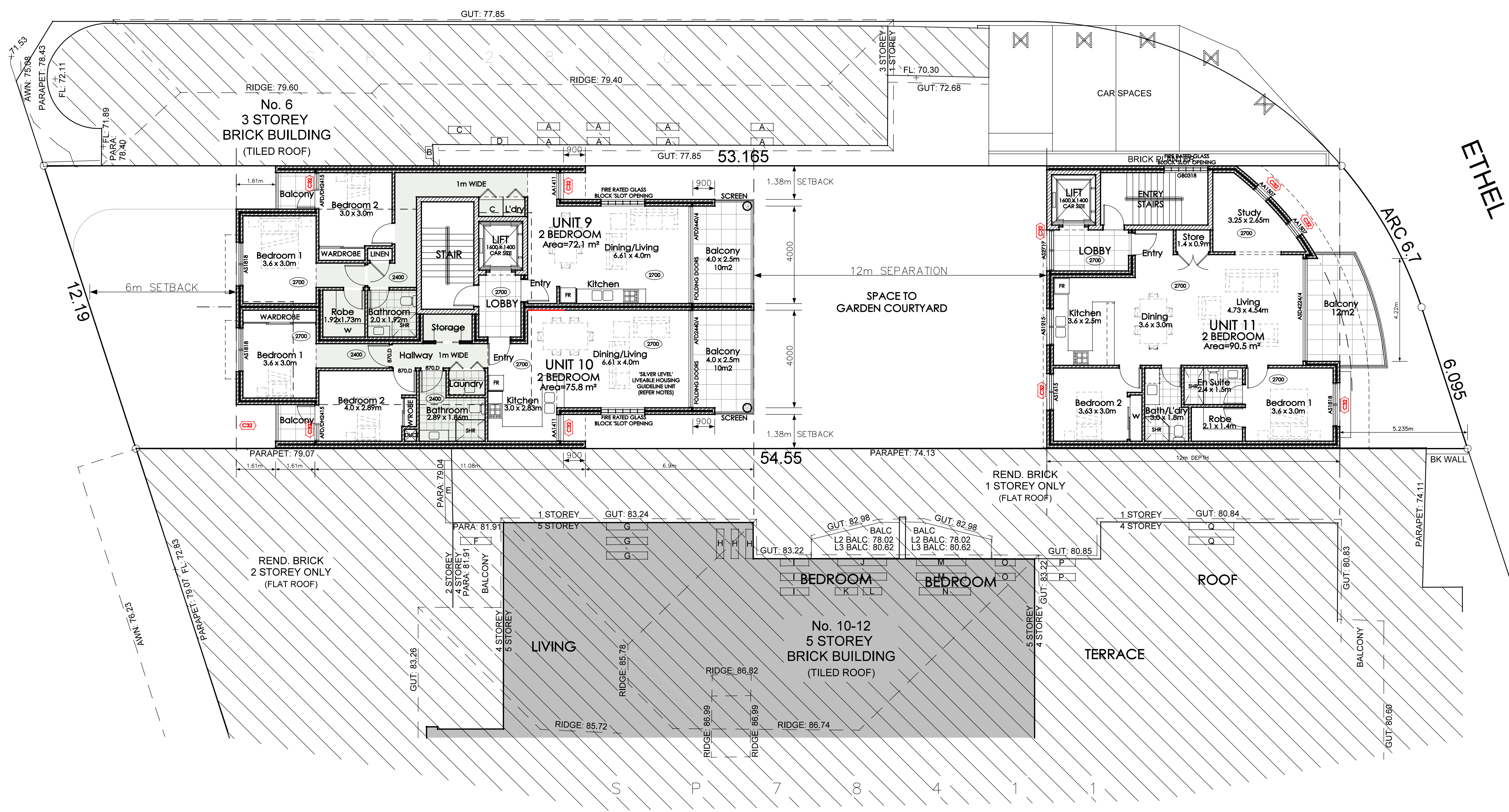
SECOND FLOOR PLAN

SCALE 1:100

A1 SHEET

DRAWING SECOND FLOOR PLAN		PROJECT PROPOSED MIXED COMMERCIAL AND SHOP-TOP HOUSING DEVELOPMENT		REV. A REVISED DA DESIGN SUBMISSION OCT. 2021		REV. B REVISED DA DESIGN SUBMISSION FEB. 2022		REV. C MINOR DETAIL NOTATION/REVISIONS APRIL, 2022		NOTES FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALING. ANY DISCREPANCIES TO BE CHECKED WITH THE AUTHOR PRIOR TO COMMENCING WORK. ALL LOCAL GOVERNMENT REGULATIONS, BUILDING CODE OF AUSTRALIA AND OTHER CODES AND STANDARDS SHALL BE COMPLIED WITH IN THE WORKS. THESE DRAWINGS ARE PROTECTED BY COPYRIGHT.		
DATE APRIL, 2022	DRAWN A.P.G	REF. FILES\RON-ETHEL\DAPLAN4	AT 8 ETHEL STREET STRATA PLAN SP.18447 EASTWOOD NSW 2122	FOR MR RON WANG								

ETHEL LANE



LEGEND OF SYMBOLS

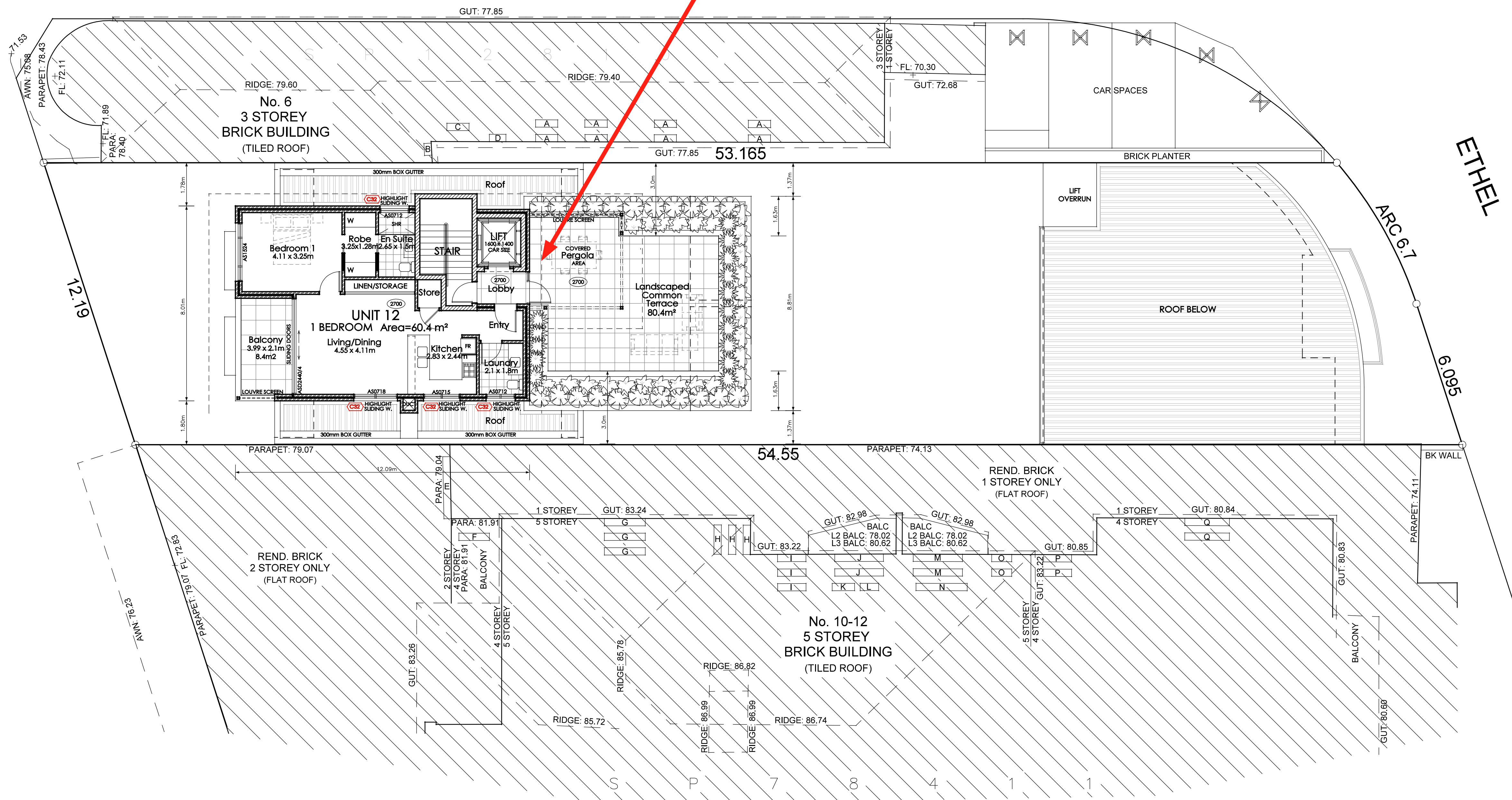
OPENING PROTECTION TO NCC C3.2, I.E. SELF CLOSING -60/30 FIRE DOORS, SELF-CLOSING WINDOWS/SPRINKLERS/ FIXED WINDOWS/FIRE SHUTTERS TO DETAIL

THIRD FLOOR PLAN
SCALE 1:100

A1 SHEET

DRAWING THIRD FLOOR PLAN		PROJECT PROPOSED MIXED COMMERCIAL AND SHOP-TOP HOUSING DEVELOPMENT		REV. A REVISED DA DESIGN SUBMISSION OCT. 2021		REV. B REVISED DA DESIGN SUBMISSION FEB. 2022		REV. C MINOR DETAIL NOTATION/REVISIONS APRIL, 2022		NOTES FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALING. ANY DISCREPANCIES TO BE CHECKED WITH THE AUTHOR PRIOR TO COMMENCING WORK. ALL LOCAL GOVERNMENT REGULATIONS, BUILDING CODE OF AUSTRALIA AND OTHER CODES AND STANDARDS SHALL BE COMPLIED WITH IN THE WORKS. THESE DRAWINGS ARE PROTECTED BY COPYRIGHT.		
DATE APRIL, 2022	DRAWN A.P.G	REF. FILES\RON-ETHEL\DAPLAN4	AT 8 ETHEL STREET STRATA PLAN SP.18447 EASTWOOD NSW 2122	FOR MR RON WANG								

ETHEL LANE BBQ to be added.



LEGEND OF SYMBOLS

OPENING PROTECTION TO NCC C3.2
IE. SELF CLOSING -/60/30 FIRE DOORS,
SELF-CLOSING WINDOWS/SPRINKLERS/
FIXED WINDOWS/FIRE SHUTTERS TO DETAIL

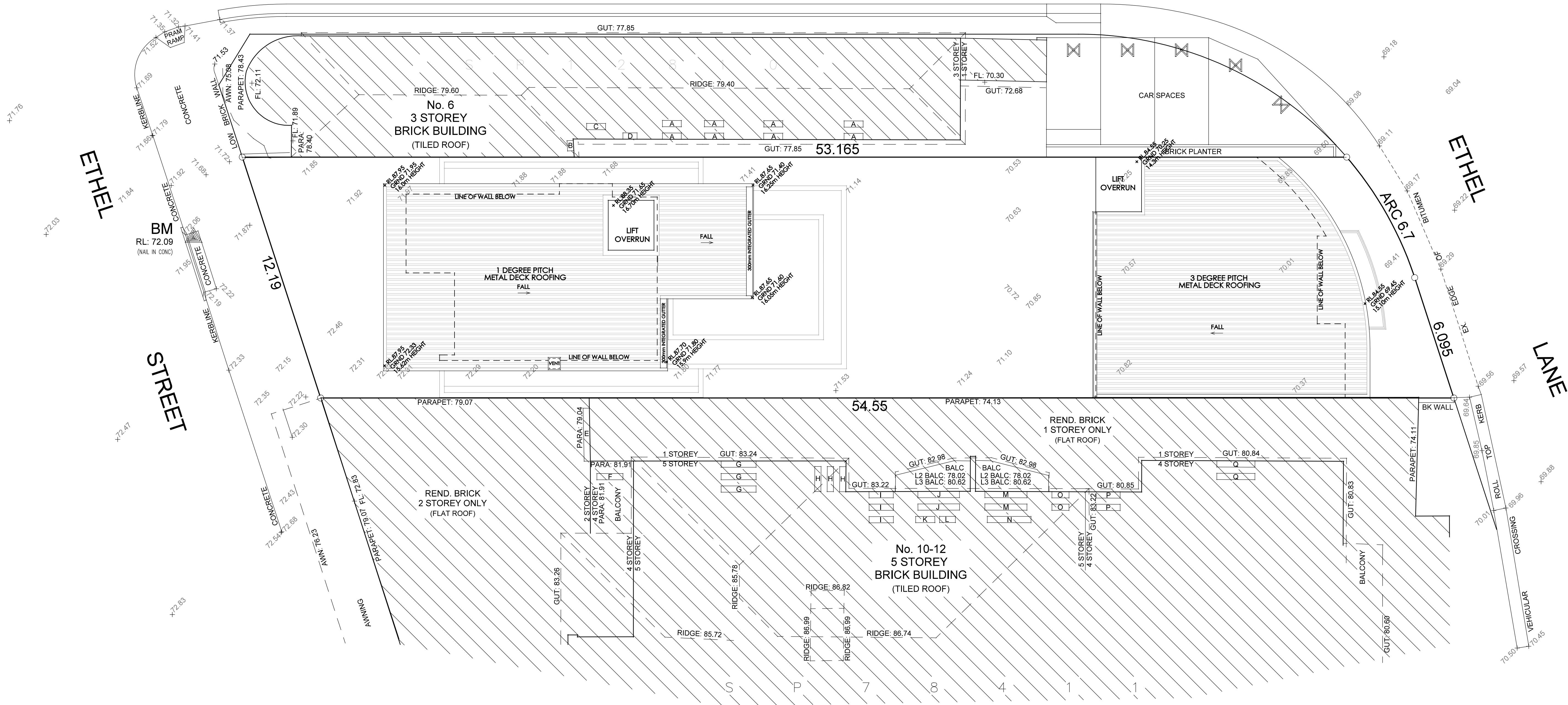
FOURTH FLOOR PLAN

SCALE 1:100

A1 SHEET

DRAWING FOURTH FLOOR PLAN		PROJECT PROPOSED MIXED COMMERCIAL AND SHOP-TOP HOUSING DEVELOPMENT		REV.	REVISION DESCRIPTION	DATE	REV.	REVISION DESCRIPTION	DATE	REV.	REVISION DESCRIPTION	DATE	NOTES FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALING. ANY DISCREPANCIES TO BE CHECKED WITH THE AUTHOR PRIOR TO COMMENCING WORK. ALL LOCAL GOVERNMENT REGULATIONS, BUILDING CODE OF AUSTRALIA AND OTHER CODES AND STANDARDS SHALL BE COMPLIED WITH IN THE WORKS. THESE DRAWINGS ARE PROTECTED BY COPYRIGHT.		 UNIT 20, 22 HUDSON AVE, CASTLE HILL NSW 2154 AUSTRALIA P: 02 8850 6821 E: MOMARCH@BIGPOND.COM JOHN G. BOURKE B.A.RCH (HONS), A.R.A.I.A DIP. CD. (HONS), A.S.T.C. (HONS), P.D.C., N.S.W. REG. #2426
DATE	APRIL, 2022	DRAWN	A.P.G	A	REVISED DA DESIGN SUBMISSION	OCT. 2021									
REF.	FILES\RON-ETHEL\DAPLAN4	AT	8 ETHEL STREET STRATA PLAN SP.18447 EASTWOOD NSW 2122	B	REVISED DA DESIGN SUBMISSION	FEB. 2022									
DRAWING No.	19066	EX.	DA	C	MINOR DETAIL NOTATION/REVISIONS	APRIL, 2022									
YEAR	21	REV.	C												

ETHEL LANE



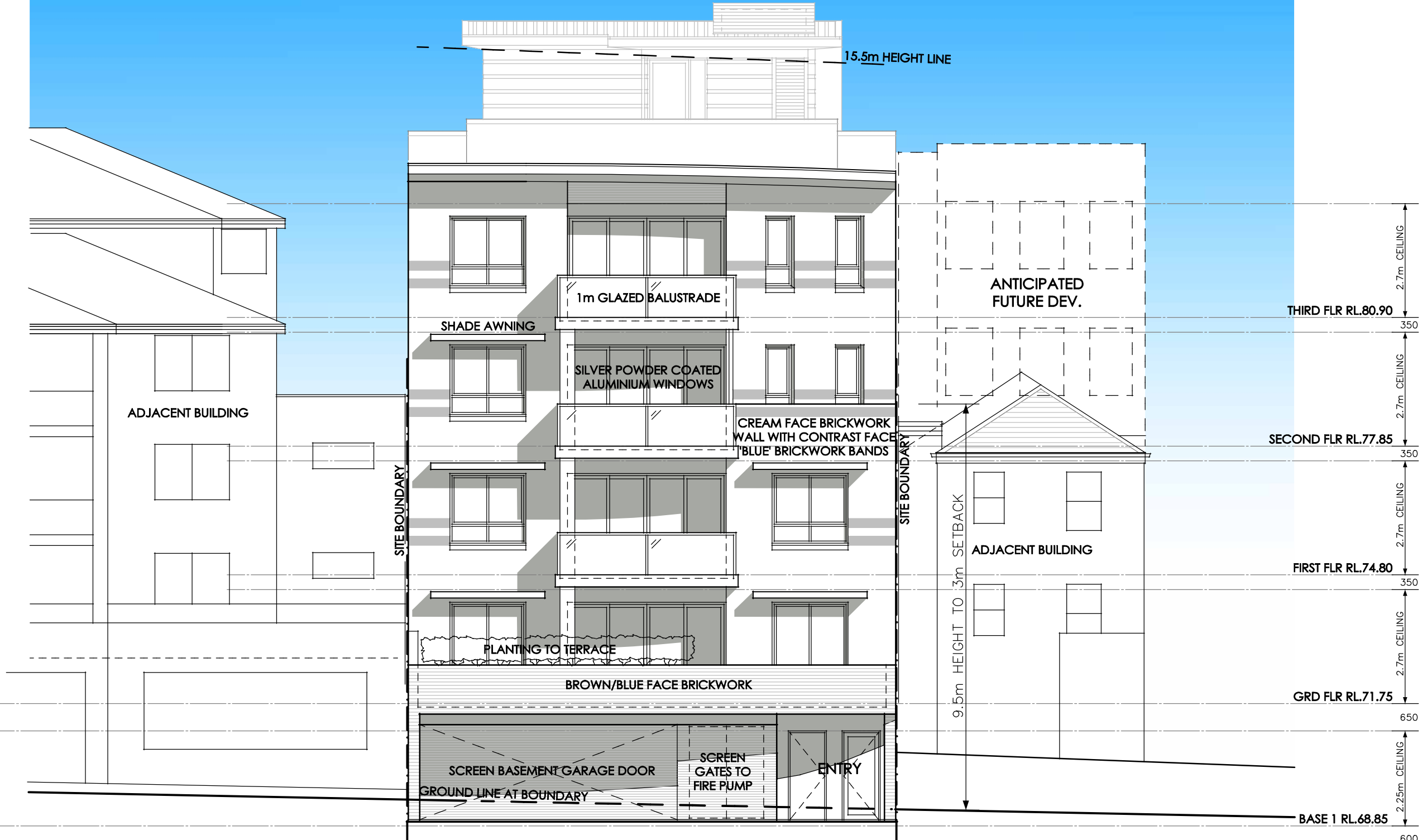
ROOF PLAN
SCALE 1:100

A1 SHEET

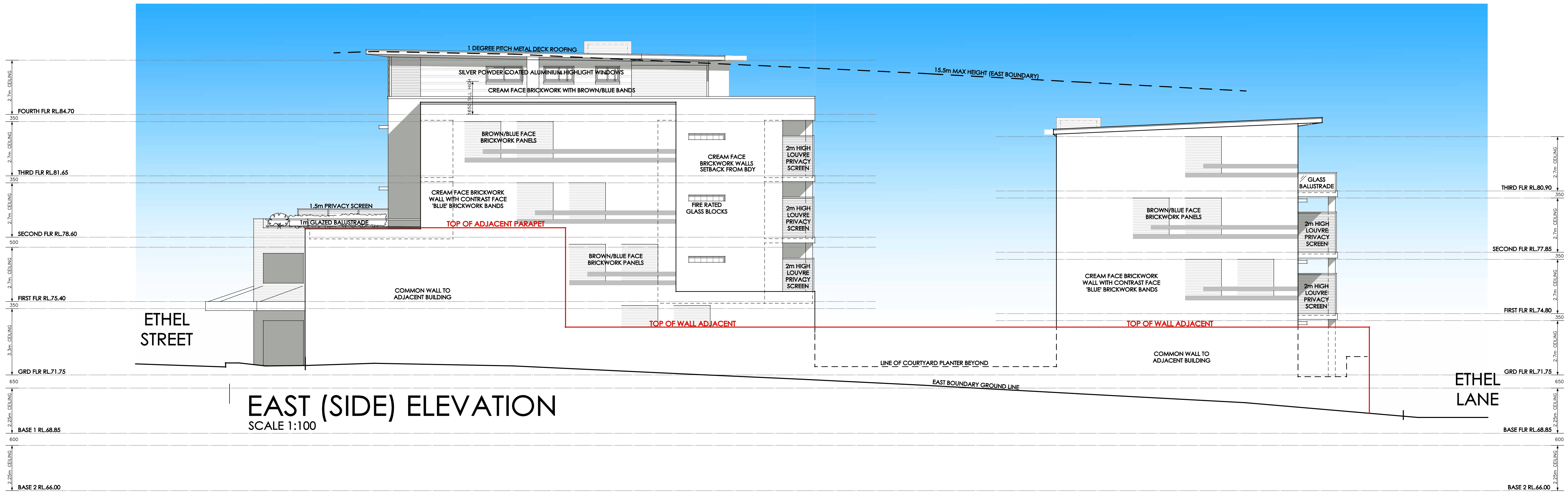
DRAWING ROOF PLAN		PROJECT PROPOSED MIXED COMMERCIAL AND SHOP-TOP HOUSING DEVELOPMENT				REV. REVISION DESCRIPTION DATE				REV. REVISION DESCRIPTION DATE				REV. REVISION DESCRIPTION DATE				NOTES FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALING. ANY DISCREPANCIES TO BE CHECKED WITH THE AUTHOR PRIOR TO COMMENCING WORK. ALL LOCAL GOVERNMENT REGULATIONS, BUILDING CODE OF AUSTRALIA AND OTHER CODES AND STANDARDS SHALL BE COMPLIED WITH IN THE WORKS. THESE DRAWINGS ARE PROTECTED BY COPYRIGHT.		
DATE APRIL, 2022	DRAWN A.P.G	AT 8 ETHEL STREET STRATA PLAN SP.18447 EASTWOOD NSW 2122				A	REVISED DA DESIGN SUBMISSION	OCT, 2021												
REF. FILES\RON-ETHEL\DAPLAN4		FOR MR RON WANG				B	REVISED DA DESIGN SUBMISSION	FEB, 2022												
DRAWING No. 19067	EX. DA	YEAR 21	REV. C					C	MINOR DETAIL NOTATION/REVISIONS	APRIL, 2022										



SOUTH (ETHEL ST) ELEVATION
SCALE 1:100



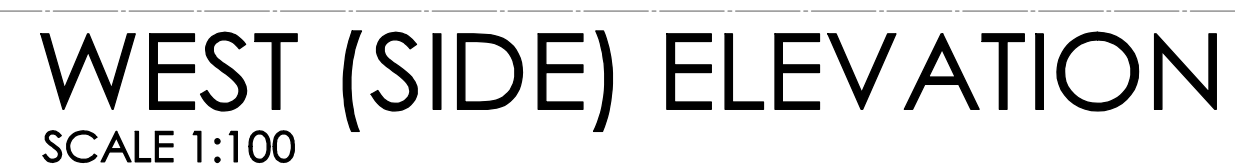
NORTH (ETHEL LANE) ELEVATION
SCALE 1:100



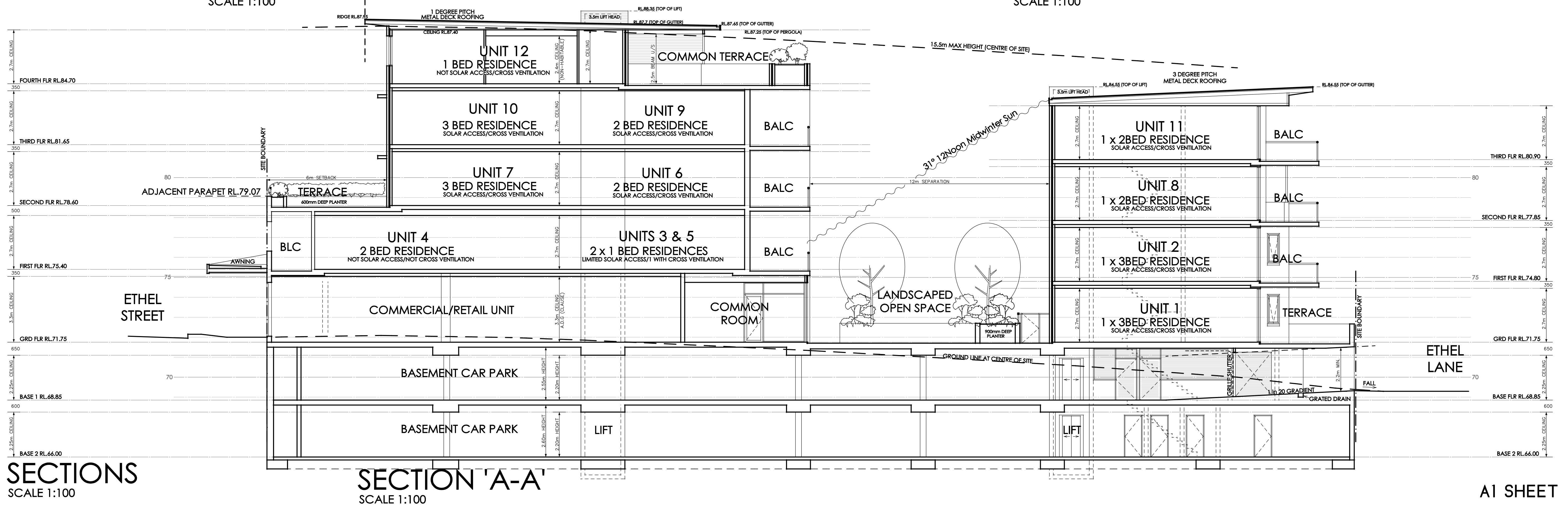
EAST (SIDE) ELEVATION
SCALE 1:100

A1 SHEET

DRAWING ELEVATIONS		PROJECT PROPOSED MIXED COMMERCIAL AND SHOP-TOP HOUSING DEVELOPMENT		REV. A REVISED DA DESIGN SUBMISSION OCT. 2021		REV. B REVISED DA DESIGN SUBMISSION FEB. 2022		REV. C MINOR DETAIL NOTATION/REVISIONS APRIL, 2022		NOTES FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALING. ANY DISCREPANCIES TO BE CHECKED WITH THE AUTHOR PRIOR TO COMMENCING WORK. ALL LOCAL GOVERNMENT REGULATIONS, BUILDING CODE OF AUSTRALIA AND OTHER CODES AND STANDARDS SHALL BE COMPLIED WITH IN THE WORKS. THESE DRAWINGS ARE PROTECTED BY COPYRIGHT.		MOMENTUM ARCHITECTS UNIT 20, 22 HUDSON AVE, CASTLE HILL, NSW 2154 AUSTRALIA P: 02 8850 6821 E: MOMARCH@BIGPOND.COM	
DATE APRIL, 2022	DRAWN A.P.G	AT 8 ETHEL STREET STRATA PLAN SP.18447 EASTWOOD NSW 2122		FOR MR RON WANG									
REF. FILES\RON-ETHEL\DAPLAN4													
DRAWING No. 19069	EX. DA	YEAR 21	REV. C										



<div>DRAWING</div> <div>ELEVATIONS</div>				<div>PROJECT</div> <div>PROPOSED MIXED COMMERCIAL AND SHOP-TOP HOUSING DEVELOPMENT</div>				<div>REV.</div> <div>REVISION DESCRIPTION</div> <div>DATE</div> <div>REV.</div> <div>REVISION DESCRIPTION</div> <div>DATE</div> <div>REV.</div> <div>REVISION DESCRIPTION</div> <div>DATE</div>				<div>NOTES</div> <div>FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALING.</div> <div>ANY DISCREPANCIES TO BE CHECKED WITH THE AUTHOR PRIOR TO COMMENCING WORK.</div> <div>ALL LOCAL GOVERNMENT REGULATIONS, BUILDING CODE OF AUSTRALIA AND OTHER CODES AND STANDARDS SHALL BE COMPLIED WITH IN THE WORKS.</div> <div>THESE DRAWINGS ARE PROTECTED BY COPYRIGHT.</div>				<div>UNIT 20, 22 HUDSON AVE, CASTLE HILL, NSW 2154, AUSTRALIA</div> <div>P: 02 8850 6821 E: MOMARCH@BIGPOND.COM</div> <div>JOHN C. BOURKE B.ARCH (HONS), A.R.A.I.A</div> <div>DIP. C.D. (HONS), A.S.T.C. (HONS), P.D.C., N.S.W. REG. #2426</div>							
<div>DATE</div> <div>APRIL, 2022</div> <div>DRAWN</div> <div>A.P.G</div>				<div>AT</div> <div>8 ETHEL STREET</div> <div>STRATA PLAN SP.18447</div> <div>EASTWOOD NSW 2122</div>				<div>FOR</div> <div>MR RON WANG</div>				<div>NOTES</div> <div>FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALING.</div> <div>ANY DISCREPANCIES TO BE CHECKED WITH THE AUTHOR PRIOR TO COMMENCING WORK.</div> <div>ALL LOCAL GOVERNMENT REGULATIONS, BUILDING CODE OF AUSTRALIA AND OTHER CODES AND STANDARDS SHALL BE COMPLIED WITH IN THE WORKS.</div> <div>THESE DRAWINGS ARE PROTECTED BY COPYRIGHT.</div>				<div>UNIT 20, 22 HUDSON AVE, CASTLE HILL, NSW 2154, AUSTRALIA</div> <div>P: 02 8850 6821 E: MOMARCH@BIGPOND.COM</div> <div>JOHN C. BOURKE B.ARCH (HONS), A.R.A.I.A</div> <div>DIP. C.D. (HONS), A.S.T.C. (HONS), P.D.C., N.S.W. REG. #2426</div>							
<div>DRAWING No.</div> <div>19070</div>				<div>EX</div> <div>DA</div>				<div>YEAR</div> <div>21</div>				<div>REV.</div> <div>C</div>				<div>NOTES</div> <div>FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALING.</div> <div>ANY DISCREPANCIES TO BE CHECKED WITH THE AUTHOR PRIOR TO COMMENCING WORK.</div> <div>ALL LOCAL GOVERNMENT REGULATIONS, BUILDING CODE OF AUSTRALIA AND OTHER CODES AND STANDARDS SHALL BE COMPLIED WITH IN THE WORKS.</div> <div>THESE DRAWINGS ARE PROTECTED BY COPYRIGHT.</div>				<div>UNIT 20, 22 HUDSON AVE, CASTLE HILL, NSW 2154, AUSTRALIA</div> <div>P: 02 8850 6821 E: MOMARCH@BIGPOND.COM</div> <div>JOHN C. BOURKE B.ARCH (HONS), A.R.A.I.A</div> <div>DIP. C.D. (HONS), A.S.T.C. (HONS), P.D.C., N.S.W. REG. #2426</div>			



A1 SHEET

<div>DRAWING</div> <div>SECTIONS</div>				<div>PROJECT</div> <div>PROPOSED MIXED COMMERCIAL AND SHOP-TOP HOUSING DEVELOPMENT</div>				<div>REV.</div> <div>A REVISID DA DESIGN SUBMISSION</div> <div>B REVISID DA DESIGN SUBMISSION</div> <div>C MINOR DETAIL NOTATION/REVISIONS</div>				<div>DATE</div> <div>OCT. 2021</div> <div>FEB. 2022</div> <div>APRIL, 2022</div>				<div>REV.</div> <div>REVISION DESCRIPTION</div> <div>DATE</div> <div>REV.</div> <div>REVISION DESCRIPTION</div> <div>DATE</div> <div>REV.</div> <div>REVISION DESCRIPTION</div> <div>DATE</div>				<div>NOTES</div> <div>FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALING.</div> <div>ANY DISCREPANCIES TO BE CHECKED WITH THE AUTHOR PRIOR TO COMMENCING WORK.</div> <div>ALL LOCAL GOVERNMENT REGULATIONS, BUILDING CODE OF AUSTRALIA AND OTHER CODES AND STANDARDS SHALL BE COMPLIED WITH IN THE WORKS.</div> <div>THESE DRAWINGS ARE PROTECTED BY COPYRIGHT.</div>				<div></div>				<div>MOMENTUM ARCHITECTS</div> <div>UNIT 20, 22 HUDSON AVE, CASTLE HILL NSW 2154 AUSTRALIA</div> <div>P: 02 8850 6821 E:MOMARCH@BIGPOND.COM</div> <div>JOHN G. BOURKE B.ARCH (HONS), A.R.A.I.A</div> <div>DIP. C.D. (HONS), A.S.T.C. (HONS), P.D.C., N.S.W. REG. #2426</div>			
<div>DATE</div> <div>APRIL, 2022</div> <div>DRAWN</div> <div>A.P.G.</div>																															
<div>REF.</div> <div>FILES\RON-ETHEL\DALPLAN4</div>				<div>AT</div> <div>8 ETHEL STREET STRATA PLAN SP.18447 EASTWOOD NSW 2122</div>				<div>FOR</div> <div>MR RON WANG</div>																							
<div>DRAWING No.</div> <div>19068</div>				<div>EX</div> <div>DA</div> <div>YEAR</div> <div>21</div> <div>REV.</div> <div>C</div>																											



SCALE 1:50 - UNITS 2, 8 & 11 (TYPICAL)



SCALE 1:50 - UNITS 3, 5, 6, 7, 9 & 10 (TYPICAL)



SCALE 1:50 - UNIT 6, 7, 9 & 10 (TYPICAL)



SHADOW DIAGRAM: 22 JUNE - 9AM
SCALE 1:200

A2 SHEET

<div>DRAWING</div> <div>SHADOW DIAGRAMS</div>				<div>PROJECT</div> <div>PROPOSED MIXED COMMERCIAL AND SHOP-TOP HOUSING DEVELOPMENT</div>				<div>REV.</div> <div>REVISION DESCRIPTION</div> <div>DATE</div>		<div>REV.</div> <div>REVISION DESCRIPTION</div> <div>DATE</div>		<div>REV.</div> <div>REVISION DESCRIPTION</div> <div>DATE</div>		<div>NOTES</div> <div>FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALING.</div> <div>ANY DISCREPANCIES TO BE CHECKED WITH THE AUTHOR PRIOR TO COMMENCING WORK.</div> <div>ALL LOCAL GOVERNMENT REGULATIONS, BUILDING CODE OF AUSTRALIA AND OTHER CODES AND STANDARDS SHALL BE COMPLIED WITH IN THE WORKS.</div> <div>THESE DRAWINGS ARE PROTECTED BY COPYRIGHT.</div>		<div>MOMENTUM ARCHITECTS</div> <div>UNIT 20, 22 HUDSON AVE, CASTLE HILL NSW 2154 AUSTRALIA</div> <div>P: 02 8850 6821 E:MOMARCH@BIGPOND.COM</div> <div>JOHN G. BOURKE B.ARCH (HONS), A.R.A.I.A</div> <div>DIP. C.D. (HONS), A.S.T.C. (HONS), P.D.C., N.S.W. REG. #2428</div>		
<div>DATE</div> <div>JANUARY, 2021</div>		<div>DRAWN</div> <div>A.P.G</div>		<div>AT</div> <div>8 ETHEL STREET STRATA PLAN SP.18447 EASTWOOD NSW 2122</div>				<div>FOR</div> <div>MR RON WANG</div>										
<div>REF.</div> <div>FILES\RON-ETHEL\DAPLANI</div>																		
<div>DRAWING No.</div> <div>19082</div>		<div>EX</div> <div>DA</div>										<div>YEAR</div> <div>21</div>					<div>REV.</div> <div>-</div>	



SHADOW DIAGRAM: 22 JUNE - 10AM
SCALE 1:200

A2 SHEET

DRAWING SHADOW DIAGRAMS				PROJECT PROPOSED MIXED COMMERCIAL AND SHOP-TOP HOUSING DEVELOPMENT				REV. REVISION DESCRIPTION - - - - -				DATE - - - - -				REV. REVISION DESCRIPTION - - - - -				DATE - - - - -				REV. REVISION DESCRIPTION - - - - -				DATE - - - - -				NOTES FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALING. ANY DISCREPANCIES TO BE CHECKED WITH THE AUTHOR PRIOR TO COMMENCING WORK. ALL LOCAL GOVERNMENT REGULATIONS, BUILDING CODE OF AUSTRALIA AND OTHER CODES AND STANDARDS SHALL BE COMPLIED WITH IN THE WORKS. THESE DRAWINGS ARE PROTECTED BY COPYRIGHT.								<div>MOMENTUM ARCHITECTS</div> <div>UNIT 20, 22 HUDSON AVE, CASTLE HILL NSW 2154 AUSTRALIA</div> <div>P: 02 8850 6821 E: MOMARCH@BIGPOND.COM</div> <div>JOHN G. BOURKE B.ARCH (HONS), A.R.A.I.A. DIP. C.D. (HONS), A.S.T.C. (HONS), P.D.C., N.S.W. REG. #2428</div>			
DATE JANUARY, 2021		DRAWN A.P.G		AT 8 ETHEL STREET STRATA PLAN SP.18447 EASTWOOD NSW 2122				FOR MR RON WANG																																			
REF. FILES\RON-ETHEL\DAPLANI																																											
DRAWING No. 19083		EX DA		YEAR 21		REV. -																																					



DRAWING			
SHADOW DIAGRAMS			
DATE JANUARY, 2021		DRAWN A.P.G	
REF. FILES\RON-ETHEL\DAPLANI			
DRAWING No. 19084	EX DA	YEAR 21	REV. —

PROJECT	
PROPOSED MIXED COMMERCIAL AND SHOP-TOP HOUSING DEVELOPMENT	
LOT	FOR
8 ETHEL STREET STRATA PLAN SP.18447 EASTWOOD NSW 2122	MR RON WANG

[illegible]

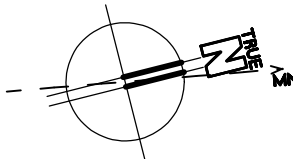
NOTES

FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALING.

ANY DISCREPANCIES TO BE CHECKED WITH THE AUTHOR PRIOR TO COMMENCING WORK.

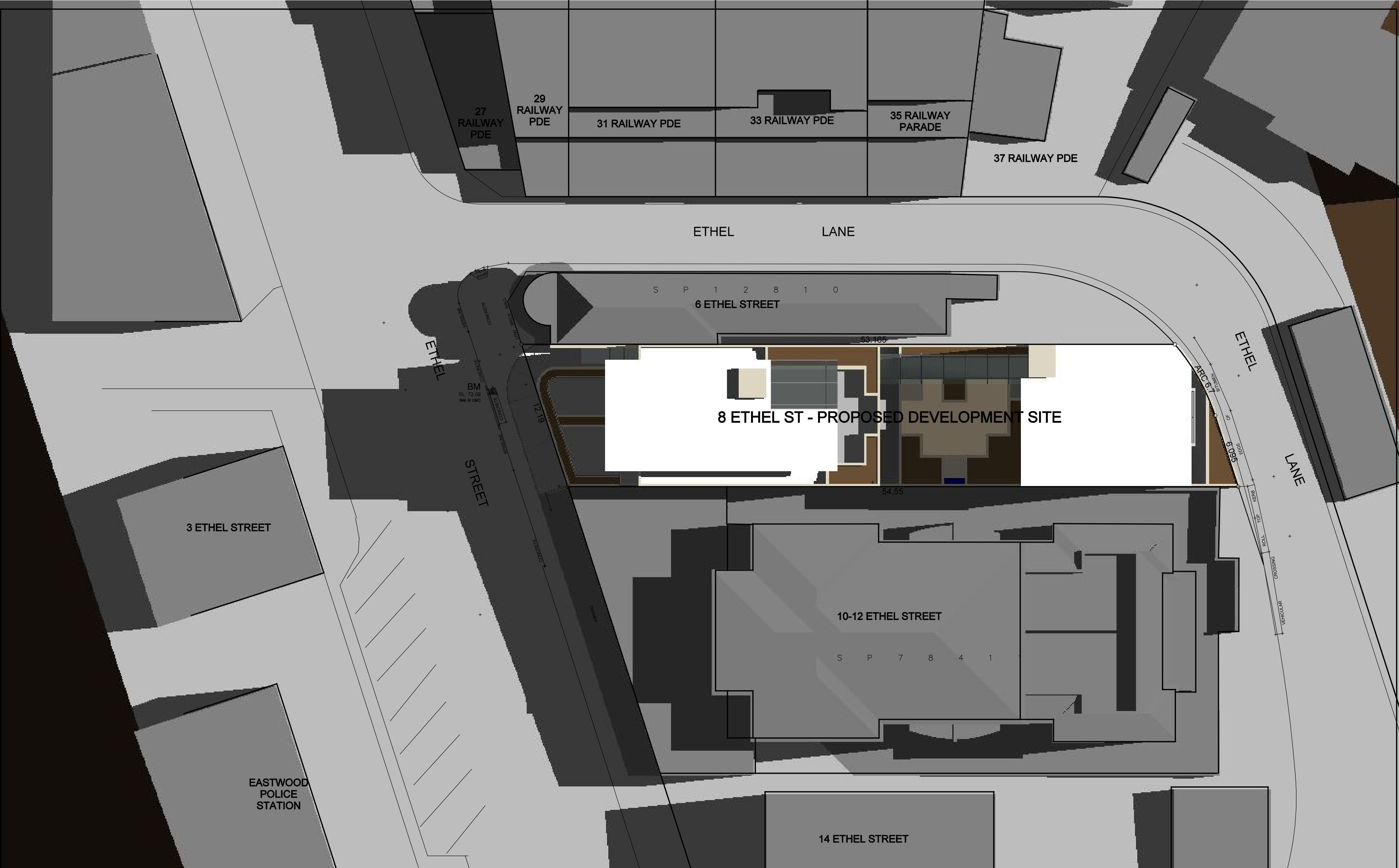
ALL LOCAL GOVERNMENT REGULATIONS, BUILDING CODE OF AUSTRALIA AND OTHER CODES AND STANDARDS SHALL BE COMPLIED WITH IN THE WORKS.

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MOMENTUM
ARCHITECTS
UNIT 20, 22 HUDSON AVE, CASTLE HILL, NSW 2154 AUSTRALIA
02 8850 6821 E: MOMARCH@BIGPOND.COM

JOHN G. BOURKE B.Arch (HONS), A.R.A.I.A.
C.D. (HONS), A.S.T.C. (HONS), P.D.C., N.S.W. REG. #24



SHADOW DIAGRAM: 22 JUNE - 12 NOON
SCALE 1:200

A2 SHEET

DRAWING SHADOW DIAGRAMS		PROJECT PROPOSED MIXED COMMERCIAL AND SHOP-TOP HOUSING DEVELOPMENT		REV.	REVISION DESCRIPTION	DATE	REV.	REVISION DESCRIPTION	DATE	REV.	REVISION DESCRIPTION	DATE	NOTES FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALING. ANY DISCREPANCIES TO BE CHECKED WITH THE AUTHOR PRIOR TO COMMENCING WORK. ALL LOCAL GOVERNMENT REGULATIONS, BUILDING CODE OF AUSTRALIA AND OTHER CODES AND STANDARDS SHALL BE COMPLIED WITH IN THE WORKS. THESE DRAWINGS ARE PROTECTED BY COPYRIGHT.		<div>MOMENTUM ARCHITECTS</div> <div>UNIT 20, 22 HUDSON AVE, CASTLE HILL NSW 2154 AUSTRALIA P: 02 8850 6821 E: MOMARCH@BIGPOND.COM</div> <div>JOHN G. BOURKE B.ARCH (HONS), A.R.A.I.A DIP. C.D. (HONS), A.S.T.C. (HONS), P.D.C., N.S.W. REG. #2428</div>
DATE	JANUARY, 2021	DRAWN	A.P.G												
REF.	FILES\RON-ETHEL\DAPLANI			AT	8 ETHEL STREET STRATA PLAN SP.18447 EASTWOOD NSW 2122			FOR	MR RON WANG						
DRAWING No.	19085	EX	DA	YEAR	21	REV.	-								

SCALE 1:200

A2 SHEET

[illegible]



SHADOW DIAGRAM: 22 JUNE - 3PM
SCALE 1:200

A2 SHEET

<div>DRAWING</div> <div>SHADOW DIAGRAMS</div>				<div>PROJECT</div> <div>PROPOSED MIXED COMMERCIAL AND SHOP-TOP HOUSING DEVELOPMENT</div>				<div>REV.</div> <div>REVISION DESCRIPTION</div> <div>DATE</div>		<div>REV.</div> <div>REVISION DESCRIPTION</div> <div>DATE</div>		<div>REV.</div> <div>REVISION DESCRIPTION</div> <div>DATE</div>		<div>NOTES</div> <div>FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALING.</div> <div>ANY DISCREPANCIES TO BE CHECKED WITH THE AUTHOR PRIOR TO COMMENCING WORK.</div> <div>ALL LOCAL GOVERNMENT REGULATIONS, BUILDING CODE OF AUSTRALIA AND OTHER CODES AND STANDARDS SHALL BE COMPLIED WITH IN THE WORKS.</div> <div>THESE DRAWINGS ARE PROTECTED BY COPYRIGHT.</div>		<div>MOMENTUM ARCHITECTS</div> <div>UNIT 20, 22 HUDSON AVE, CASTLE HILL NSW 2154 AUSTRALIA</div> <div>P: 02 8850 6821 E:MOMARCH@BIGPOND.COM</div> <div>JOHN G. BOURKE B.ARCH (HONS), A.R.A.I.A</div> <div>DIP. C.D. (HONS), A.S.T.C. (HONS), P.D.C., N.S.W. REG. #2428</div>
<div>DATE</div> <div>JANUARY, 2021</div>		<div>DRAWN</div> <div>A.P.G</div>		<div>AT</div> <div>8 ETHEL STREET STRATA PLAN SP.18447 EASTWOOD NSW 2122</div>				<div>FOR</div> <div>MR RON WANG</div>								
<div>REF.</div> <div>FILES\RON-ETHEL\DAPLANI</div>																
<div>DRAWING No.</div> <div>19087</div>		<div>EX</div> <div>DA</div>	<div>YEAR</div> <div>21</div>	<div>REV.</div> <div>-</div>												



9AM



10AM



11AM



12NOON



1PM



2PM



3PM

SHADOW DIAGRAM: 22 JUNE: NORTH ELEVATION

SCALE N.T.S

A2 SHEET

DRAWING SHADOW DIAGRAMS		PROJECT PROPOSED MIXED COMMERCIAL AND SHOP-TOP HOUSING DEVELOPMENT		REV.	REVISION DESCRIPTION	DATE	REV.	REVISION DESCRIPTION	DATE	REV.	REVISION DESCRIPTION	DATE	NOTES FOUR DIMENSIONS TO TAKE PRECEDENCE OVER SCALING. ANY DISCREPANCIES TO BE CHECKED WITH THE AUTHOR PRIOR TO COMMENCING WORK. ALL LOCAL GOVERNMENT REGULATIONS, BUILDING CODE OF AUSTRALIA AND OTHER CODES AND STANDARDS SHALL BE COMPLIED WITH IN THE WORKS. THESE DRAWINGS ARE PROTECTED BY COPYRIGHT.		<div>MOMENTUM ARCHITECTS</div> <div>UNIT 20, 22 HUDSON AVE, CASTLE HILL NSW 2154 AUSTRALIA</div> <div>P: 02 8850 6821 E: MOMARCH@BIGPOND.COM</div> <div>JOHN G. BOURKE B.ARCH (HONS), A.R.A.I.A</div> <div>DIP. C.D. (HONS), A.S.T.C. (HONS), P.D.C., N.S.W. REG. #2428</div>
DATE JANUARY, 2021	DRAWN A.P.G	AT 8 ETHEL STREET STRATA PLAN SP.18447 EASTWOOD NSW 2122													
REF. FILES\RON-ETHEL\DAPLANI		FOR MR RON WANG													
DRAWING No. 19088	EX DA	YEAR 21	REV. -												

SCHEDULE OF FINISHES

Roof:

Off White
Metal Deck Roofing



Guttering/Fascia/Barge:

“Colorbond Shale Grey” Steel



Windows & Joinery:

Silver Grey
Powder Coated Joinery



Main External Walls:

Cream Face Brickwork



Contrast Facade Walls:

Brown/Blue Face Brickwork



Feature Brick Banding:

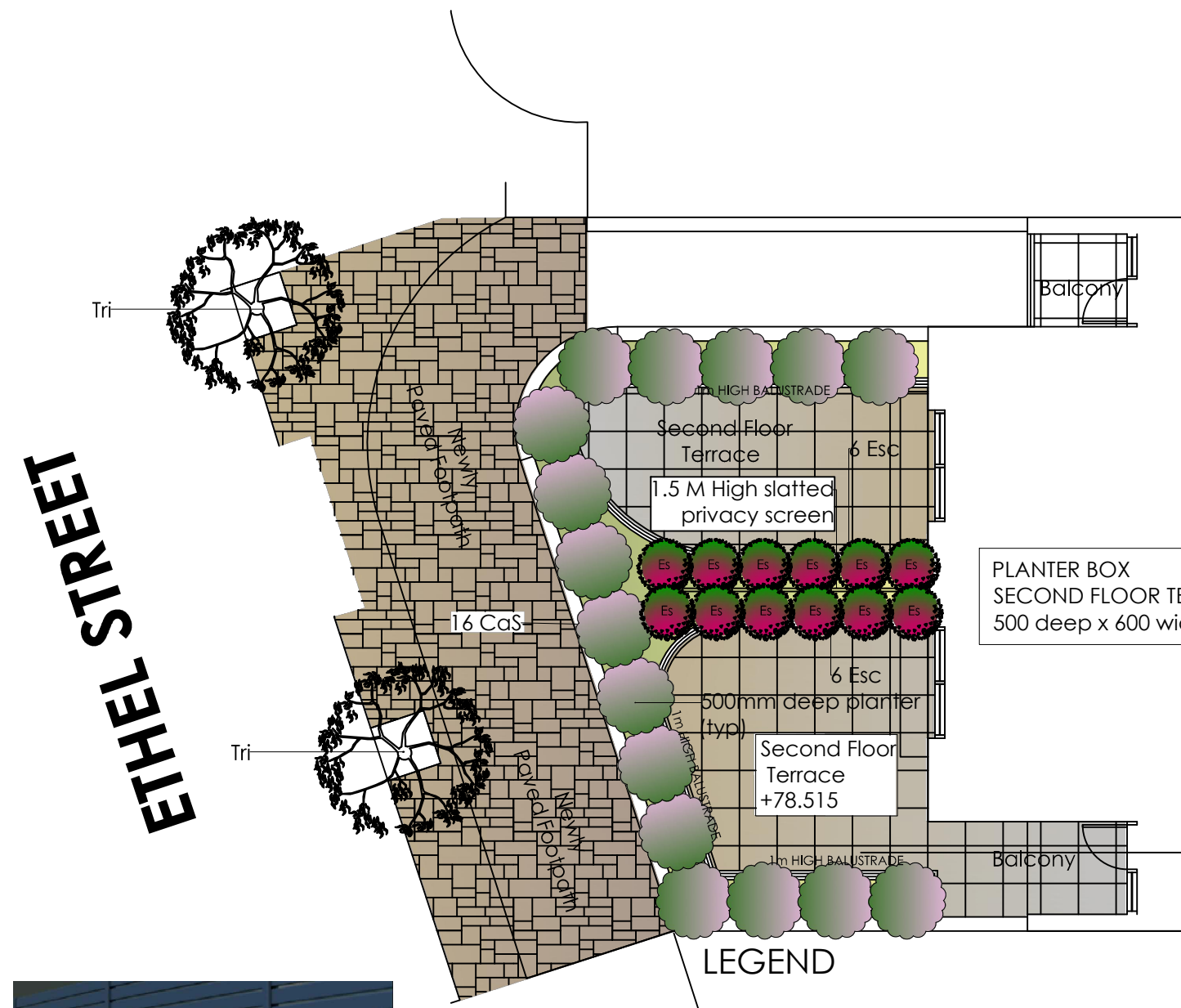
‘Blue’ Face Brickwork



Aluminium Privacy Screen:

Silver Grey Powder Coated





LEGEND

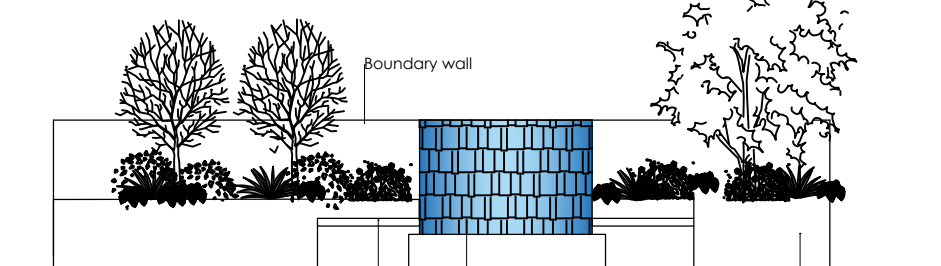
- Proposed plants (ref. plant schedule)
- Artificial turf
- Mulch to all garden beds
- Paving to client selection
- Paving to client selection

Appropriate internal paving materials are to be provided.

- The landscape drawing is to be read in conjunction with the architectural, hydraulic, service plans and survey prepared for the proposed development.
- Do not scale off drawings. Refer to dimensions on plan.
- All services to be checked and verified on site.
- Topsoil mixture, as specified, is to be thoroughly mixed prior to placement. Imported top soil to be compatible with existing top soil and in accordance with specification.
- Prior to landscape works, remove all builders' debris, cultivate garden bed and turf areas to required levels and incorporate compost as specified.
- Ensure all garden beds and tree planting have adequate drainage to prevent water logging during periods of high rainfall.
- Council crossover and layback to meet council specification.
- Turf on council verge to be made good after construction.
- All street trees on council verge to be retained and protected during construction.
- Where retaining walls align with boundary fence, the total height shall not exceed 1.8M above ground level.
- Rain water to be used on site.
- Check boundaries, levels, dimensions and locate services on site prior to starting work
- Retaining walls and concrete driveways to engineer's details.

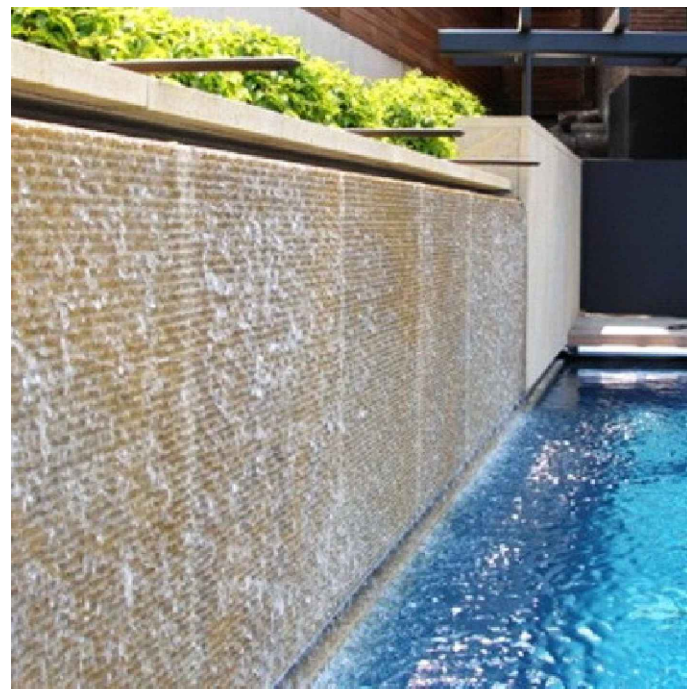
PLANTING INSTRUCTIONS

Remove all building rubble and weeds from garden beds.
Fill garden beds with 300mm organic garden mix.
Stand plant the pots in their position according to the planting plan.
Dig hole same size as the pot.
Remove the plant from the pot.
Plant so that the top of the root ball is level with the soil.
Sprinkle granular wetting agent and fertilizer according to directions on the pack.
Water in well.
Run irrigation tubing over the soil.
Cover the entire soil surface with 75mm mulch.



Elevation: Courtyard wall

AREA CALCULATIONS:
Landscape area Common Courtyard= 70.0m²
Landscape area Second Floor = 17.2m²
Landscape area Fourth Floor = 10.0m²



Water Feature



Tristaniopsis laurina



Magnolia 'Teddy Bear'



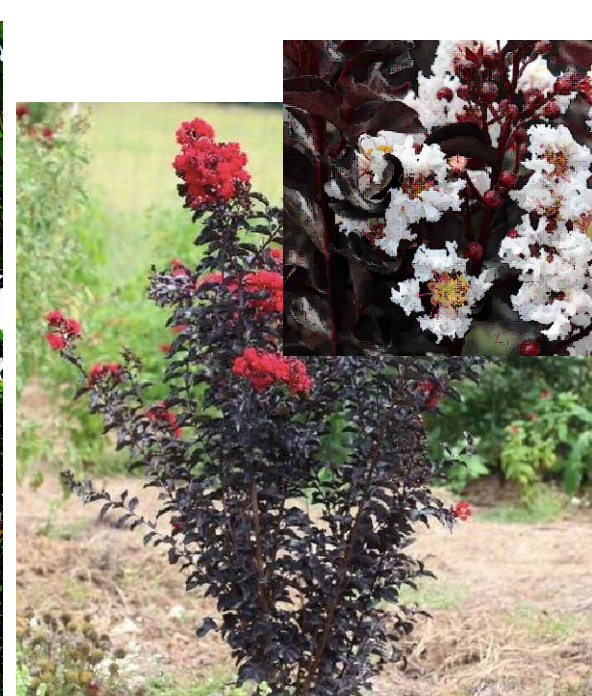
Lagerstroemia indica



Olea 'Tolley's Upright'



Ficus lyrata



Lagerstroemia 'Diamonds in the Dark'



Nandina 'Gulf Stream'



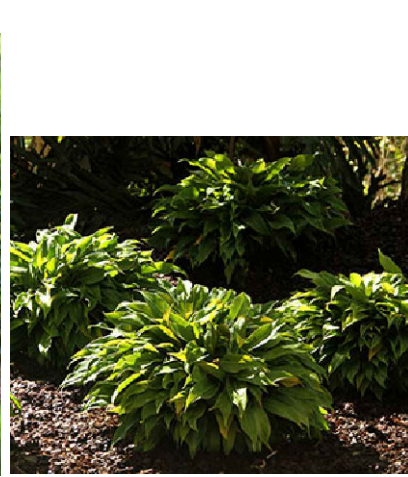
Callistemon 'Little John'



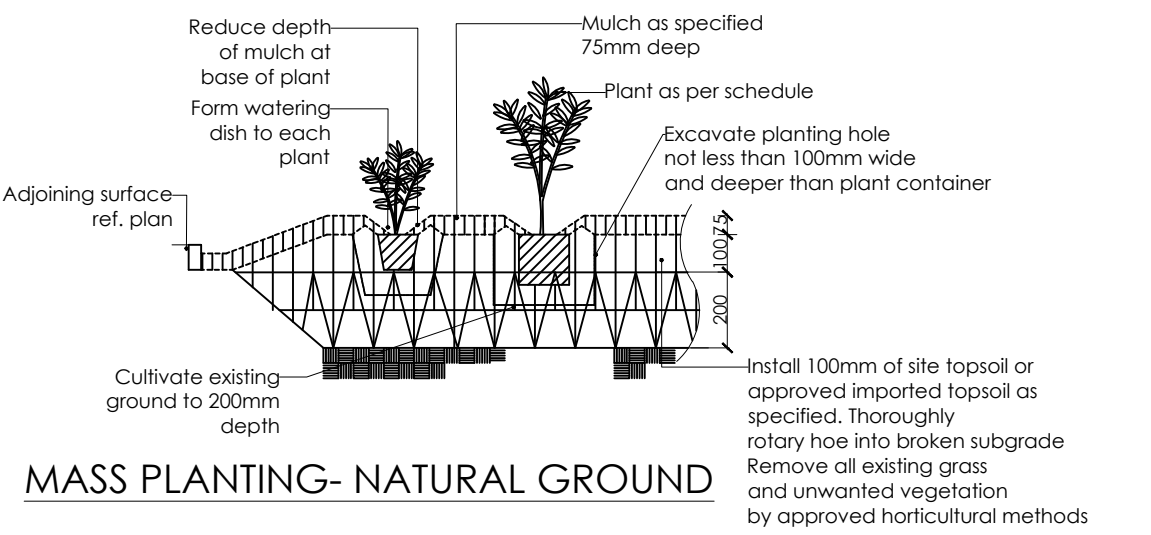
Westringia longifolia Mundi



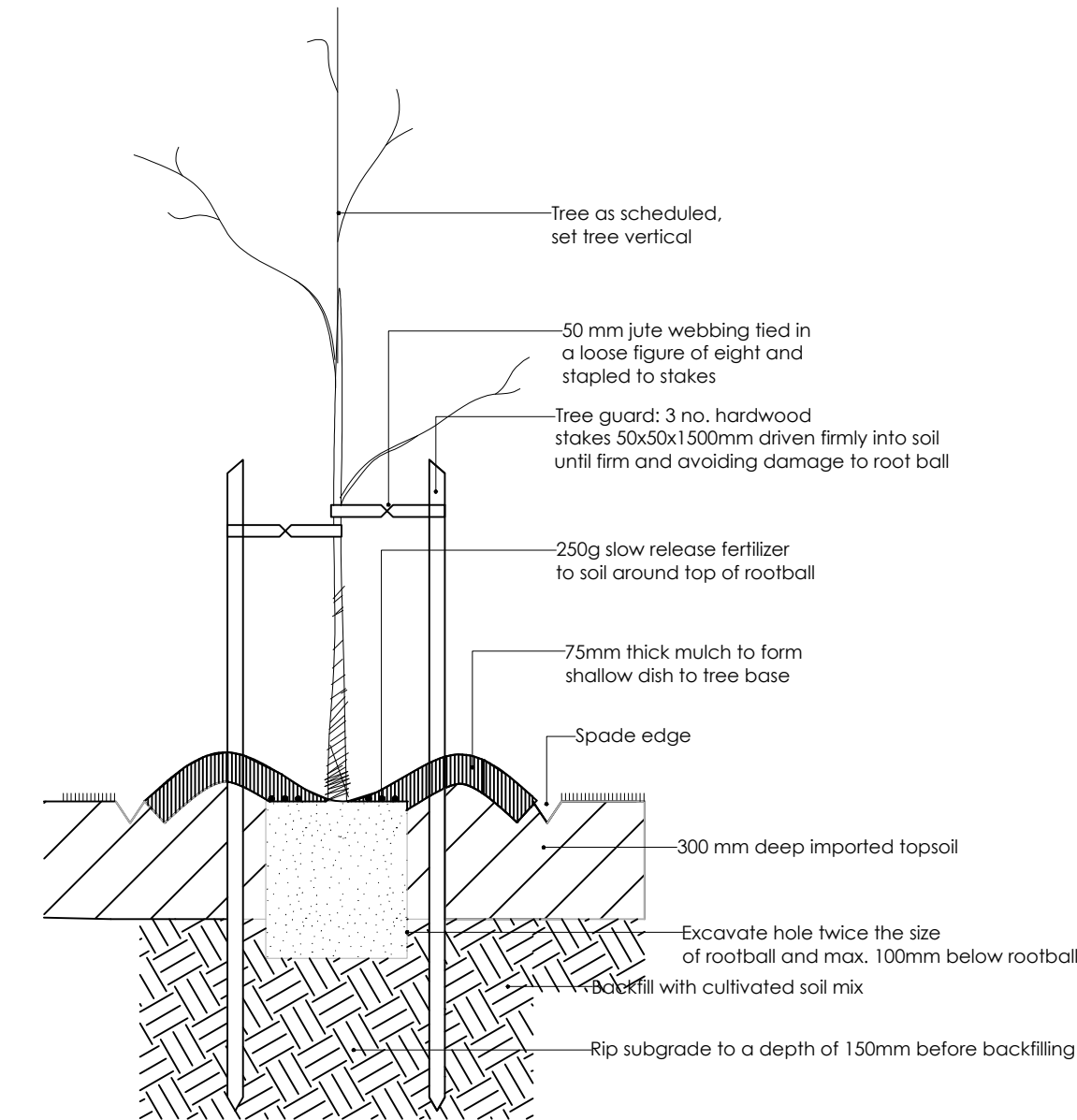
Loropetalum 'Purple Pixie'



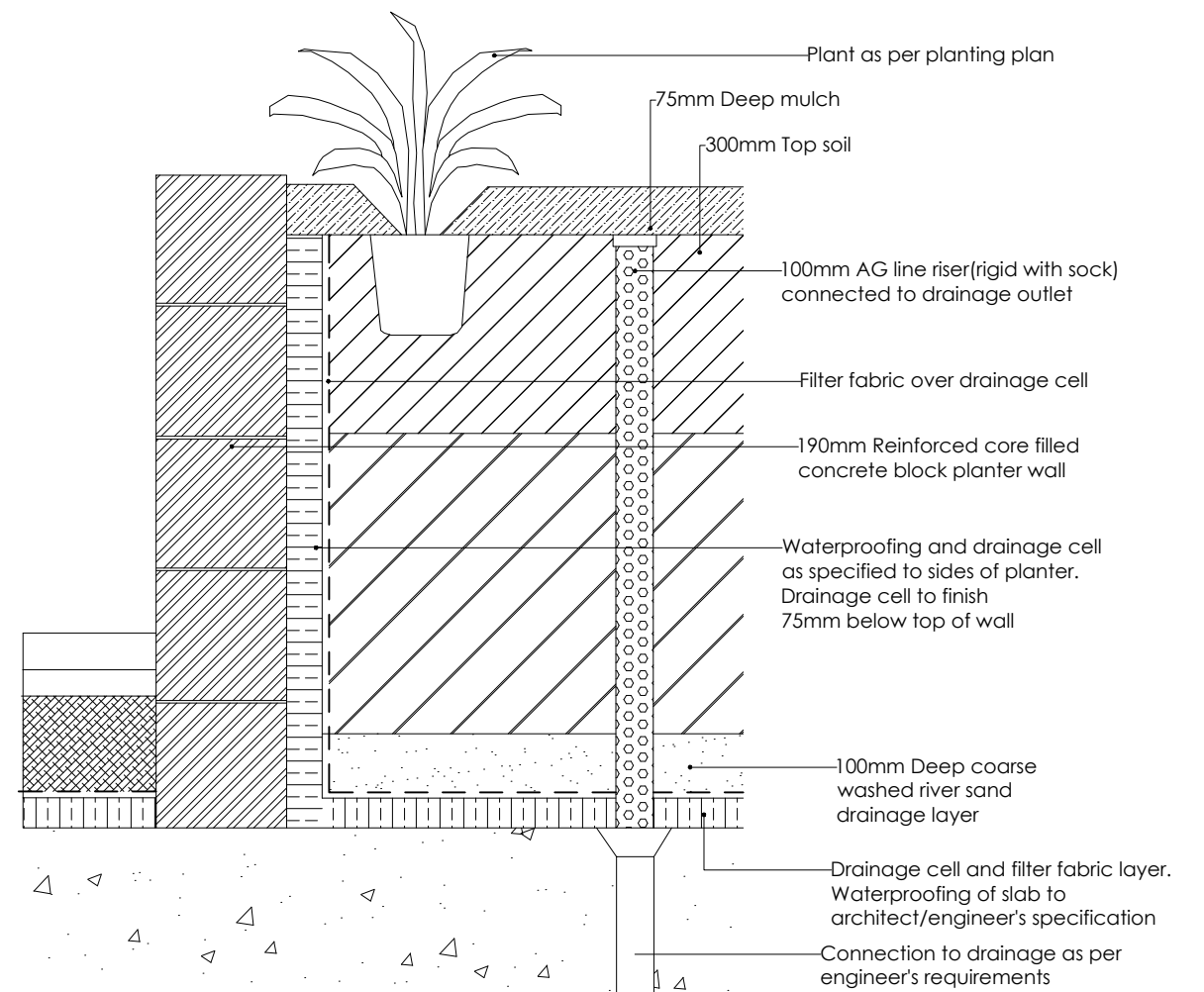
Philodendron 'Little Phil'



MASS PLANTING- NATURAL GROUND



TREE PLANTING DETAIL



RAISED PLANTER ON SLAB

PLANT SCHEDULE:

CODE	BOTANICAL NAME	COMMON NAME	QTY	POT SIZE	MATURE HT	STAKE
TREES						
Fic	Ficus lyrata	Fiddle Leaf Fig	2	45 Lit	2M	Y
LaD	Lagerstroemia indica 'Diamonds in the Dark Red Hot'	Crepe Myrtle	3	45 Lit	3M	Y
Lag	Lagerstroemia indica 'Natchez'	Crepe Myrtle	1	45Lit	4-6M	Y
Mag	Magnolia 'Teddy Bear'	Magnolia	1	45Lit	5-6M	Y
Oli	Olea europaea 'Tolley's Upright'	Olive	1	75 Lit	7 M	Y
Tri	Tristaniopsis laurina 'Luscious'	Water Gum	2	75 Lit	6-8M	Y
SHRUBS						
Anz	Anigozanthos Bush Elegance	Kangaroo Paw	10	200mm	800mm	
Aca	Acacia 'Bower Beauty'	River Wattle	3	200mm	700mm	
Asp	Aspidistra elatior	Cast Iron Plant	13	20mm	0.5-1.2M	
CaS	Callistemon viminalis 'Slim'	Bottle Brush	16	35Lit	3.0M	
CaJ	Callistemon 'Little John'	Bottle Brush	11	200mm	750mm	
Cor	Correa alba	Native Fuschia	4	200mm	1.5M	
Esc	Escallonia Hedge with an Edge		12	200mm	850mm	
Lor	Loropetalum chinense 'Purple Pixie'	Fringe Flower	7	200mm	1.5M	
Na	Nandina 'Gulf Stream'	Heavenly Bamboo	38	200mm	750mm	
Rap	Raphiolepis indica 'Cosmic White'	Indian Hawthorn	12	200mm	1.5M	
San	Sansevieria trifasciata	Mother In laws Tongue	12	200mm	1.5M	
Phi	Phormium tenax 'Flamin'	New Zealand Flax	21	200mm	600mm-1M	
Ple	Plectranthus 'Mona Lavender'	Spur Flower	5	200mm	700mm	
WeG	Westringia fruticosa 'Grey Box'	Coastal Rosemary	6	200mm	450mm	
Wes	Westringia fruticosa Mundi	Coastal Rosemary	5	200mm	500mm	

GROUND COVER/CLIMBER						
Gre	Grevillea lanigera 'Mt Tamboritha'	Grevillea	7	200mm	300mm	
Lir	Liriope 'Just Right'	Turf Lily	7	140mm	500mm	
Phi	Philodendron 'Little Phil'	Philodendron	17	140mm	350mm	
Tra	Trachelospermum jasminoides	Star Jasmine	3	200mm		
Turf	Artificial turf					

NOTE: Plant quantities shown on planting plan take precedence over quantities shown on Plant Schedule (to be used as a guide).
The landscape contractor shall ensure that correct quantities are installed as per planting plan.

Volume of soil available for trees in Common Courtyard= 5.5m³ with soil depth of 900mm; for shrubs 500-600mm depth of soil



Callistemon viminalis 'Slim'



Anigozanthos



Escallonia Hedge with an Edge



Raphiolepis 'Cosmic White'



Correa alba



Westringia Grey Box



Plectranthus 'Mona Lavender'



Sansevieria trifasciata



Liriope muscari



Trachelospermum

EarthMatters
CONSULTING



DRAWINGS TO BE READ AND NOT SCALED
DISCREPANCY IF ANY TO BE BROUGHT TO THE DESIGNER'S ATTENTION
ALL LEVELS AS PER SURVEY PLAN

Revision	Date	Amendment	ADDRESS: 8 ETHEL STREET EASTWOOD	DRAWING TITLE: LANDSCAPE PLAN
R1 R2	2.6.21 15.10.21	Courtyard changed per arch. changes. Plant sch. amended Drawing changed per RFI (architectural drawings Rev A); plants changed- ref. schedule; pivacy screen added; area calculations elaborated; planterbox soil depths changed	CLIENT: Mr RON WANG	PROJECT NO. ETH 20
				DRAWING NO. LD01
				DATE JANUARY 2021
				SCALE 1:100@ A1
				DRAWN SVS
				STATUS DRAFT

SANDHYA SUNIL
M: 0439332998
E: info@earthmattersconsulting.com.au
www.earthmattersconsulting.com.au

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REMOVAL OF TREES
SUBJECT TO
COUNCIL APPROVAL

NOTE:
ANY ADJUSTMENT IN ROAD
RESERVE SHALL BE CARRIED OUT
AS PER CITY OF RYDE DCP 2014
PART 4.1 AND PUBLIC DOMAIN
TECHNICAL MANUAL SECTION 3

North Point



EXISTING
PIT (IV:68.09)
NEW DRAINAGE PIPE
SATISFYING COUNCIL

NOTE:
ALL WORKS ON ROAD
RESERVE SHALL BE
COMPLIED WITH CITY
OF RYDE'S STANDARDS
AND SPECIFICATIONS



Development Engineering Service
Approved Engineering Plans
Application Number: LDA2021/0204
Council Officer: Emily Lu
Date: 24/01/2022

WARNING:

EXISTING SERVICES HAVE BEEN
PLOTTED FROM RECORDS SUPPLIED
BY THE PUBLIC UTILITY AUTHORITIES.
LOCATIONS HAVE INTERPRETED FROM
THESE RECORDS ARE APPROXIMATE
ONLY. EXTREME CAUTION SHOULD BE
TAKEN WHEN EXCAVATING

AREA CALCULATIONS

SITE AREA :629.00 Sqm
EXISTING SITE
BUILDING :412.00 Sqm
DRIVEWAY/PAVED :118.60 Sqm
TOTAL IMPER. AREA :530.60 Sqm
PERCENTAGE :84.36%

PROPOSED SITE
HOUSE :629.00 Sqm
TOTAL IMPER. AREA :629.00 Sqm
PERCENTAGE :100.00%

AS PER COUNCIL STORMWATER DCP
STORMWATER MANAGEMENT PLAN

- NEW PIPE SYSTEM
- OSD
- BASEMENT PUMP SYSTEM

STORMWATER DRAINAGE NOTES

ALL WORK IN ACCORDANCE WITH THE LOCAL
GOVERNMENT ACT, COUNCIL'S STANDARD
SPECIFICATION & CODES & TO THE SATISFACTION
OF COUNCIL'S SUPERVISING OFFICER.

THIS PLAN TO BE READ IN CONJUNCTION WITH
PLANS PREPARED BY THE ARCHITECT'S AND
STRUCTURAL ENGINEER;

ALL LINES TO BE 100 DIA. AT 1% MIN. SEWER GRADE
UNLESS NOTED OTHERWISE ON PLAN.

INSTALL TEMPORARY SEDIMENT BARRIERS
AROUND ALL INLET PITS TO DETAIL UNTIL
SURROUNDING AREAS ARE PAVED OR GRASSED

CONTRACTOR IS TO VERIFY THE LOCATION & LEVEL
OF ALL EXISTING SERVICES PRIOR TO
COMMENCEMENT OF EXCAVATION FOR DRAINAGE

ALL PITS TO BE BENCHED TO HALF PIPE SECTION
AND TO HAVE GALVANISED STEEL GRATES AND
SURROUNDS.

PIPE GRADES SHOWN ARE INDICATIVE MINIMUM.
PIPES ARE TO BE LAID TO I.L. LEVELS INDICATED AT
PITS. ALL PVC PIPES ARE TO BE EXTRA HEAVY
DUTY SEWER GRADE

ALL SURFACE RUNOFF TO BE DIRECTED TOWARDS
PITS BY SITE GRADE AS SHOWN IN PLAN

ALL DOWN PIPES SHOULD BE CONNECTED AS
SHOWN IN PLAN

SYMBOLS & NOTATIONS

→	DRAINAGE PIPE LINE
■	GRATED INLET PIT
●	SUB SOIL OUTLET
NS.	NS OR GRATE LEVEL OF PIT
IV.	INVERT LEVEL OF PIPE
DP	DOWN PIPE Ø90mm/100x75mm
---	SILT BARRIER FENCE
RL	REDUCED LEVEL (DESIGNED)
GR.	GRATE LEVEL (DESIGNED)
TWL	TOP WATER LEVEL
■	SPREADER
P1	Ø100mm @ 1% MIN
P2	Ø100mm CHARGED UPVC
□	CLEAN OUT PIT
DP1	DP DIRECT TO RWT
RWT	RAINWATER TANK
P3	Ø150mm @ 1% MIN
P4	Ø150mm CHARGED UPVC
P5	Ø225mm @ 1% MIN
←	SURFACE FALL
FW	FLOOR WASTE
VD	VERTICAL DROP



EXISTING FOOTPATH
AROUND NEW DRIVEWAY
TO BE RECONSTRUCTED
AS SATISFYING COUNCIL

ABBREVIATED ROOF WATER RUNOFF CALCULATIONS

Tc = 5 min.
ARI = 1:100 yr.
I = 231.00 mm/hr.
C = 1
Q = CIA/3600 l/s

WARNING:

ANY DISCREPANCIES OR
UNCLEAR ITEMS MUST BE
CLARIFIED BY DESIGN
ENGINEER BEFORE
CONSTRUCTION STARTS

GUTTER SLOPE SHOULD
BE 1 IN 500 MINIMUM
AS PER AS/NZS:3500.3-2003

ALL DEMOLITION OF ANY
STRUCTURES SHOULD
SATISFY AS 2601-1991

STORMWATER DESIGN
AND CONSTRUCTION
TO COMPLY WITH
BCA 3.1.2

DOWN PIPE TO BE
90mm OR 100*75mm
MINIMUM SIZE AND
FOR 45 Sqm MAXIMUM

THE DISTANCE
BETWEEN TWO
DOWN PIPES NOT
TO EXCEED 12m

DESIGN AND LAYOUT
OF PARKING AS
PER AS2890.1-2004

THE CHARGED PORTION OF DRAINAGE
SYSTEM, RISING OUT OF THE GROUND,
MUST BE SEALED. SEALED PORTION
OF DOWN PIPE MUST BE PAINTED.

USE PIPE SYSTEM FROM ALL
DOWN PIPES TO DISCHARGE POINT
TO COMPLY WITH COUNCIL AND
AUSTRALIAN STANDARDS.

ROOF GUTTER AND DRAINAGE
DESIGN TO COMPLY WITH BCA
AND AUSTRALIAN STANDARDS
AS/NZS 3500:2003 PLUMBING
AND DRAINAGE STANDARDS

ANY GRATED PIT IN
CHILDREN'S PLAY AREAS
SHALL BE PROVIDED WITH
CHILD PROOF "J" TYPE
SPRING LOCK.

ALL DRAINAGE AND PLUMBING
WORKS TO BE CARRIED OUT IN
ACCORDANCE WITH AS/NZS
3500.3:2 PLUMBING AND
DRAINAGE CODE

IMPORTANT

ALL EXISTING SERVICES SHOWN ON THIS PLAN ARE APPROXIMATE LOCATION ONLY.
THE CONTRACTOR IS TO VERIFY THE EXACT LOCATION AND LEVEL OF ALL EXISTING
SERVICES PRIOR TO COMMENCEMENT OF EXCAVATION WORK FOR PIPE LAYING.
THE CONTRACTOR IS TO MEET THE FULL COST TO RELOCATE OR ADJUST TELSTRA,
ENERGY AUSTRALIA, SYDNEY WATER, GAS AND ALL SERVICES AS REQUIRED.

8	AMENDED AS PER COUNCIL LETTER (12/10/21)	M.M	M.M	K.N	10.11.21
7	AMENDED AS PER ARCHITECT MARKED UP	M.M	M.M	K.N	01.06.21
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2	FOOTPATH ON ETHEL LANE INCLUDED	M.M	M.M	K.N	29.12.20
1	FOR APPROVAL AND CONSTRUCTION CERTIFICATE	M.M	M.M	K.N	12.12.20
Description		Drafted By	checked By	Approved By	Date

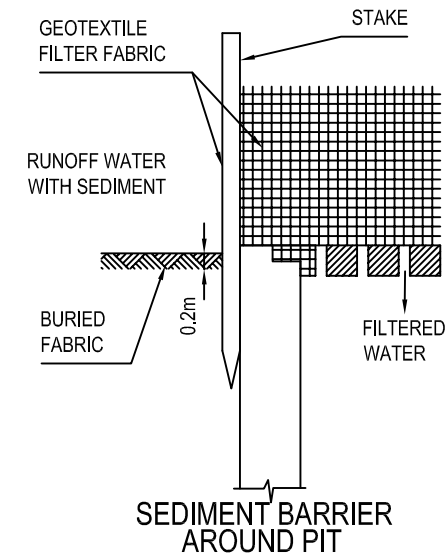
ARCHITECT:
MOMENTUM ARCHITECTS
UNIT 20, 22 HUDSON AVENUE, CASTLE HILLS NSW2154
Ph: 8850 8821

STRUCTURAL ENGINEER::
KARAI CONSULTING ENGINEERS
86A, TARGO ROAD, GIRRAWEE, N.S.W. 2145
Ph: 0422342935
E-mail : nades_ks@yahoo.com
ABN: 73457507582

Nades .K
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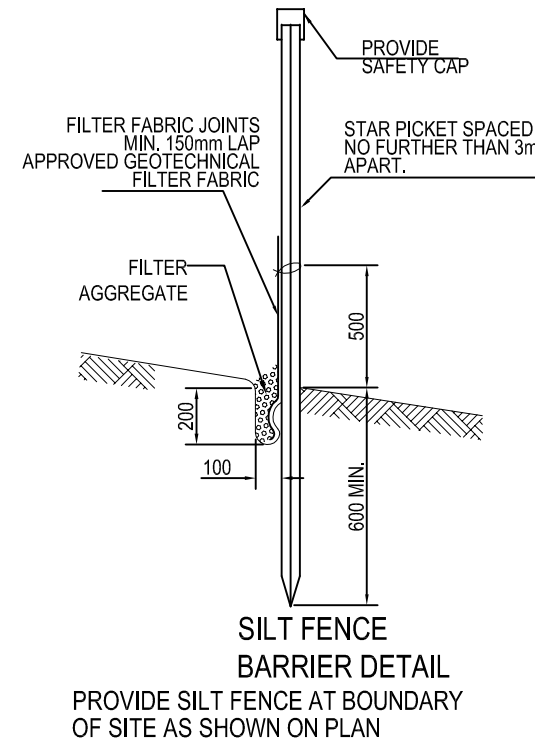
CLIENT:
PROJECT: Proposed Development
ADDRESS: 8, Ethel Street, Eastwood NSW 2177

JOB NO: P129
DWG. TITLE: STORM WATER MANAGEMENT AND
SEDIMENT CONTROL PLAN
DWG NO: SW01-05
SCALE: N.T.S



CONSTRUCTION NOTES

1. FABRICATE A SEDIMENT BARRIER MADE FROM GEOTEXTILE
2. SUPPORT GEOTEXTILE WITH MESH TIED TO POSTS AT 1000mm CENTRES.
3. DO NOT COVER INLET WITH GEOTEXTILE.
4. INSTALL & SUPPLY GEOTEXTILE AS PER SITE FENCE BARRIER DETAIL.



SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE X 300mm DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60 % FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.
7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 2.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE

EROSION & SEDIMENT CONTROL

1. SEDIMENT CONTROL DEVICES ARE TO BE IN PLACE PRIOR TO ANY DEMOLITION OR CONSTRUCTION.
2. CONSTRUCT A SILT BARRIER FENCE WHERE SHOWN ON PLAN AND TO DETAILS ABOVE.
3. SEDIMENT CONTROL DEVICES ARE TO BE MAINTAINED, IN GOOD WORKING ORDER, UNTIL COMPLETION OF ALL SITE WORKS OR TO THE SATISFACTION OF COUNCIL'S SUPERVISING OFFICER.
4. PROVIDE HAY BALE BARRIERS AROUND ALL EXISTING SURFACE INLET PITS DURING CONS.
5. INSTALL STABILISED SITE ACCESS IF REQUIRED BY COUNCIL AS PER COUNCIL'S DETAIL.



Development Engineering Service

Approved Engineering Plans

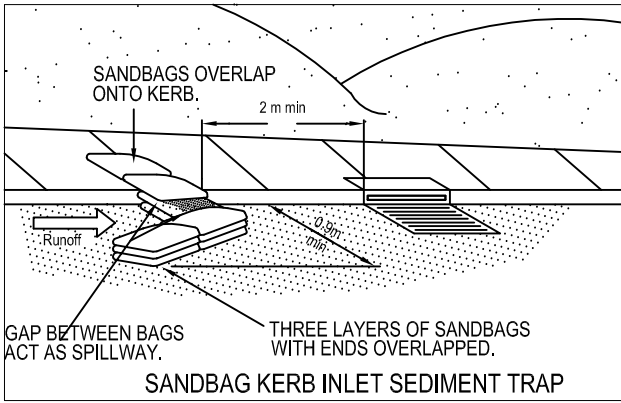
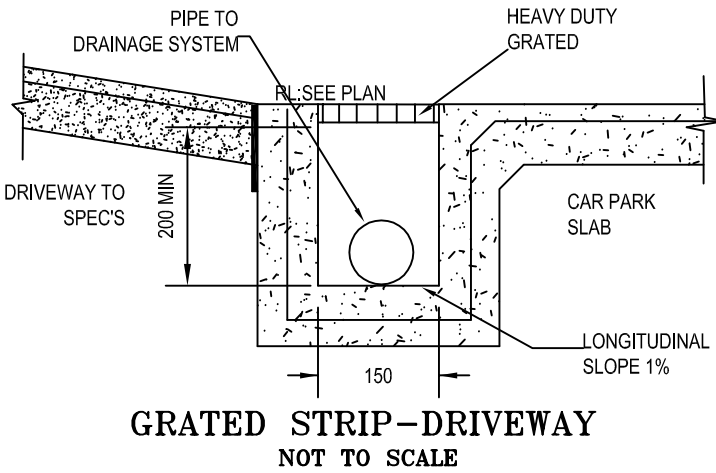
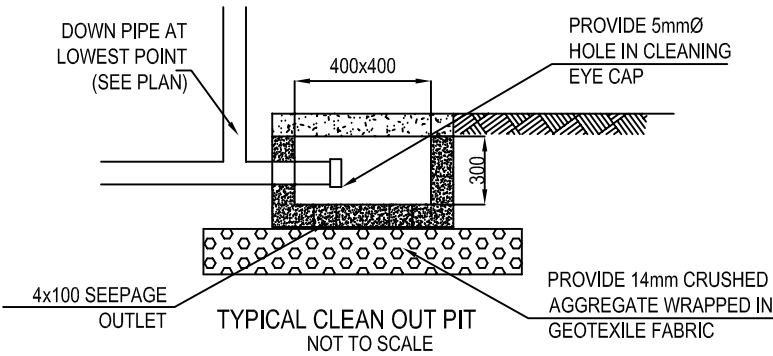
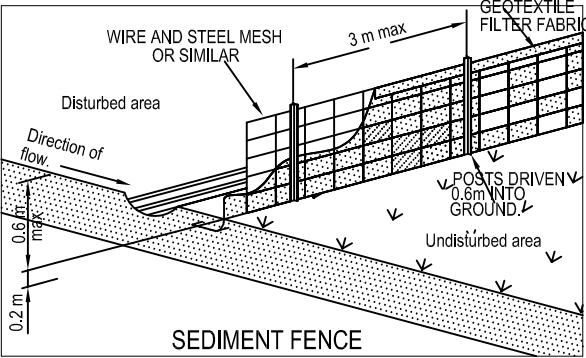
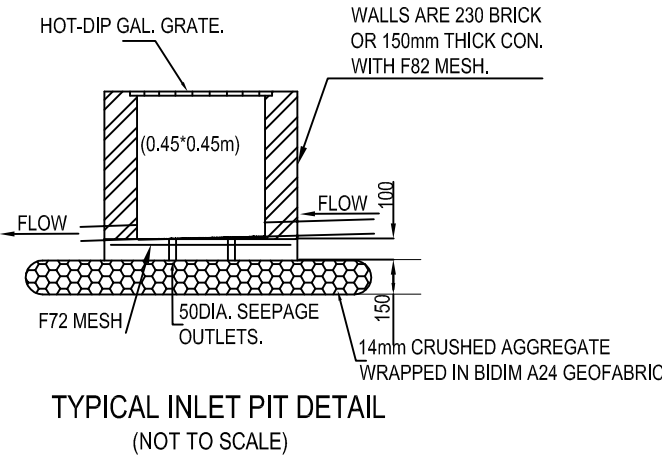
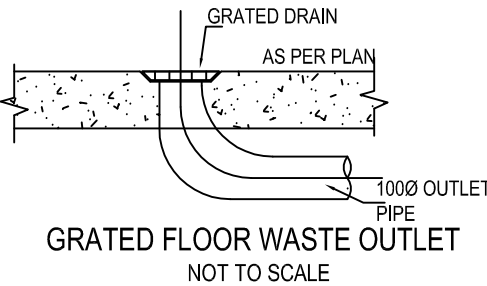
Application Number: LDA2021/0204

Council Officer: Emily Lu

Date: 24/01/2022

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5. INSTALL STABILISED SITE ACCESS AS PER DETAIL OVER.



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JOB NO: P129

DWG. TITLE: STORM WATER MANAGEMENT AND SEDIMENT CONTROL PLAN

DWG NO: SW02-05

SCALE: N.T.S



City of Ryde

Development Engineering Service

Approved Engineering Plans

Application Number: LDA2021/0204

Council Officer: Emily Lu

Date: 24/01/2022

ALL THE BASEMENT WALLS
TO BE WATERPROOFED AND
PROVIDE AGG LINES AND
SPOON DRAIN TO REMOVE
SEEPAGE WATER.



EXCAVATION SHOULD
SATISFY BCA 3.2.2

DESIGN AND LAYOUT
OF PARKING AS
PER AS2890.1-2004

OSD tank at this location shall be
reconfigured to provide a minimum of
2.2m headroom for car space C9.

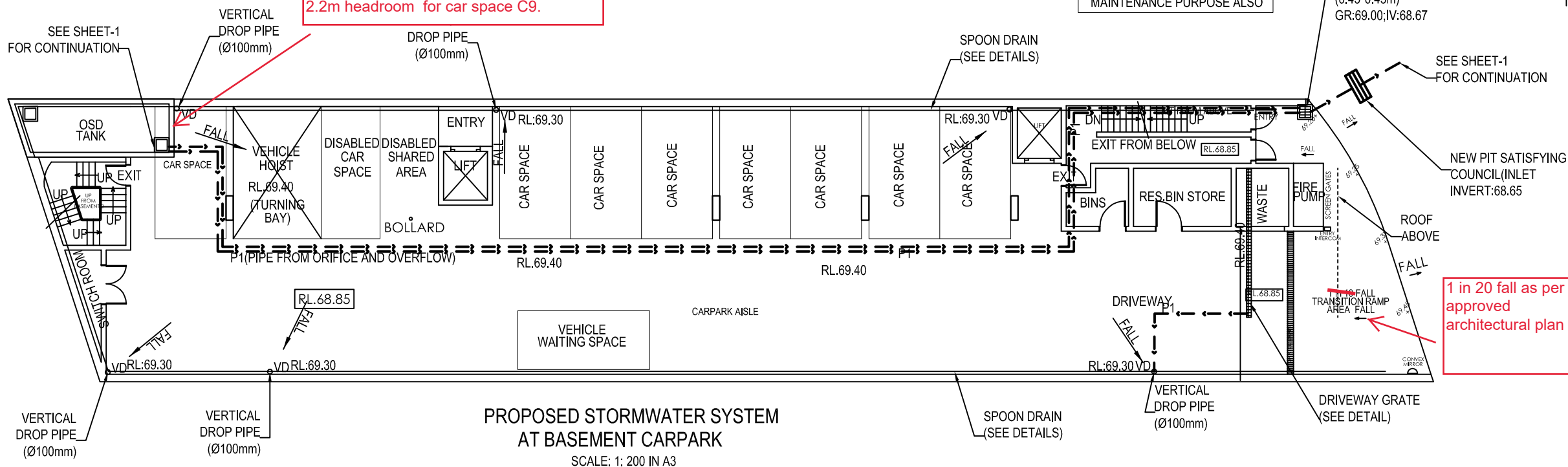
NOTE:

BOUNDARY PIT AND ACCESS ON
OSD ARE PROVIDED FOR FUTURE
MAINTENANCE PURPOSE ALSO

BOUNDARY PIT
(0.45*0.45m)
GR:69.00;IV:68.67

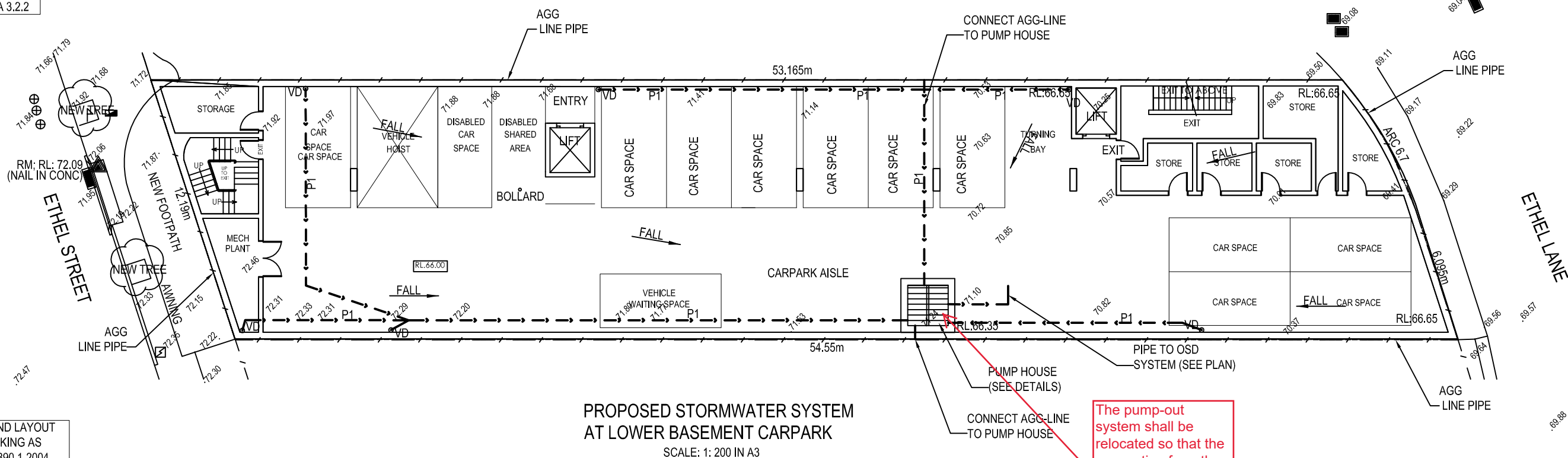
1 in 20 fall as per
approved
architectural plan

The pump-out
system shall be
relocated so that the
connection from the
proposed riser to the
proposed OSD is
convenient.



PROPOSED STORMWATER SYSTEM
AT BASEMENT CARPARK

SCALE: 1: 200 IN A3



PROPOSED STORMWATER SYSTEM
AT LOWER BASEMENT CARPARK

SCALE: 1: 200 IN A3

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SEDIMENT CONTROL PLAN
DWG NO:SW03-05
SCALE: N.T.S

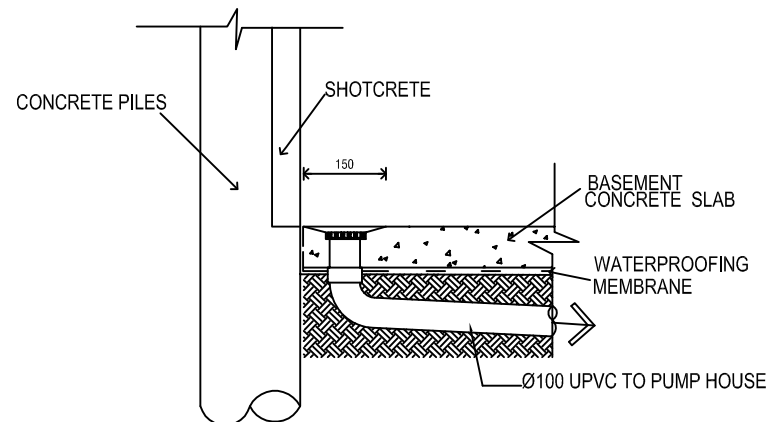


PUMP SPECIFICATIONS

STANDARD PUMP-OUT NOTES

THE PUMP-OUT SYSTEM IS DESIGNED TO WORK IN THE FOLLOWING MANNER -

1. THE PUMPS SHALL BE PROGRAMMED TO WORK ALTERNATELY SO AS TO ALLOW BOTH PUMPS TO HAVE EQUAL OPERATION LOAD & PUMP LIFE.
2. A LOW LEVEL FLOAT SHALL BE PROVIDED TO ENSURE THAT THE MINIMUM REQUIRED WATER LEVEL IS MAINTAINED WITHIN THE SUMP AREA OF THE BELOW GROUND TANK. IN THIS REGARD THIS FLOAT WILL FUNCTION AS AN OFF SWITCH FOR THE PUMPS.
3. A SECOND FLOAT SHALL BE PROVIDED AT A HIGHER LEVEL, APPROXIMATELY 300mm ABOVE THE MINIMUM WATER LEVEL, WHEREBY ONE OF THE PUMPS WILL OPERATE & DRAIN THE TANK TO THE LEVEL OF THE LOW LEVEL FLOAT.
4. A THIRD FLOAT SHALL BE PROVIDED AT A HIGH LEVEL, WHICH IS APPROXIMATELY THE ROOF LEVEL OF THE BELOW GROUND TANK. THIS FLOAT SHOULD START THE OTHER PUMP THAT IS NOT OPERATING & ACTIVATE THE ALARM.
5. AN ALARM SYSTEM SHALL BE PROVIDED WITH A FLASHING STROBE LIGHT & A PUMP FAILURE WARNING SIGN WHICH ARE TO BE LOCATED AT THE DRIVEWAY ENTRANCE TO THE BASEMENT LEVEL. THE ALARM SYSTEM SHALL BE PROVIDED WITH A BATTERY BACK-UP IN CASE OF POWER FAILURE.



TYPICAL SPOON DRAIN OUTLET
FOR CONTIGUOUS PILING WALLS
OR PILES WITH SHOTCRETE
NOT TO SCALE

NOTE:
AGG-LINE
SHOULD BE
LAID IN 1%
SLOPE(MIN)

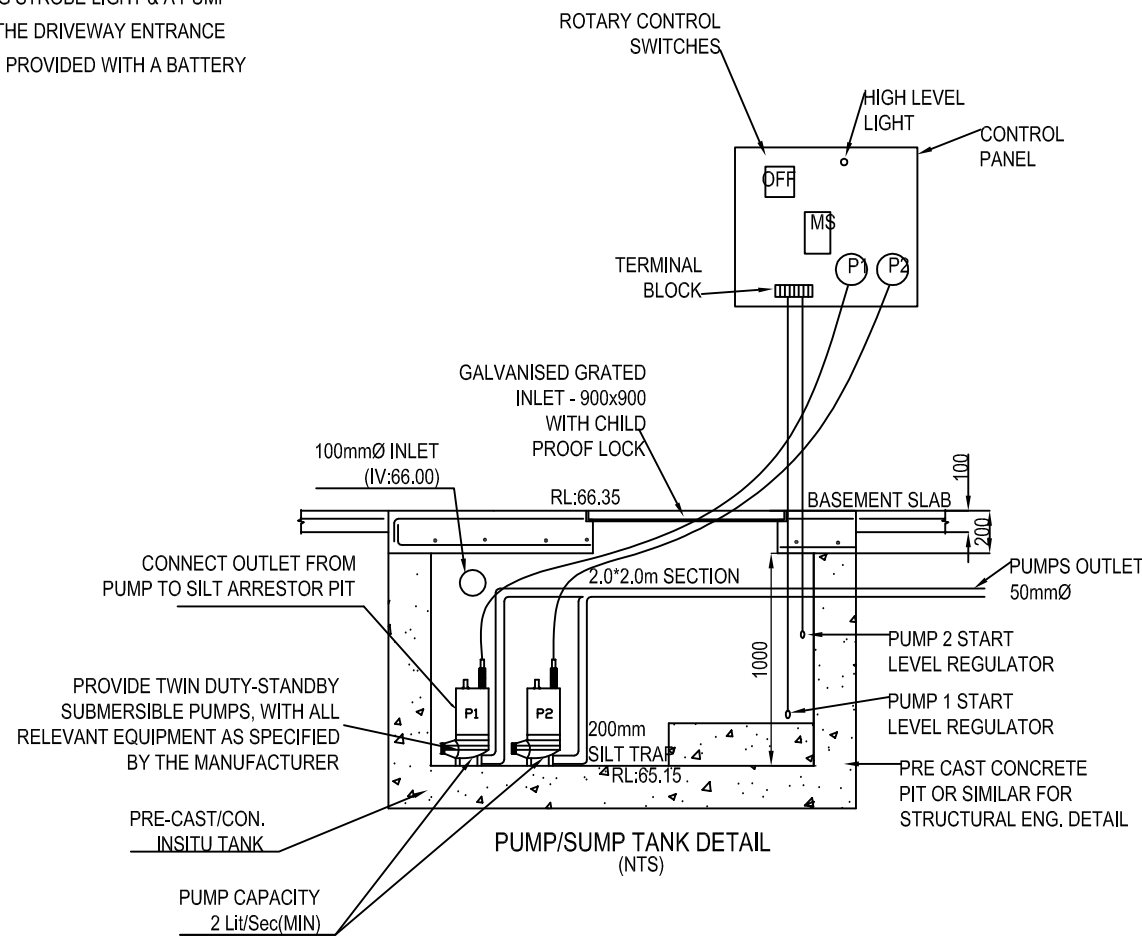
WARNING:
PUMP OUT SYSTEM
FAILURE IN BASEMENT
WHEN LIGHT IS FLASHING
AND SIREN SOUNDING

PROVIDE TWIN DUTY-STANDBY
SUBMERSIBLE PUMPS, WITH ALL
RELEVANT EQUIPMENT AS
SPECIFIED BY MANUFACTURER

ALL THE BASEMENT WALLS
TO BE WATERPROOFED AND
PROVIDE AGG LINES AND
DISH DRAIN TO REMOVE
SEEPAGE WATER.

PUMPS TO BE REGULARLY
INSPECTED AND SERVICED

NOTE: IN ORDER TO MAXIMISE
VISIBILITY IN THE BASEMENT CAR
PARKS, ALL BASEMENT CEILINGS
ARE TO BE PAINTED WHITE

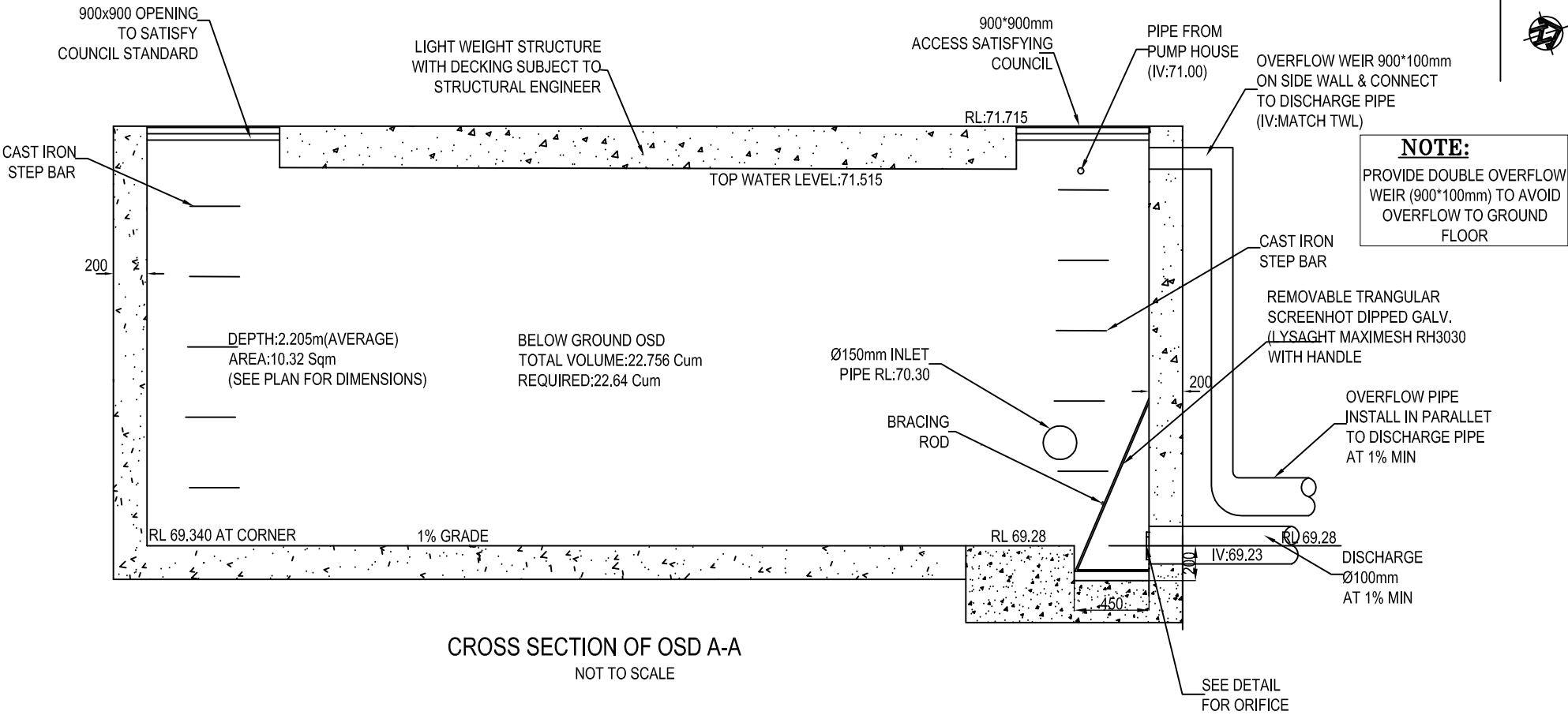


NOTE:
TWL IN OSD :71.515
RL AT PUMP :65.15
HEAD DIFFERENCE:6.355m
(MINIMUM PUMP HEAD REQUIRED)
PUMP DESIGNED WITH 8.00M HEAD
IS ADEQUATE

8	AMENDED AS PER COUNCIL LETTER (12/10/21)	M.M	M.M	K.N	10.11.21	<div>ARCHITECT: MOMENTUM ARCHITECTS UNIT 20, 22 HUDSON AVENUE, CASTLE HILLS NSW2154 Ph: 8850 8821</div> <div>STRUCTURAL ENGINEER:: KARAI CONSULTING ENGINEERS 86A, TARGO ROAD, GIRRAWEE, N.S.W. 2145 Ph: 0422342935 E-mail : nades_ks@yahoo.com ABN: 73457507582 Nades .K BSc Eng.,MIEAUST,CPEng,NER Membership No:-1369379</div>	CLIENT:	JOB NO: P129	
7	AMENDED AS PER ARCHITECT MARKED UP	M.M	M.M	K.N	01.06.21		PROJECT: Proposed Development	DWG. TITLE: STORM WATER MANAGEMENT AND SEDIMENT CONTROL PLAN	
6	AMENDED AS PER COUNCIL EMAIL	M.M	M.M	K.N	12.05.21		ADDRESS: 8, Ethel Street, Eastwood NSW 2177	DWG NO:SW04-05	
5	AMENDED AS PER COUNCIL EMAIL	M.M	M.M	K.N	02.05.21			SCALE: N.T.S	
4	OSD RELOCATED ABOVE COMMUNITY OPEN SPACE	M.M	M.M	K.N	13.02.21				
3	OSD AMENDED AS PER ARCHITECT'S MARK UP	M.M	M.M	K.N	02.02.21				
2	FOOTPATH ON ETHEL LANE INCLUDED	M.M	M.M	K.N	29.12.20				
1	FOR APPROVAL AND CONSTRUCTION CERTIFICATE	M.M	M.M	K.N	12.12.20				
	Description	Drafted By	checked By	Approved By	Date				



Ryde Council OSD Calculations				
Site address:	8 Ethel Street Eastwood			
Development:	New Building			
Site Area:	629	Sqm	A	
65% of site	408.85	Sqm		
Impervious area:	629	Sqm	B	
% of Imp. Area	100			
Imp. Area to OSD	629	Sqm	C	
Pervious area to OSD	0	Sqm	D	
Total area to OSD:	629	Sqm	E	
Per. Area bypassing OSD	0	Sqm	F	
Imp. Area bypassing OSD:	0	Sqm	G	
(C+G)/C:	1		Satisfied	
Zone:	Eastwood			
PSD:	13.209	lit/sec		
SSR:	22.644	m^3		
No Grass Adjustment	22.644	m^3		
Flow depth over Orifice CL:	2.235	m		
ORIFICE:	65			



CROSS SECTION OF OSD A-A
NOT TO SCALE

HYDRAULIC GRADELINE:

HEAD INSIDE OSD	: 71.515m
PSD	:12.209 lit/s
	:0.0122 Cusec
PIPE CROSS AREA	:0.007854 Sqm
VELOCITY	:1.5532 m/s
ENTRY LOSS	:0.06149 m
PIPE LENGTH	:56m
FRICTION COEFF.	:0.02
(PAGE 325, AR&R; RANGE:0.03-0.015)	
FRICTION LOSS	:0.13774 m
90 DEGREE BENDS	:4
BEND LOSS	:0.551 m
EXIT LOSS	:0.12298 m
TOTAL LOSS	:0.87321 m
PIPE INVERT AT BOUNDARY PIT	:68.67 m
HEAD AT EXIT IN PIT	:1.9718 m
PIPE HAS ADEQUATE HEAD	
HYDRAULIC GRADELINE IS SATISFIED	



Development Engineering Service

Approved Engineering Plans

Application Number:LDA2021/0204

Council Officer:Emily Lu

Date: 24/01/2022

THIS IS AN
ON SITE STORMWATER
DETENTION SYSTEM
REQUIRED BY COUNCIL

IT IS AN OFFENSE TO REDUCE THE VOLUME OF THE
TANK/BASIN OR TO INTERFERE WITH THE
ORIFICE PLATE THAT CONTROL THE FLOW

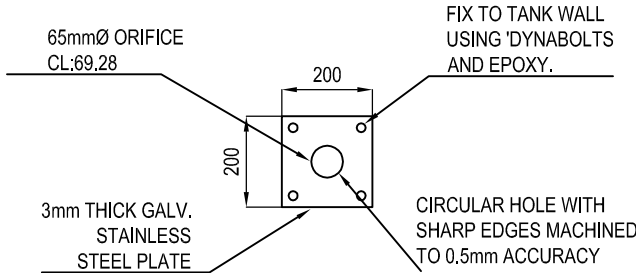
THE BASIN OF THE OUTLET CONTROL PIT AND
THE DEBRIS SCREEN MUST BE CLEANED OF DEBRIS
AND SEDIMENT ON A REGULAR BASIC BY THE OWNER

THIS PLATE MUST NOT BE REMOVED

OSD WARNING SIGN
NOT TO SCALE



ALL WALLS FORMING THE
DETENTION BASIN SHALL BE
CONSTRUCTED WHOLLY WITHIN
THE PROPERTY BOUNDARIES
AND THE SITE BEING DEVELOPED



ORIFICE PLATE - DCP
NOT TO SCALE

8	AMENDED AS PER COUNCIL LETTER (12/10/21)	M.M	M.M	K.N	10.11.21
7	AMENDED AS PER ARCHITECT MARKED UP	M.M	M.M	K.N	01.06.21
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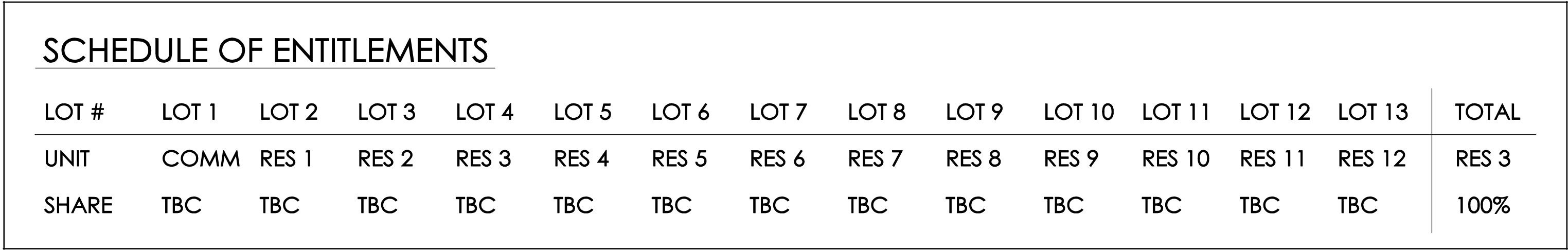
ARCHITECT:
MOMENTUM ARCHITECTS
UNIT 20, 22 HUDSON AVENUE, CASTLE HILLS NSW2154
Ph: 8850 8821

STRUCTURAL ENGINEER::
KARAI CONSULTING ENGINEERS
86A, TARGO ROAD, GIRRAWEE, N.S.W. 2145
Ph: 0422342935
E-mail : nades_ks@yahoo.com
ABN: 73457507582

Nades .K
BSc Eng ,MIEAUST,CPEng,NER
Membership No-1369379

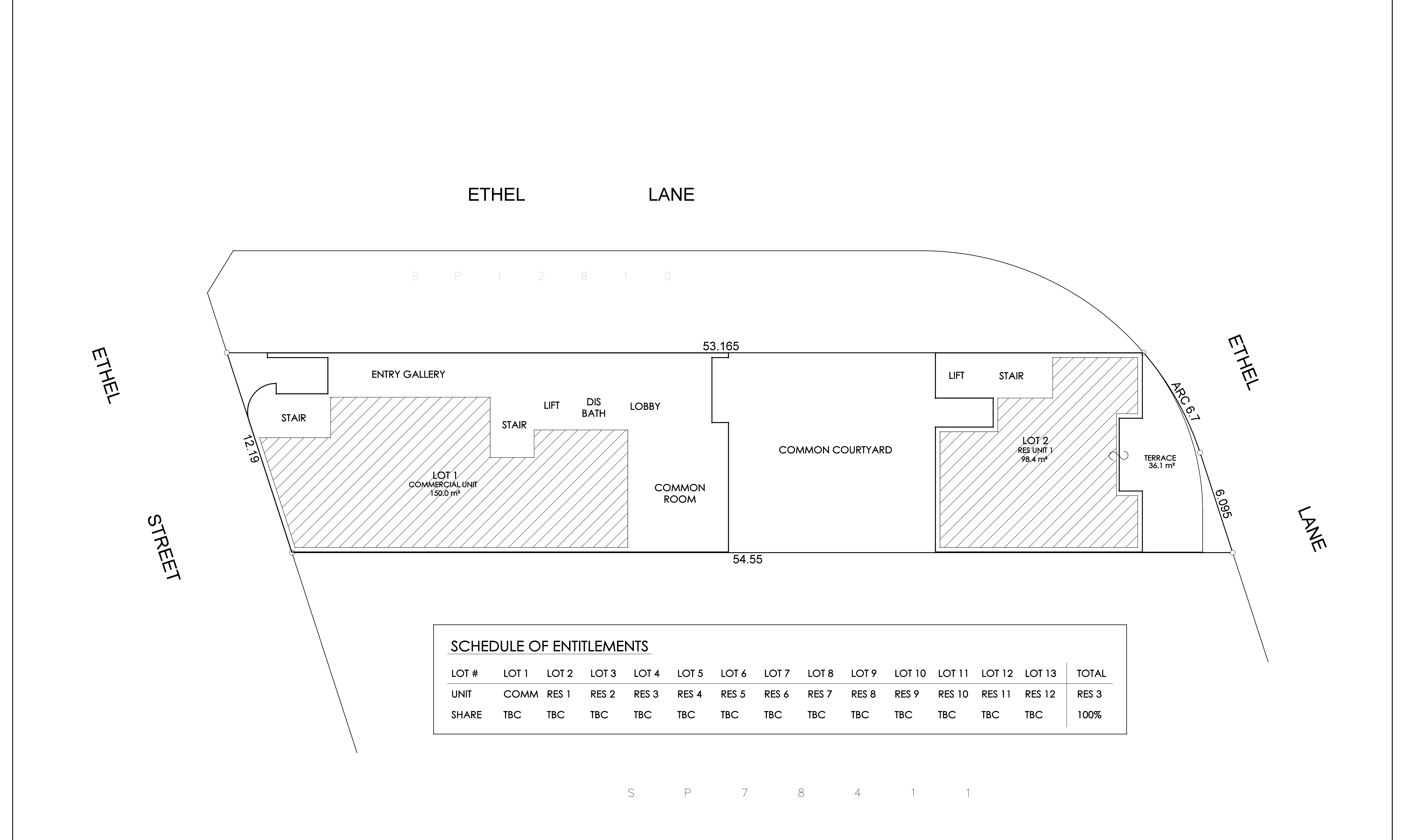
CLIENT:
PROJECT: Proposed Development
ADDRESS: 8, Ethel Street, Eastwood NSW 2177

JOB NO: P129
DWG. TITLE: STORM WATER MANAGEMENT AND
SEDIMENT CONTROL PLAN
DWG NO:SW05-05
SCALE: N.T.S



A1 SHEET

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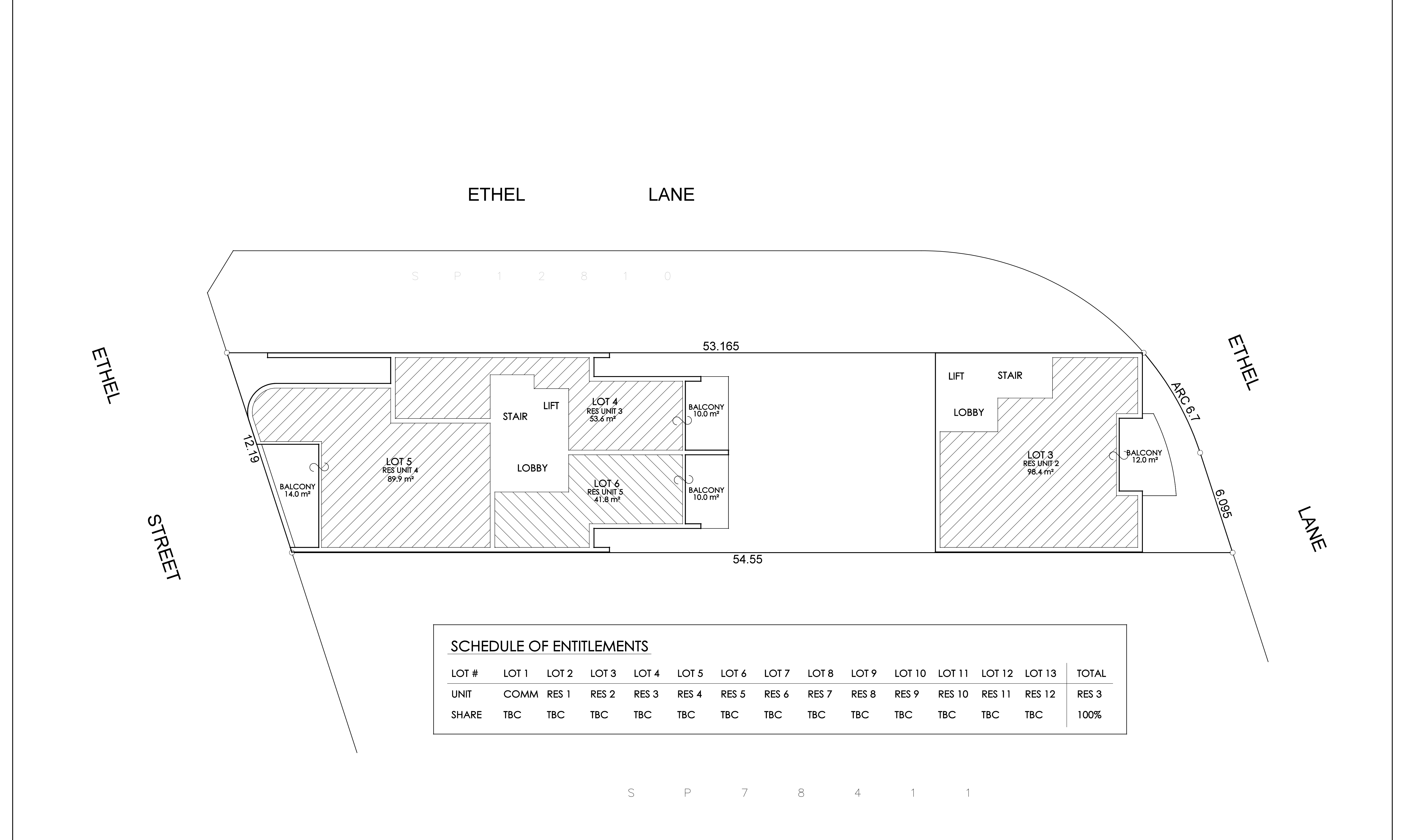


DRAFT STRATA PLAN - GROUND FLOOR

SCALE 1:100

A1 SHEET

<div>DRAWING</div> <div>STRATA – GROUND</div>				<div>PROJECT</div> <div>PROPOSED MIXED COMMERCIAL AND SHOP-TOP HOUSING DEVELOPMENT</div>				<table><tr><td>REV.</td><td>REVISION DESCRIPTION</td><td>DATE</td><td>REV.</td><td>REVISION DESCRIPTION</td><td>DATE</td><td>REV.</td><td>REVISION DESCRIPTION</td><td>DATE</td></tr><tr><td>A</td><td>REVISED DA DESIGN SUBMISSION</td><td>OCT. 2021</td><td></td><td></td><td></td><td></td><td></td><td></td></tr><tr><td>B</td><td>REVISED DA DESIGN SUBMISSION</td><td>FEB. 2022</td><td></td><td></td><td></td><td></td><td></td><td></td></tr><tr><td>C</td><td>MINOR DETAIL NOTATION/REVISIONS</td><td>APRIL, 2022</td><td></td><td></td><td></td><td></td><td></td><td></td></tr></table>				REV.	REVISION DESCRIPTION	DATE	REV.	REVISION DESCRIPTION	DATE	REV.	REVISION DESCRIPTION	DATE	A	REVISED DA DESIGN SUBMISSION	OCT. 2021							B	REVISED DA DESIGN SUBMISSION	FEB. 2022							C	MINOR DETAIL NOTATION/REVISIONS	APRIL, 2022							<div>NOTES</div> <div>FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALING. ANY DISCREPANCIES TO BE CHECKED WITH THE AUTHOR PRIOR TO COMMENCING WORK. ALL LOCAL GOVERNMENT REGULATIONS, BUILDING CODE OF AUSTRALIA AND OTHER CODES AND STANDARDS SHALL BE COMPLIED WITH IN THE WORKS. THESE DRAWINGS ARE PROTECTED BY COPYRIGHT.</div>				<div></div>		<div><div>MOMENTUM ARCHITECTS</div><div>UNIT 20, 22 HUDSON AVE, CASTLE HILL, NSW 2154 AUSTRALIA P: 02 8850 6821 E:MOMARCH@BIGPOND.COM</div><div>JOHN G. BOURKE B.ARCH (HONS), A.R.A.I.A DIP. C.D. (HONS), A.S.T.C. (HONS), P.D.C., N.S.W. REG. #2426</div></div>	
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<div>REF.</div> <div>FILES\RON-ETHEL\DAPLAN4</div>				<div>AT</div> <div>8 ETHEL STREET STRATA PLAN SP.18447 EASTWOOD NSW 2122</div>				<div>FOR</div> <div>MR RON WANG</div>																																															
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UNIT	COMM	RES 1	RES 2	RES 3	RES 4	RES 5	RES 6	RES 7	RES 8	RES 9	RES 10	RES 11	RES 12	RES 3
SHARE	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	100%

DRAFT STRATA PLAN - FIRST FLOOR

SCALE 1:100

A1 SHEET

DRAWING

STRATA – FIRST

DATE

APRIL, 2022

DRAWN

A.P.G

REF.

FILES\RON-ETHEL\DAPLAN4

DRAWING No.

19093

EX.

DA

YEAR

21

REV.

C

PROJECT

PROPOSED MIXED COMMERCIAL AND SHOP-TOP HOUSING DEVELOPMENT

AT

8 ETHEL STREET
STRATA PLAN SP.18447
EASTWOOD NSW 2122

FOR

MR RON WANG

REV.	REVISION DESCRIPTION	DATE	REV.	REVISION DESCRIPTION	DATE	REV.	REVISION DESCRIPTION	DATE
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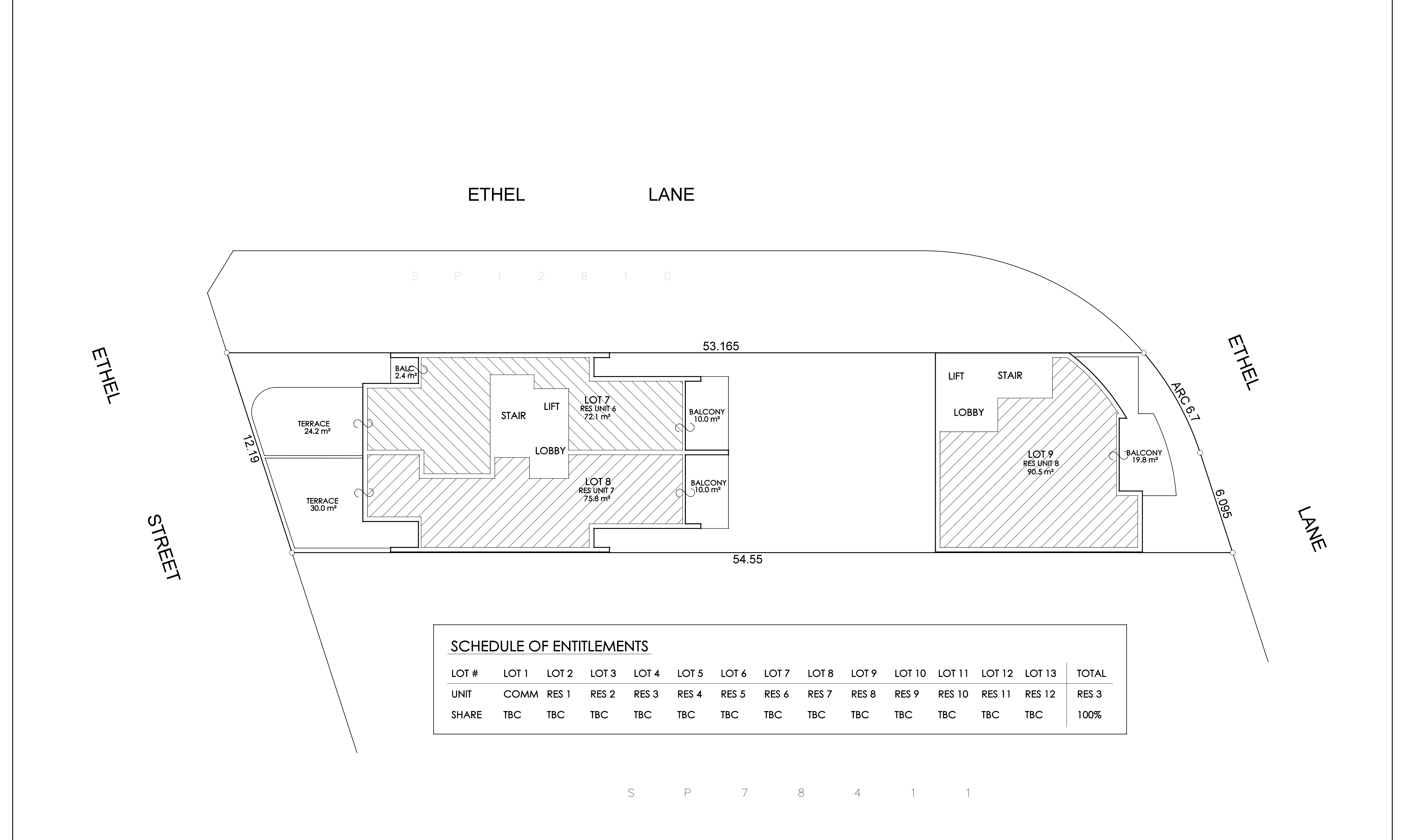
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MOMENTUM
ARCHITECTS

UNIT 20, 22 HUDSON AVE, CASTLE HILL
NSW 2154 AUSTRALIA
P: 02 8850 6821 E:MOMARCH@BIGPOND.COM

JOHN G. BOURKE B.ARCH (HONS), A.R.A.I.A
DIP. CD. (HONS), A.S.T.C. (HONS), P.D.C., N.S.W. REG. #2426



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SHARE	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	100%

DRAFT STRATA PLAN - SECOND FLOOR

SCALE 1:100

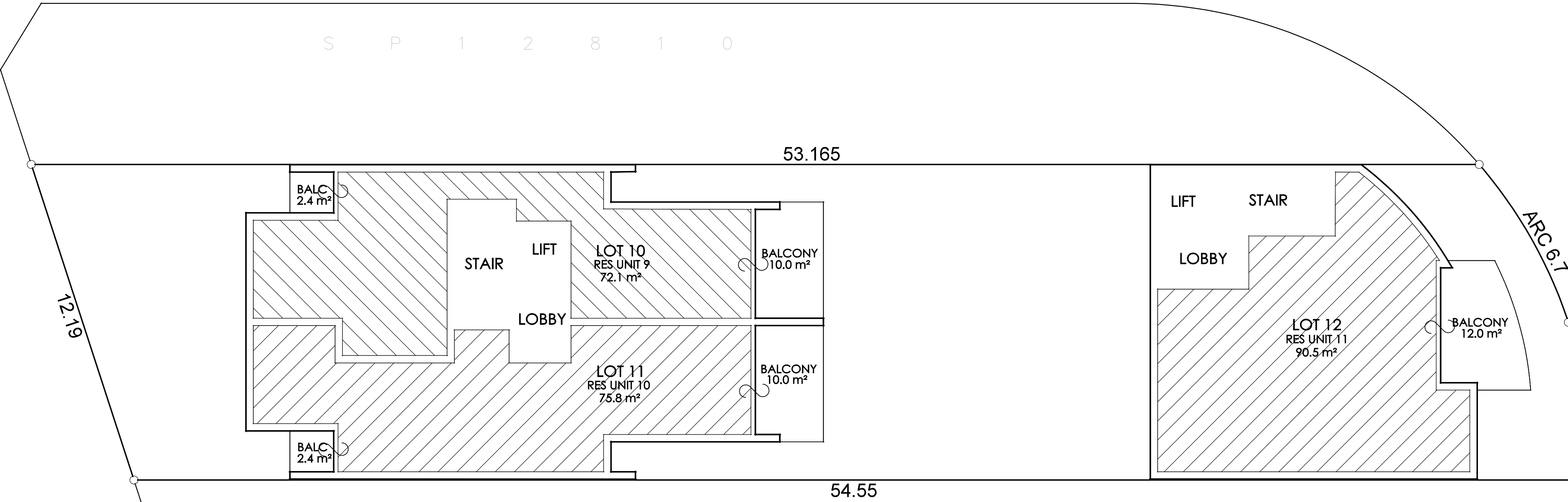
A1 SHEET

DRAWING STRATA - SECOND				PROJECT PROPOSED MIXED COMMERCIAL AND SHOP-TOP HOUSING DEVELOPMENT				<table><tr><th>REV.</th><th>REVISION DESCRIPTION</th><th>DATE</th></tr><tr><td>A</td><td>REVISED DA DESIGN SUBMISSION</td><td>OCT. 2021</td></tr><tr><td>B</td><td>REVISED DA DESIGN SUBMISSION</td><td>FEB. 2022</td></tr><tr><td>C</td><td>MINOR DETAIL NOTATION/REVISIONS</td><td>APRIL, 2022</td></tr></table>				REV.	REVISION DESCRIPTION	DATE	A	REVISED DA DESIGN SUBMISSION	OCT. 2021	B	REVISED DA DESIGN SUBMISSION	FEB. 2022	C	MINOR DETAIL NOTATION/REVISIONS	APRIL, 2022	<table><tr><th>REV.</th><th>REVISION DESCRIPTION</th><th>DATE</th></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr></table>				REV.	REVISION DESCRIPTION	DATE																												<table><tr><th>REV.</th><th>REVISION DESCRIPTION</th><th>DATE</th></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr></table>				REV.	REVISION DESCRIPTION	DATE																												NOTES FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALING. ANY DISCREPANCIES TO BE CHECKED WITH THE AUTHOR PRIOR TO COMMENCING WORK. ALL LOCAL GOVERNMENT REGULATIONS, BUILDING CODE OF AUSTRALIA AND OTHER CODES AND STANDARDS SHALL BE COMPLIED WITH IN THE WORKS. THESE DRAWINGS ARE PROTECTED BY COPYRIGHT.								<div>MOMENTUM ARCHITECTS UNIT 20, 22 HUDSON AVE, CASTLE HILL, AUSTRALIA NSW 2154 P: 02 8850 6821 E:MOMARCH@BIGPOND.COM</div> <div>JOHN G. BOURKE B.ARCH (HONS), A.R.A.I.A DIP. CD. (HONS), A.S.T.C. (HONS), P.D.C., N.S.W. REG. #2426</div>			
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ETHEL LANE

ETHEL STREET

ETHEL LANE



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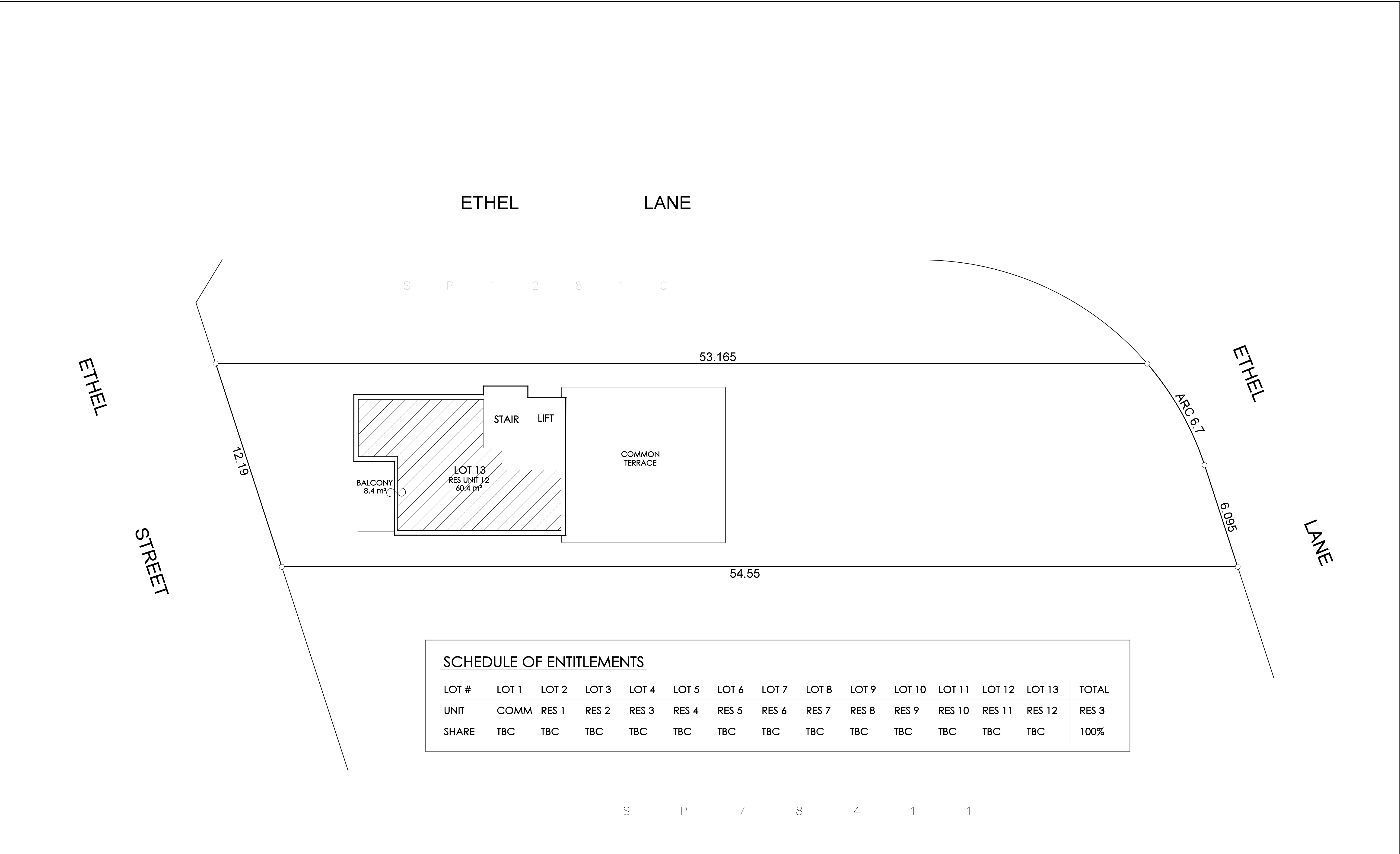
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DRAFT STRATA PLAN - THIRD FLOOR

SCALE 1:100

A1 SHEET

DRAWING STRATA - THIRD				PROJECT PROPOSED MIXED COMMERCIAL AND SHOP-TOP HOUSING DEVELOPMENT				REV. REVISION DESCRIPTION DATE A REVISED DA DESIGN SUBMISSION OCT. 2021 B REVISED DA DESIGN SUBMISSION FEB. 2022 C MINOR DETAIL NOTATION/REVISIONS APRIL, 2022				REV. REVISION DESCRIPTION DATE REV. REVISION DESCRIPTION DATE REV. REVISION DESCRIPTION DATE REV. REVISION DESCRIPTION DATE REV. REVISION DESCRIPTION DATE REV. REVISION DESCRIPTION DATE REV. REVISION DESCRIPTION DATE REV. REVISION DESCRIPTION DATE				NOTES FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALING. ANY DISCREPANCIES TO BE CHECKED WITH THE AUTHOR PRIOR TO COMMENCING WORK. ALL LOCAL GOVERNMENT REGULATIONS, BUILDING CODE OF AUSTRALIA AND OTHER CODES AND STANDARDS SHALL BE COMPLIED WITH IN THE WORKS. THESE DRAWINGS ARE PROTECTED BY COPYRIGHT.					
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REF. FILES\RON-ETHEL\DAPLAN4		DRAWING No. 19095																		EX. DA	



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SHARE	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	100%

DRAFT STRATA PLAN - FOURTH FLOOR

SCALE 1:100

A1 SHEET

<div>DRAWING</div> <div>STRATA – FOURTH</div>				<div>PROJECT</div> <div>PROPOSED MIXED COMMERCIAL AND SHOP-TOP HOUSING DEVELOPMENT</div>				<table><tr><th>REV.</th><th>REVISION DESCRIPTION</th><th>DATE</th><th>REV.</th><th>REVISION DESCRIPTION</th><th>DATE</th><th>REV.</th><th>REVISION DESCRIPTION</th><th>DATE</th></tr><tr><td>A</td><td>REVISED DA DESIGN SUBMISSION</td><td>OCT. 2021</td><td></td><td></td><td></td><td></td><td></td><td></td></tr><tr><td>B</td><td>REVISED DA DESIGN SUBMISSION</td><td>FEB. 2022</td><td></td><td></td><td></td><td></td><td></td><td></td></tr><tr><td>C</td><td>MINOR DETAIL NOTATION/REVISIONS</td><td>APRIL, 2022</td><td></td><td></td><td></td><td></td><td></td><td></td></tr></table>				REV.	REVISION DESCRIPTION	DATE	REV.	REVISION DESCRIPTION	DATE	REV.	REVISION DESCRIPTION	DATE	A	REVISED DA DESIGN SUBMISSION	OCT. 2021							B	REVISED DA DESIGN SUBMISSION	FEB. 2022							C	MINOR DETAIL NOTATION/REVISIONS	APRIL, 2022							<div>NOTES</div> <div>FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALING. ANY DISCREPANCIES TO BE CHECKED WITH THE AUTHOR PRIOR TO COMMENCING WORK. ALL LOCAL GOVERNMENT REGULATIONS, BUILDING CODE OF AUSTRALIA AND OTHER CODES AND STANDARDS SHALL BE COMPLIED WITH IN THE WORKS. THESE DRAWINGS ARE PROTECTED BY COPYRIGHT.</div>				<div></div>		<div></div> <div>UNIT 20, 22 HUDSON AVE, CASTLE HILL, AUSTRALIA NSW 2154 P: 02 8850 6821 E:MOMARCH@BIGPOND.COM</div> <div>JOHN G. BOURKE B.ARCH (HONS), A.R.A.I.A DIP. C.D. (HONS), A.S.T.C. (HONS), P.D.C., N.S.W. REG. #2426</div>	
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<div>REF.</div> <div>FILES\RON-ETHEL\DAPLAN4</div>				<div>AT</div> <div>8 ETHEL STREET STRATA PLAN SP.18447 EASTWOOD NSW 2122</div>				<div>FOR</div> <div>MR RON WANG</div>																																															
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