

DRAWING LIST

| DRAWING NO. | DRAWING NAME  | REVISION |
|-------------|---|----------|
| DA 001      | SITE PLAN   | M        |
| DA 002      | SITE ANALYSIS PLAN  | C        |
| DA 003      | DEMOLITION PLAN   | F        |
| DA 004      | COMPLIANCE SUMMARY  | M        |
| DA 099.2    | LOWER BASEMENT LEVEL & LOWER LEVEL - REAR (PART B)                      | L        |
| DA 099.3    | LOWER BASEMENT LEVEL & LOWER LEVEL - REAR (PART C)                      | F        |
| DA 099.4    | LOWER BASEMENT LEVEL & LOWER LEVEL - REAR (PART D)                      | F        |
| DA 100.1    | UPPER BASEMENT PLAN & ENTRY LEVEL FLOOR PLAN REAR (PART A)              | K        |
| DA 100.2    | UPPER BASEMENT PLAN & ENTRY LEVEL FLOOR PLAN REAR (PART B)              | L        |
| DA 101.1    | LOWER GROUND FLOOR PLAN FRONT & ROOF PLAN REAR (PART A)                 | L        |
| DA 101.2    | LOWER GROUND FLOOR PLAN FRONT & ROOF PLAN REAR (PART B)                 | L        |
| DA 102.1    | GROUND FLOOR PLAN FRONT (PART A)  | K        |
| DA 102.2    | GROUND FLOOR PLAN FRONT (PART B)  | L        |
| DA 103.1    | FIRST FLOOR PLANT FRONT (PART A)  | J        |
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| DA 104.1    | ROOF PLAN FRONT (PART A)  | J        |
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| DA 203      | SOUTH ELEVATIONS  | H        |
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| DA 301      | SECTION AA  | N        |
| DA 303      | SECTION BB  | N        |
| DA 305      | SECTION CC  | N        |
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| DA 508      | PATH OF TRAVEL DIAGRAM (UPPER BASEMENT LEVEL / ENTRY LEVEL REAR HOUSES) | H        |
| DA 510      | PATH OF TRAVEL DIAGRAM (GROUND LEVEL FRONT)                             | G        |
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| DA 602      | SHADOW DIAGRAMS 11AM  | L        |
| DA 603      | SHADOW DIAGRAMS 12PM  | L        |
| DA 604      | SHADOW DIAGRAMS 01PM  | L        |
| DA 605      | SHADOW DIAGRAMS 02PM  | L        |
| DA 606      | SHADOW DIAGRAMS 03PM  | L        |
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| DA 611      | SHADOW DIAGRAM 9AM TO 3PM H05 - H09                                     | E        |
| DA 612      | SHADOW DIAGRAM 9AM TO 3PM H10 - H11                                     | E        |
| DA 613      | SHADOW DIAGRAM 9AM TO 3PM H12 - H15                                     | E        |
| DA 614      | SHADOW DIAGRAM 9AM TO 3PM H16 - H19                                     | E        |
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| DA 700.1    | GFA CALCULATION (SHEET 1)   | L        |
| DA 701      | DEEP SOIL CALCULATIONS  | J        |
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| DA 713      | SOLAR ANGLE VIEW 21 JUNE 11AM   | J        |
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| DA 715      | SOLAR ANGLE VIEW 21 JUNE 01PM   | J        |
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| DA 760      | DRIVEWAY AND PUBLIC ART ZONE PLAN                                       | F        |
| DA 761      | DRIVEWAY AND PUBLIC ART ZONE  | E        |

REFERENCES

DRAWINGS TO BE READ IN CONJUNCTION WITH BUT NOT LIMITED TO ALL STRUCTURAL ENGINEERS, STORMWATER ENGINEERS, LANDSCAPE ARCHITECTS, AND OTHER ASSOCIATED PLANS & REPORTS

REFER TO THE BASIX REPORT FOR ADDITIONAL REQUIREMENTS.

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|   |          |                    |
|---|----------|--------------------|
| P | 20.09.21 | GENERAL AMENDMENTS |
| O | 17.07.20 | GENERAL AMENDMENTS |
| N | 13.07.20 | GENERAL AMENDMENTS |
| M | 07.02.20 | GENERAL AMENDMENTS |
| L | 23.08.19 | GENERAL AMENDMENTS |
| K | 22.08.19 | GENERAL AMENDMENTS |
| J | 19.08.19 | GENERAL AMENDMENTS |
| I | 16.08.19 | GENERAL AMENDMENTS |
| H | 09.08.19 | GENERAL AMENDMENTS |
| G | 23.07.19 | GENERAL AMENDMENTS |
| F | 23.07.19 | GENERAL AMENDMENTS |
| E | 22.07.19 | GENERAL AMENDMENTS |
| D | 21.06.19 | GENERAL AMENDMENTS |
| C | 28.08.18 | GENERAL AMENDMENTS |

| Rev. | Date | Description |
|------|------|-------------|
|------|------|-------------|

Project Architect



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Nominated Architect: Lijana Ermilova - 7887, ABN 24 243 205 327

Drawing Title

COVER SHEET

PROPOSED MIXED USE DEVELOPMENT

298-312,BLAXLAND ROAD, RYDE

|                |                  |                   |
|----------------|------------------|-------------------|
| Job no.        | Drawing no.      | Rev.              |
| J15284         | DA 000           | P                 |
| Drawn by<br>ZZ | Checked by<br>JY | Approved by<br>JY |
|                |                  | Date<br>AUG 2019  |



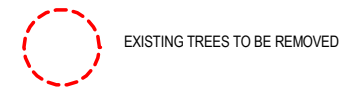
# BLAXLAND ROAD



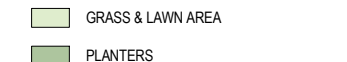
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## TREE TO REMAIN LEGEND



## LANDSCAPE LEGEND



|   |          |                    |
|---|----------|--------------------|
| M | 20.09.21 | GENERAL AMENDMENTS |
| L | 17.07.20 | GENERAL AMENDMENTS |
| K | 07.02.20 | GENERAL AMENDMENTS |
| J | 22.08.19 | GENERAL AMENDMENTS |
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| F | 22.07.19 | GENERAL AMENDMENTS |
| E | 21.06.19 | GENERAL AMENDMENTS |
| D | 28.08.18 | GENERAL AMENDMENTS |
| C | 27.07.18 | GENERAL AMENDMENTS |
| B | 20.10.17 | ISSUE FOR DA       |
| A | 21.10.16 | ISSUE FOR DA       |

| Rev. | Date | Description |
|------|------|-------------|
| 0    |      |             |

Scale  
0 2 4 8 12 16  
1:200 at A1 1:400 at A3

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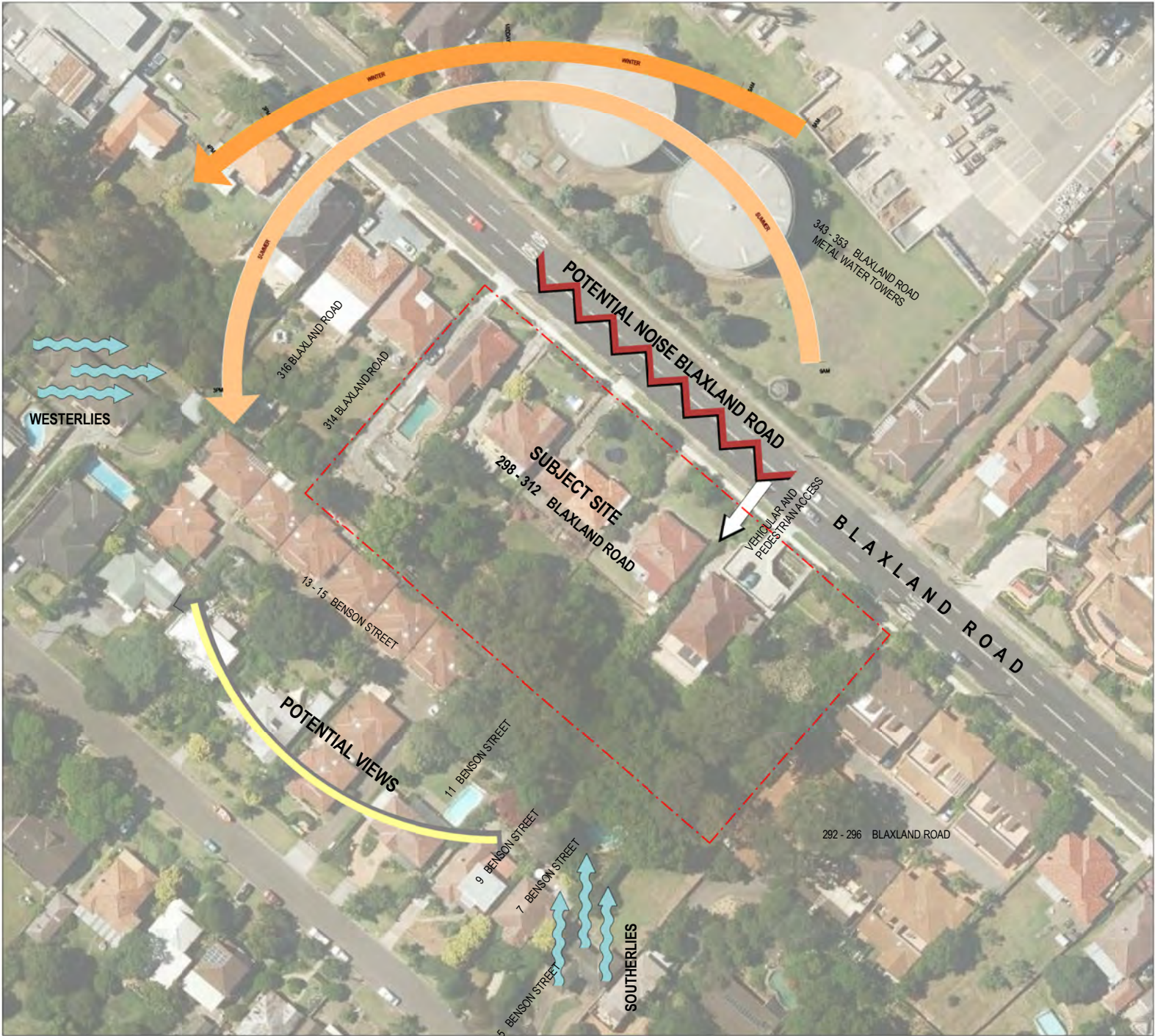
Project  
**MULTI DWELLING DEVELOPMENT**

298-312 BLAXLAND ROAD, RYDE  
Drawing Title  
**SITE PLAN**

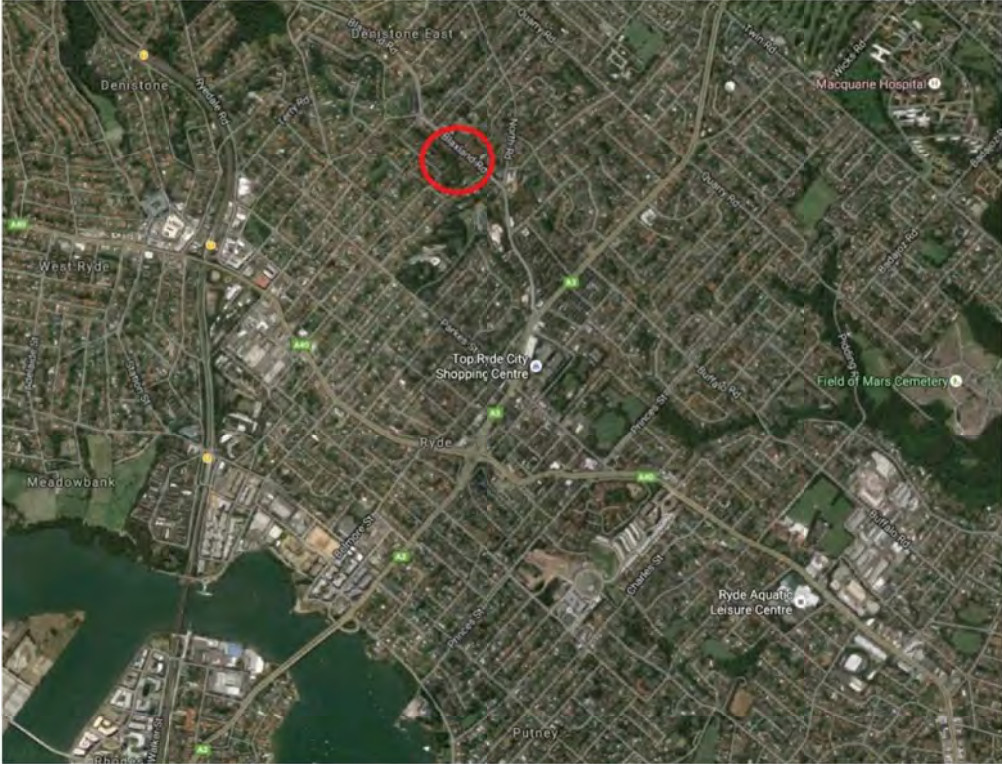
## DA SUBMISSION

| Job no.          | Drawing no.      | Rev.              |
|------------------|------------------|-------------------|
| J15284           | DA 001           | M                 |
| Drawn by<br>PY   | Checked by<br>JY | Approved by<br>JY |
| Date<br>AUG 2019 |                  |                   |





SITE ANALYSIS



ARIAL MAP



STREET VIEW



ARIAL VIEW

REFERENCES

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TRUE NORTH

|              |          |                    |
|--------------|----------|--------------------|
| C            | 17.07.20 | GENERAL AMENDMENTS |
| B            | 20.10.17 | ISSUE FOR DA       |
| A            | 21.10.16 | ISSUE FOR DA       |
| Rev.         | Date     | Description        |
| NOT TO SCALE |          |                    |

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Project

**MULTI DWELLING DEVELOPMENT**

298-312 BLAXLAND ROAD, RYDE

Drawing Title

**SITE ANALYSIS PLAN**

**DA SUBMISSION**

|                  |                  |                   |
|------------------|------------------|-------------------|
| Job no.          | Drawing no.      | Rev.              |
| J15284           | DA 002           | C                 |
| Drawn by<br>PY   | Checked by<br>JY | Approved by<br>JY |
| Date<br>AUG 2019 |                  |                   |



REMOVE EXISTING CONCRETE DRIVEWAY, ASSOCIATE MATERIAL & EQUIPMENT FROM SITE

REMOVE ENTIRE BUILDING, FLOOR SLAB, COLUMNS, PLANTERS, WALLS AND ROOFING MATERIAL IN PREPARATION FOR NEW EXCAVATION. SUITABLE MATERIAL TO BE SET ASIDE FOR RECYCLING IN DESIGNATED HODILNG AREA

# BLAXLAND ROAD

TREES TO BE REMOVED

REMOVE EXISTING CONCRETE DRIVEWAY, ASSOCIATE MATERIAL & EQUIPMENT FROM SITE

VEHICULAR ACCESS POINT

REMOVE ENTIRE BUILDING, FLOOR SLAB, COLUMNS, PLANTERS, WALLS AND ROOFING MATERIAL IN PREPARATION FOR NEW EXCAVATION. SUITABLE MATERIAL TO BE SET ASIDE FOR RECYCLING IN DESIGNATED HOLDING AREAS

REMOVE EXISTING REDUNDANT PIPES AND PIT IN EASEMENT

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## TREE TO REMAIN LEGEND

- EXISTING TREES TO BE REMOVED
- EXISTING TREES TO BE RETAINED

|   |          |                    |
|---|----------|--------------------|
| F | 20.09.21 | GENERAL AMENDMENTS |
| E | 17.07.20 | GENERAL AMENDMENTS |
| D | 28.08.18 | GENERAL AMENDMENTS |
| C | 27.07.18 | GENERAL AMENDMENTS |
| B | 20.10.17 | ISSUE FOR DA       |
| A | 21.10.16 | ISSUE FOR DA       |

| Rev.  | Date | Description |             |   |    |    |
|-------|------|-------------|-------------|---|----|----|
| Scale | 0    | 2           | 4           | 8 | 12 | 16 |
| m     | 0    | 2           | 4           | 8 | 12 | 16 |
|       | 0    | 1:200 at A1 | 1:400 at A3 |   |    |    |

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Nominated Architect: Lijana Ermilova - 7887, ABN 24 243 205 327  
Project  
**MULTI DWELLING DEVELOPMENT**

298-312 BLAXLAND ROAD, RYDE  
Drawing Title  
**DEMOLITION PLAN**

| DA SUBMISSION |             |             |          |
|---------------|-------------|-------------|----------|
| Job no.       | Drawing no. | Rev.        |          |
| J15284        | DA 003      | F           |          |
| Drawn by      | Checked by  | Approved by | Date     |
| PY            | JY          | JY          | AUG 2019 |

## 1 DEMOLITION PLAN

1 : 200 at A1 1:400 at A3



Multi Dwelling (Low Density Residential Zone) AHSEPP 2009

| DCP DESIGN CRITERIA              | DESCRIPTION  | PROPOSED  | COMPLY   |
|----------------------------------|--|---|--|
| Accessibility requirements       | (a) Sydney Region<br>- Within 800m walking distance of a railway station or a Sydney Ferries wharf;<br>- Within 400m walking distance of a light rail station; or<br>- Within 400m walking distance of a bus stop used regularly between 6am and 9pm Monday to Friday, and 8am to 6pm on weekends. | There are two bus stops within 100m of the site, one on each side of Blaxland Road. | ✓  |
| Floor space ratio                | N/A  | 0.345 : 1   | ✓  |
| Proportion of affordable housing | Between 20% and 50% of the gross floor area of the development.  | 474m² (20% GFA)<br>H13,14,16,20 &22<br>475.7m² PROVIDED                             | ✓  |
| Height                           | As specified in the relevant council policy.   | Building height under 9.5m and 5m   | ✓  |
| Dwelling Size                    | 1 Bedroom  | Minimum 50m²  | N/A  |
|                                  | 2 Bedroom  | Minimum 70m²  | Min. 70m²  |
|                                  | 3 or more Bedrooms   | Minimum 95m²  | Min. 95m²  |
| Affordable housing management    | The affordable rental housing component is to be secured for a minimum of 10 years and managed by a registered Community Housing Provider (CHP).   | Private scheme  | ✓  |
| Council controls                 | All relevant policies that apply to the land and/or development type.  | Noted.  | ✓  |
| Subdivision                      | Subdivision is permissible with consent.   | Noted.  | ✓  |
| Parking - Private scheme         | 2 Bedroom  | 1 Space / 1 dwelling (based on SEPP)  | Required 9 Spaces for 9 Dwellings<br>Proposed 9 Spaces for 9 Dwellings     |
|                                  | 3 Bedroom  | 1.5 Space / 1 dwelling (based on SEPP)  | Required 21 Spaces for 14 Dwellings<br>Proposed 30 Spaces for 14 Dwellings |
|                                  | 4 or more Bedrooms   | 1.5 Space / 1 dwelling (based on SEPP)  | Required 1.5 Spaces for 1 Dwellings<br>Proposed 1 Spaces for 1 Dwellings   |
|                                  | Visitors   | 1 Space / 4 dwelling (based on DCP)   | Required 6 Spaces for 24 Dwellings<br>Proposed 6 Spaces for 24 Dwellings   |
| Site Area                        | Minimum of 450m²   | 6878m²  | ✓  |
| Landscape area                   | At least 30 per cent of the site area is to be landscaped.   | 3234.38m² (47%)   | ✓  |
| Solar access                     | Living rooms and open spaces of 70% of the dwellings require a minimum of 3 hours direct sunlight between 9am and 3pm in mid-winter.   | Required 16.8 Dwellings (70%)<br>Proposed 22 Dwellings (91.7%)                      | ✓  |
| Design Controls                  | Seniors Living Urban Design Guidelines or SEPP 65 - Design Quality of Residential Flat Development.  | Complied with Seniors Living Urban Design Guidelines                                | ✓  |
| Deep Soil Zone                   | - Minimum of 3m in width<br>- Minimum 15% of site area (1031.7m²)<br>- 2/3 of deep soil zone at rear of the site area  | 2308.6m² (33.6%)  | ✓  |

WASTE CALCULATION (BLAXLAND ROAD HOUSES)

|                            | RATE OF BINS      | TOTAL BINS | BIN SIZE  | PROPOSED |
|----------------------------|-------------------|------------|-----------|----------|
| RESIDENTIAL (11 DWELLINGS) |                   |            |           |          |
| WASTE                      | 1x240L / DWELLING | 11X240L    | 240L/WEEK | 11       |
| RECYCLE                    | 1x240L / DWELLING | 11X240L    | 240L/WEEK | 11       |
| GREEN                      | 1x240L / DWELLING | 11X240L    | 240L/WEEK | 11       |
| PROPOSED TOTAL             |                   |            |           | 33       |

WASTE CALCULATION (GENERAL TOWNHOUSES)

|                            | RATE OF BINS      | TOTAL BINS | BIN SIZE  | PROPOSED |
|----------------------------|-------------------|------------|-----------|----------|
| RESIDENTIAL (13 DWELLINGS) |                   |            |           |          |
| WASTE                      | 1x240L / DWELLING | 13X240L    | 240L/WEEK | 13       |
| RECYCLE                    | 1x240L / DWELLING | 13X240L    | 240L/WEEK | 13       |
| GREEN                      | 1x240L / DWELLING | 13X240L    | 240L/WEEK | 13       |
| PROPOSED TOTAL             |                   |            |           | 39       |

GENERAL WASTE BIN RECYCLE BIN GREEN WASTE BIN

RYDE LOCAL ENVIRONMENTAL PLAN (2014)

|                                 |                            |
|---------------------------------|----------------------------|
| SITE AREA                       | 6878m²                     |
| ZONING                          | R2 LOW DENSITY RESIDENTIAL |
| RELEVANT CONTROLS               | CLASS 1                    |
| COUNCIL                         | RYDE COUNCIL               |
| LOT / DP No.                    | LOTS 11-12/DP 6367         |
| FSR                             | N/A                        |
| HEIGHT OF BUILDING              | MAX 9.5m                   |
| HERITAGE                        | NOT AFFECTED               |
| ACID SULPHATE SOILS             | NOT AFFECTED               |
| KEY SITE                        | NOT AFFECTED               |
| FLOOD PLANNING AREA             | NOT AFFECTED               |
| LAND RESERVATION ACQUISITION    | NOT AFFECTED               |
| NATURAL RESOURCE - BIODIVERSITY | NOT AFFECTED               |
| FORESHORE BUILDING LINE         | NOT AFFECTED               |

CAR PARKING SCHEDULE BASED ON SEPP REQUIREMENT

| DWELLINGS (24) | RATE                   | REQUIRED | PROPOSED |
|----------------|------------------------|----------|----------|
| 2 BED (9)      | 1 SPACE / 1 DWELLING   | 09       | 09       |
| 3 BED (14)     | 1.5 SPACE / 1 DWELLING | 21       | 30       |
| 4 BED (1)      | 1.5 SPACE / 1 DWELLING | 1.5      | 1        |
| VISITORS       | 1 SPACE / 4 DWELLINGS  | 6        | 6        |
| TOTAL          |                        | 37.5     | 46       |
| MOTORBIKE      | NA                     | 0        | 04       |
| BICYCLE RACK   | NA                     | 0        | 10       |

CAR PARKING SCHEDULE BASED ON DCP REQUIREMENT

| DWELLINGS (24) | RATE                  | REQUIRED | PROPOSED |
|----------------|-----------------------|----------|----------|
| 2 BED (9)      | 1 SPACE / 1 DWELLING  | 09       | 09       |
| 3 BED (14)     | 2 SPACE / 1 DWELLING  | 28       | 30       |
| 4 BED (1)      | 2 SPACE / 1 DWELLING  | 2        | 1        |
| VISITORS       | 1 SPACE / 4 DWELLINGS | 6        | 6        |
| TOTAL          |                       | 44       | 46       |
| MOTORBIKE      | NA                    | 0        | 04       |
| BICYCLE RACK   | NA                    | 0        | 10       |

AREA CALCULATIONS - FLOOR SPACE RATIO (SEPP)

|                                     |                            |
|-------------------------------------|----------------------------|
| ZONE                                | R2 LOW DENSITY RESIDENTIAL |
| SITE AREA                           | 6878m²                     |
| PROPOSED DEVELOPMENT GFA (BUILDING) | 2266.3m²                   |
| PROPOSED DEVELOPMENT GFA (PARKING)  | 103.68m² (8 SPACES)        |
| PROPOSED TOTAL GFA                  | 2369.98m²                  |
| PROPOSED DEVELOPMENT FSR            | 0.345 : 1                  |

AREA CALCULATIONS - FLOOR SPACE RATIO (DCP)

|                                     |                            |
|-------------------------------------|----------------------------|
| ZONE                                | R2 LOW DENSITY RESIDENTIAL |
| SITE AREA                           | 6878m²                     |
| PROPOSED DEVELOPMENT GFA (BUILDING) | 2266.3m²                   |
| PROPOSED DEVELOPMENT GFA (PARKING)  | 25.92m² (2 SPACES)         |
| PROPOSED TOTAL GFA                  | 2292.22m²                  |
| PROPOSED DEVELOPMENT FSR            | 0.333 : 1                  |

SOLAR ACCESS LEGEND

|                           |                            |  |
|---------------------------|----------------------------|--|
| TOTAL NUMBER OF DWELLINGS | TARGET COMPLIANCE REQUIRED | OVER 2HOURS SOLAR ACCESS TO 50% OF PRIVATE OPEN SPACE ON JUNE 21st BETWEEN 9am - 3pm |
| BASED ON DCP              |                            |  |
| 24 DWELLINGS              |                            | 10 DWELLINGS (41.7%)   |

SOLAR ACCESS LEGEND

|                           |                            |   |
|---------------------------|----------------------------|---|
| TOTAL NUMBER OF DWELLINGS | TARGET COMPLIANCE REQUIRED | OVER 3HOURS SOLAR ACCESS TO PRIVATE OPEN SPACE ON JUNE 21st BETWEEN 9am - 3pm |
| BASED ON SEPP             |                            |   |
| 24 DWELLINGS              |                            | 22 DWELLINGS (91.7%)  |

| HOUSE SCHEDULE  |               |               |                |
|-----------------|---------------|---------------|----------------|
| Dwelling Number | Dwelling Type | Internal Area | Courtyard Area |

|     |       |          |         |
|-----|-------|----------|---------|
| H01 | 2 Bed | 98.58m²  | 71.5m²  |
| H02 | 3 Bed | 99.31m²  | 71.5m²  |
| H03 | 3 Bed | 99.31m²  | 71.5m²  |
| H04 | 3 Bed | 99.31m²  | 71.5m²  |
| H05 | 3 Bed | 99.31m²  | 71.5m²  |
| H06 | 3 Bed | 99.31m²  | 71.5m²  |
| H07 | 3 Bed | 99.31m²  | 71.5m²  |
| H08 | 2 Bed | 98.58m²  | 71.5m²  |
| H09 | 3 Bed | 95.04m²  | 71.5m²  |
| H10 | 2 Bed | 96.45m²  | 66.3m²  |
| H11 | 4 Bed | 98.86m²  | 104.7m² |
| H12 | 2 Bed | 85.32m²  | 32.5m²  |
| H13 | 3 Bed | 95.49m²  | 35.4m²  |
| H14 | 3 Bed | 95.34m²  | 35.4m²  |
| H15 | 3 Bed | 109.64m² | 36.1m²  |
| H16 | 2 Bed | 87.42m²  | 32.5m²  |
| H17 | 2 Bed | 80.24m²  | 32.3m²  |
| H18 | 3 Bed | 95.11m²  | 36.5m²  |
| H19 | 2 Bed | 80.12m²  | 31m²    |
| H20 | 3 Bed | 102.43m² | 37.2m²  |
| H21 | 3 Bed | 95.13m²  | 37.4m²  |
| H22 | 3 Bed | 95.13m²  | 37.4m²  |
| H23 | 2 Bed | 91.13m²  | 32.5m²  |
| H24 | 2 Bed | 82.46m²  | 39.4m²  |

AFFORDABLE HOUSING

|                                  |                  |
|----------------------------------|------------------|
| AFFORDABLE HOUSING AREA          | 20% OF TOTAL GFA |
|                                  | =2369.98m² /5    |
|                                  | =474m²           |
| HOUSE 13                         | 95.5m²           |
| HOUSE 14                         | 95.3m²           |
| HOUSE 16                         | 87.4m²           |
| HOUSE 20                         | 102.4m²          |
| HOUSE 22                         | 95.1m²           |
| TOTAL PROPOSED AFFORDABLE AREA = | 475.7m²          |

REFERENCES

DRAWINGS TO BE READ IN CONJUNCTION WITH BUT NOT LIMITED TO ALL STRUCTURAL ENGINEERS, STORMWATER ENGINEERS, LANDSCAPE ARCHITECTS, AND OTHER ASSOCIATED PLANS & REPORTS

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|---|----------|--------------------|
| M | 20.09.21 | GENERAL AMENDMENTS |
| L | 17.07.20 | GENERAL AMENDMENTS |
| K | 07.02.20 | GENERAL AMENDMENTS |
| J | 22.08.19 | GENERAL AMENDMENTS |
| I | 19.08.19 | GENERAL AMENDMENTS |
| H | 16.08.19 | GENERAL AMENDMENTS |
| G | 09.08.19 | GENERAL AMENDMENTS |
| F | 22.07.19 | GENERAL AMENDMENTS |
| E | 21.06.19 | GENERAL AMENDMENTS |
| D | 28.08.18 | GENERAL AMENDMENTS |
| C | 27.07.18 | GENERAL AMENDMENTS |
| B | 20.10.17 | ISSUE FOR DA       |
| A | 21.10.16 | ISSUE FOR DA       |

| Rev. | Date | Description |
|------|------|-------------|
|------|------|-------------|

NOT TO SCALE

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Project

MULTI DWELLING DEVELOPMENT

298-312 BLAXLAND ROAD, RYDE

Drawing Title

COMPLIANCE TABLE

DA SUBMISSION

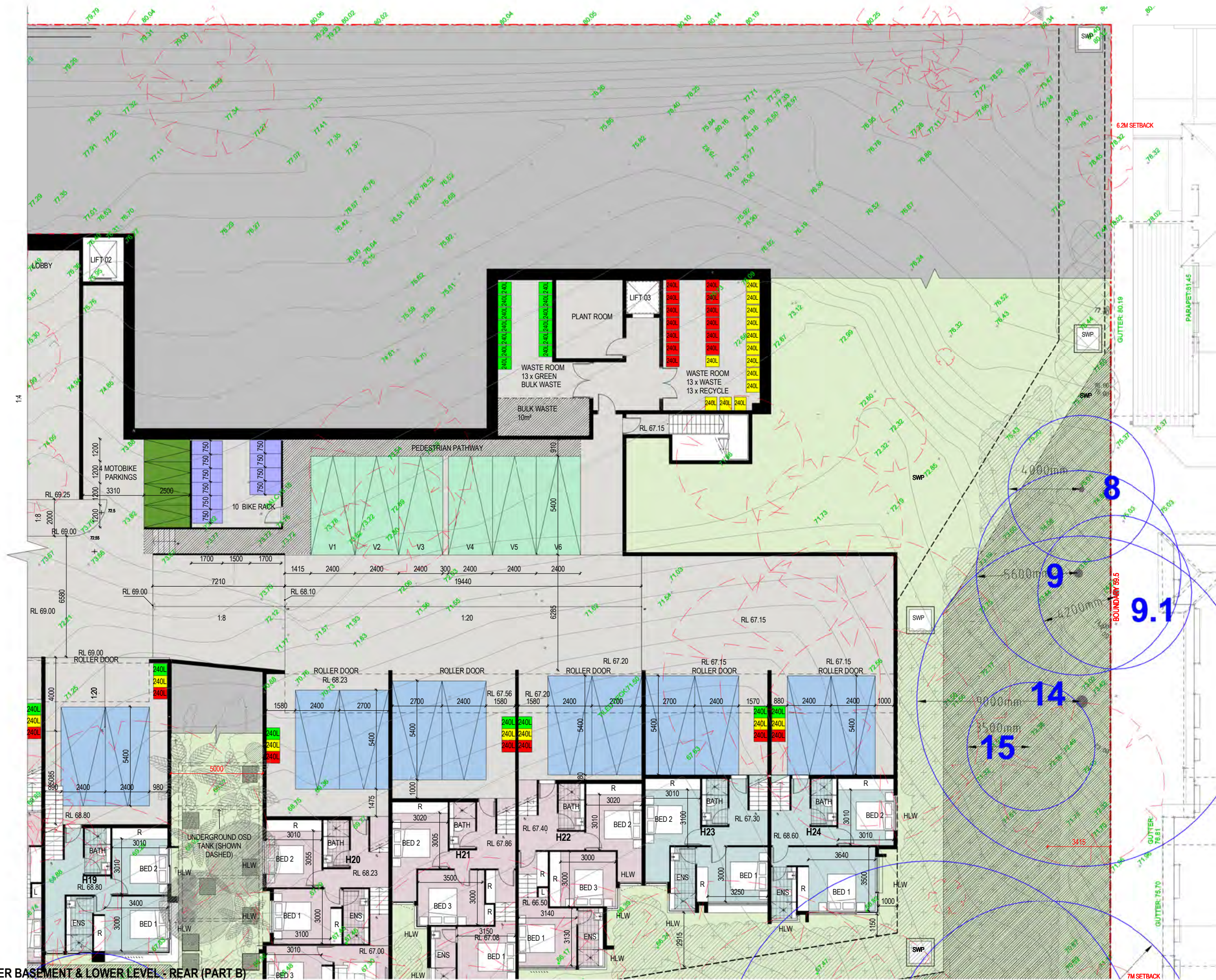
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| J15284         | DA 004           | M                 |
| Drawn by<br>PY | Checked by<br>JY | Approved by<br>JY |
|                |                  | Date<br>AUG 2019  |



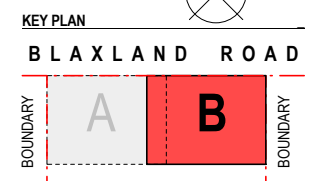
REFER TO SHEET DA099.1

1 LOWER BASEMENT & LOWER LEVEL - REAR (PART B)

1 : 100 at A1 1 : 200 at A3



REFERENCES  
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PARKING LEGEND  
RESIDENTIAL PARKING 2400x5400, U.N.O.  
VISITOR PARKING 2400x5400

LEGEND  
EXISTING SURVEY LEVEL  
CORRESPONDING BUILDING  
HEIGHT ABOVE EXISTING  
SURVEY LEVEL  
LANDSCAPE LEGEND  
GRASS & LAWN AREA  
PLANTERS  
AREA WITH BUILDING / PAVING OVER  
TREE PROTECTION ZONE

|   |          |                    |
|---|----------|--------------------|
| L | 20.09.21 | GENERAL AMENDMENTS |
| K | 17.07.20 | GENERAL AMENDMENTS |
| J | 07.02.20 | GENERAL AMENDMENTS |
| I | 22.08.19 | GENERAL AMENDMENTS |
| H | 19.08.19 | GENERAL AMENDMENTS |
| G | 16.08.19 | GENERAL AMENDMENTS |
| F | 09.08.19 | GENERAL AMENDMENTS |
| E | 23.07.19 | GENERAL AMENDMENTS |
| D | 22.07.19 | GENERAL AMENDMENTS |
| C | 21.06.19 | GENERAL AMENDMENTS |
| B | 28.08.18 | GENERAL AMENDMENTS |
| A | 27.07.18 | GENERAL AMENDMENTS |

| Rev. | Date | Description |
|------|------|-------------|
| 0    | 1    | 1           |
| 1    | 2    | 2           |
| 2    | 3    | 3           |
| 3    | 4    | 4           |
| 4    | 5    | 5           |
| 5    | 6    | 6           |
| 6    | 7    | 7           |
| 7    | 8    | 8           |

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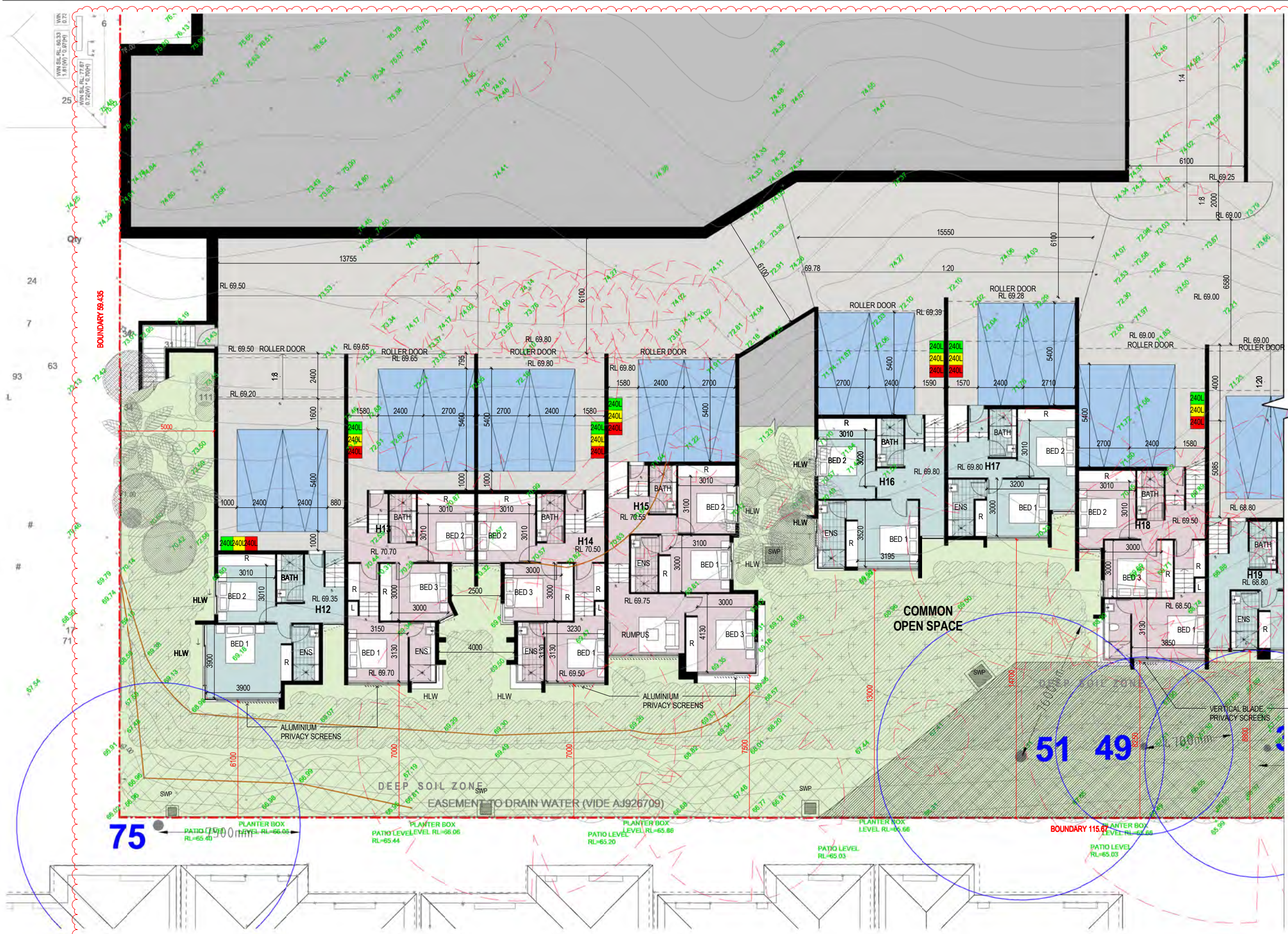
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Project  
MULTI DWELLING DEVELOPMENT

298-312 BLAXLAND ROAD, RYDE  
Drawing Title  
LOWER BASEMENT & MEZZANINE LEVEL -  
MID & REAR (PART B)

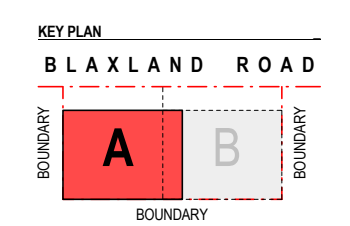
| DA SUBMISSION | Job no.    | Drawing no. | Rev.     |
|---------------|------------|-------------|----------|
| J15284        | DA 099.2   | L           |          |
| Drawn by      | Checked by | Approved by | Date     |
| PY            | JY         | JY          | AUG 2019 |





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PARKING LEGEND

RESIDENTIAL PARKING 2400x5400, U.N.O.

VISITOR PARKING 2400x5400

LEGEND

EXISTING SURVEY LEVEL

RL 38.00 CORRESPONDING BUILDING  
HEIGHT ABOVE EXISTING  
SURVEY LEVEL

LANDSCAPE LEGEND

GRASS & LAWN AREA

PLANTERS

AREA WITH BUILDING / PAVING OVER

TREE PROTECTION ZONE

|   |          |                    |
|---|----------|--------------------|
| F | 20.09.21 | GENERAL AMENDMENTS |
| E | 17.07.20 | GENERAL AMENDMENTS |
| D | 07.02.20 | GENERAL AMENDMENTS |
| C | 19.08.19 | GENERAL AMENDMENTS |
| B | 16.08.19 | GENERAL AMENDMENTS |
| A | 09.08.19 | GENERAL AMENDMENTS |

| Rev.  | Date        | Description |             |   |   |
|-------|-------------|-------------|-------------|---|---|
| Scale | 1           | 2           | 4           | 6 | 8 |
| 0     | 1:100 at A1 |             | 1:200 at A3 |   |   |

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Project

MULTI DWELLING DEVELOPMENT

298-312 BLAXLAND ROAD, RYDE

Drawing Title

LOWER BASEMENT & LOWER LEVEL -  
REAR (PART C)

| DA SUBMISSION |             |             |          |
|---------------|-------------|-------------|----------|
| Job no.       | Drawing no. | Rev.        |          |
| J15284        | DA 099.3    | F           |          |
| Drawn by      | Checked by  | Approved by | Date     |
| PY            | RJ          | ZC          | AUG 2019 |

CAR PARKING SCHEDULE BASED ON SEPP REQUIREMENT

| DWELLINGS (24) | RATE                   | REQUIRED | PROPOSED |
|----------------|------------------------|----------|----------|
| 2 BED (9)      | 1 SPACE / 1 DWELLING   | 09       | 09       |
| 3 BED (14)     | 1.5 SPACE / 1 DWELLING | 21       | 30       |
| 4 BED (1)      | 1.5 SPACE / 1 DWELLING | 1.5      | 1        |
| VISITORS       | 1 SPACE / 4 DWELLINGS  | 6        | 6        |
| TOTAL          |                        | 37.5     | 46       |
| MOTORBKE       | NA                     | 0        | 04       |
| BICYCLE RACK   | NA                     | 0        | 10       |

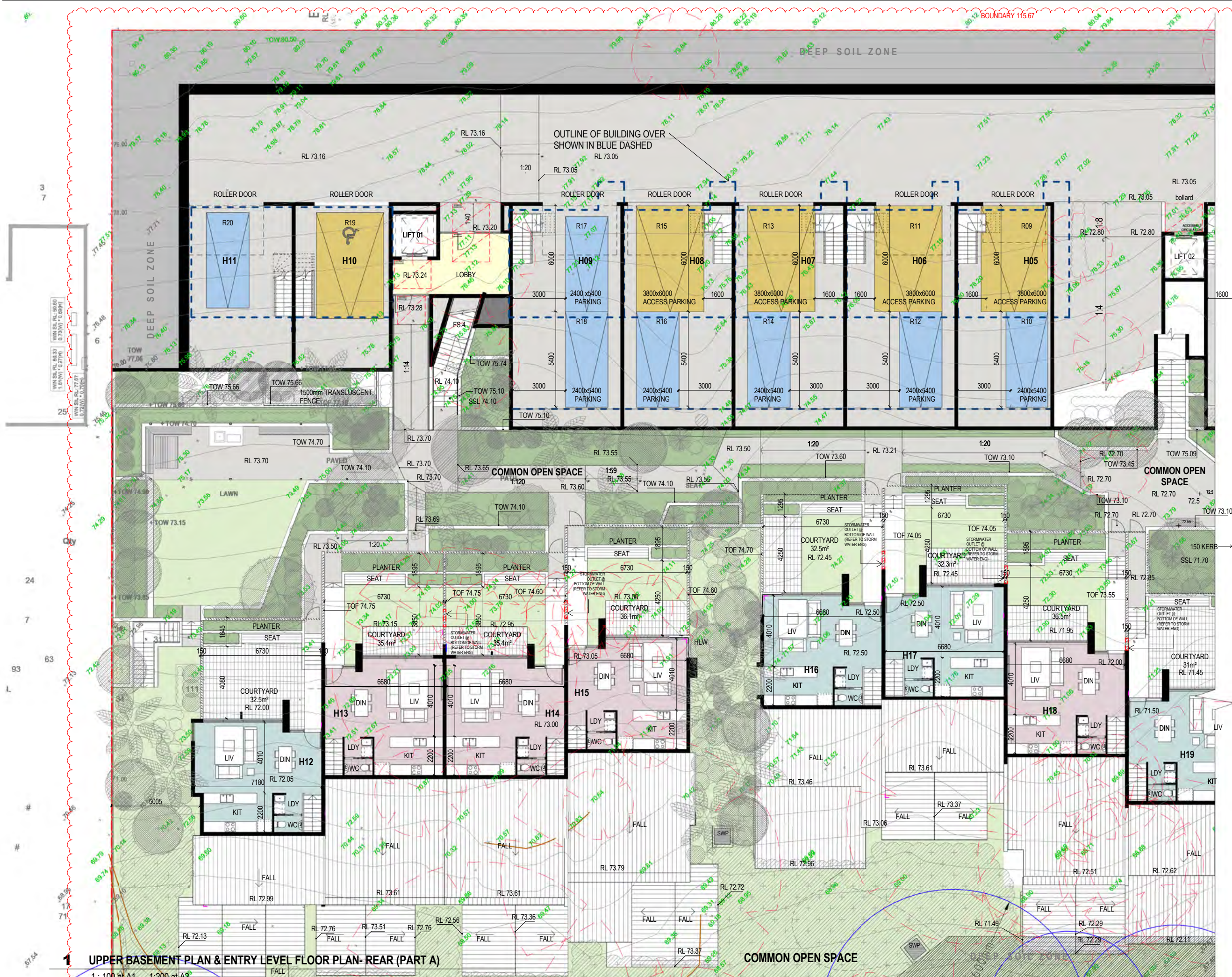
1 LOWER BASEMENT & LOWER LEVEL - REAR (PART C)

1:100 at A1 1:200 at A3









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**KEY PLAN**

**BLAXLAND ROAD**

**BOUNDARY**

**A** **B**

**BOUNDARY**

**PARKING LEGEND**

RESIDENTIAL PARKING 2400x5400, U.N.O.  
VISITOR PARKING 2400x5400

**LEGEND**

EXISTING SURVEY LEVEL  
CORRESPONDING BUILDING  
HEIGHT ABOVE EXISTING  
SURVEY LEVEL

**LANDSCAPE LEGEND**

GRASS & LAWN AREA  
PLANTERS  
AREA WITH BUILDING / PAVING OVER  
TREE PROTECTION ZONE

|   |          |                    |
|---|----------|--------------------|
| K | 20.09.21 | GENERAL AMENDMENTS |
| J | 17.07.20 | GENERAL AMENDMENTS |
| I | 07.02.20 | GENERAL AMENDMENTS |
| H | 19.08.19 | GENERAL AMENDMENTS |
| G | 16.08.19 | GENERAL AMENDMENTS |
| F | 09.08.19 | GENERAL AMENDMENTS |
| E | 23.07.19 | GENERAL AMENDMENTS |
| D | 22.07.19 | GENERAL AMENDMENTS |
| C | 21.06.19 | GENERAL AMENDMENTS |
| B | 28.08.18 | GENERAL AMENDMENTS |
| A | 27.07.18 | GENERAL AMENDMENTS |

| Rev.  | Date        | Description |             |   |   |
|-------|-------------|-------------|-------------|---|---|
| Scale | 1           | 2           | 4           | 6 | 8 |
| 0     | 1:100 at A1 |             | 1:200 at A3 |   |   |

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**MULTI DWELLING DEVELOPMENT**

298-312 BLAXLAND ROAD, RYDE

Drawing Title

**UPPER BASEMENT PLAN & ENTRY LEVEL  
FLOOR PLAN REAR (PART A)**

| DA SUBMISSION |             |             |          |
|---------------|-------------|-------------|----------|
| Job no.       | Drawing no. | Rev.        |          |
| J15284        | DA 100.1    | K           |          |
| Drawn by      | Checked by  | Approved by | Date     |
| PY            | JY          | JY          | AUG 2019 |

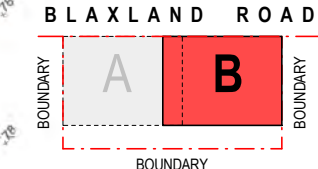


1 UPPER BASEMENT PLAN & ENTRY LEVEL FLOOR PLAN - REAR (PART B)

REFERENCES  
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KEY PLAN



PARKING LEGEND

- RESIDENTIAL PARKING 2400x5400, U.N.O.
- VISITOR PARKING 2400x5400

LEGEND

- EXISTING SURVEY LEVEL
- RL 38.00 CORRESPONDING BUILDING HEIGHT ABOVE EXISTING SURVEY LEVEL
- LANDSCAPE LEGEND
- GRASS & LAWN AREA
- PLANTERS
- AREA WITH BUILDING / PAVING OVER
- TREE PROTECTION ZONE

|   |          |                    |
|---|----------|--------------------|
| L | 20.09.21 | GENERAL AMENDMENTS |
| K | 17.07.20 | GENERAL AMENDMENTS |
| V | 07.02.20 | GENERAL AMENDMENTS |
| I | 19.08.19 | GENERAL AMENDMENTS |
| H | 16.08.19 | GENERAL AMENDMENTS |
| G | 09.08.19 | GENERAL AMENDMENTS |
| F | 23.07.19 | GENERAL AMENDMENTS |
| E | 22.07.19 | GENERAL AMENDMENTS |
| D | 21.06.19 | GENERAL AMENDMENTS |
| C | 26.09.18 | GENERAL AMENDMENTS |
| B | 28.08.18 | GENERAL AMENDMENTS |
| A | 27.07.18 | GENERAL AMENDMENTS |

| Rev.  | Date        | Description |             |   |   |
|-------|-------------|-------------|-------------|---|---|
| Scale | 1           | 2           | 4           | 6 | 8 |
| 0     | 1:100 at A1 |             | 1:200 at A3 |   |   |

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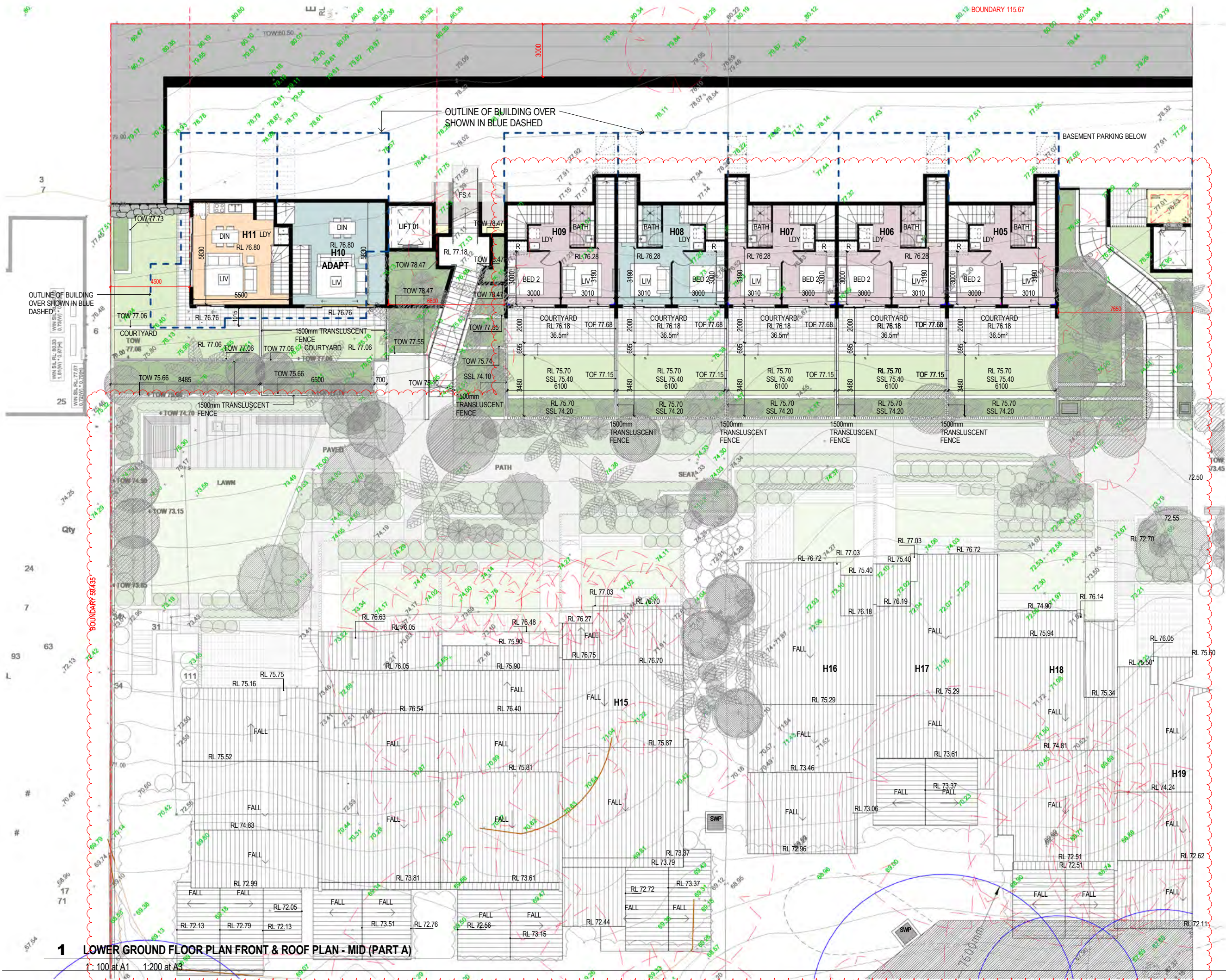
Project  
MULTI DWELLING DEVELOPMENT

298-312 BLAXLAND ROAD, RYDE  
Drawing Title  
**UPPER BASEMENT PLAN & ENTRY LEVEL  
FLOOR PLAN REAR (PART B)**

DA SUBMISSION

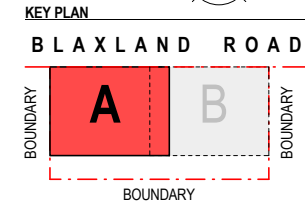
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| J15284           | DA 100.2         | L                 |
| Drawn by<br>PY   | Checked by<br>JY | Approved by<br>JY |
| Date<br>AUG 2019 |                  |                   |





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LEGEND

EXISTING SURVEY LEVEL

RL 38.00 CORRESPONDING BUILDING  
HEIGHT ABOVE EXISTING  
SURVEY LEVEL

LANDSCAPE LEGEND

GRASS & LAWN AREA

PLANTERS

AREA WITH BUILDING / PAVING OVER

TREE PROTECTION ZONE

|   |          |                    |
|---|----------|--------------------|
| L | 20.09.21 | GENERAL AMENDMENTS |
| K | 17.07.20 | GENERAL AMENDMENTS |
| J | 07.02.20 | GENERAL AMENDMENTS |
| I | 22.08.19 | GENERAL AMENDMENTS |
| H | 19.08.19 | GENERAL AMENDMENTS |
| G | 16.08.19 | GENERAL AMENDMENTS |
| F | 09.08.19 | GENERAL AMENDMENTS |
| E | 23.07.19 | GENERAL AMENDMENTS |
| D | 22.07.19 | GENERAL AMENDMENTS |
| C | 21.06.19 | GENERAL AMENDMENTS |
| B | 28.08.18 | GENERAL AMENDMENTS |
| A | 27.07.18 | GENERAL AMENDMENTS |

| Rev.  | Date        | Description |             |   |
|-------|-------------|-------------|-------------|---|
| Scale | 1           | 2           | 4           | 6 |
| 0     | 1:100 at A1 |             | 1:200 at A3 |   |

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Project

MULTI DWELLING DEVELOPMENT

298-312 BLAXLAND ROAD, RYDE

Drawing title

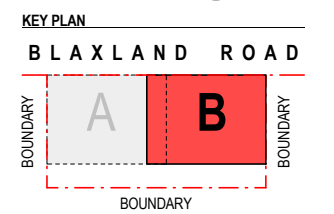
LOWER GROUND FLOOR PLAN FRONT &  
ROOF PLAN REAR (PART A)

| DA SUBMISSION |             |             |          |
|---------------|-------------|-------------|----------|
| Job no.       | Drawing no. | Rev.        |          |
| J15284        | DA 101.1    | L           |          |
| Drawn by      | Checked by  | Approved by | Date     |
| PY            | JY          | JY          | AUG 2019 |



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- LEGEND
- EXISTING SURVEY LEVEL
  - RL 38.00 CORRESPONDING BUILDING HEIGHT ABOVE EXISTING SURVEY LEVEL
  - LANDSCAPE LEGEND
  - GRASS & LAWN AREA
  - PLANTERS
  - AREA WITH BUILDING / PAVING OVER
  - TREE PROTECTION ZONE

|   |          |                    |
|---|----------|--------------------|
| L | 20.09.21 | GENERAL AMENDMENTS |
| K | 17.07.20 | GENERAL AMENDMENTS |
| J | 07.02.20 | GENERAL AMENDMENTS |
| I | 22.08.19 | GENERAL AMENDMENTS |
| H | 19.08.19 | GENERAL AMENDMENTS |
| G | 16.08.19 | GENERAL AMENDMENTS |
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| E | 23.07.19 | GENERAL AMENDMENTS |
| D | 22.07.19 | GENERAL AMENDMENTS |
| C | 21.06.19 | GENERAL AMENDMENTS |
| B | 28.08.18 | GENERAL AMENDMENTS |
| A | 27.07.18 | GENERAL AMENDMENTS |

| Rev.  | Date        | Description |   |   |   |
|-------|-------------|-------------|---|---|---|
| Scale | 1           | 2           | 4 | 6 | 8 |
| m     |             |             |   |   |   |
| 0     |             |             |   |   |   |
|       | 1:100 at A1 | 1:200 at A3 |   |   |   |

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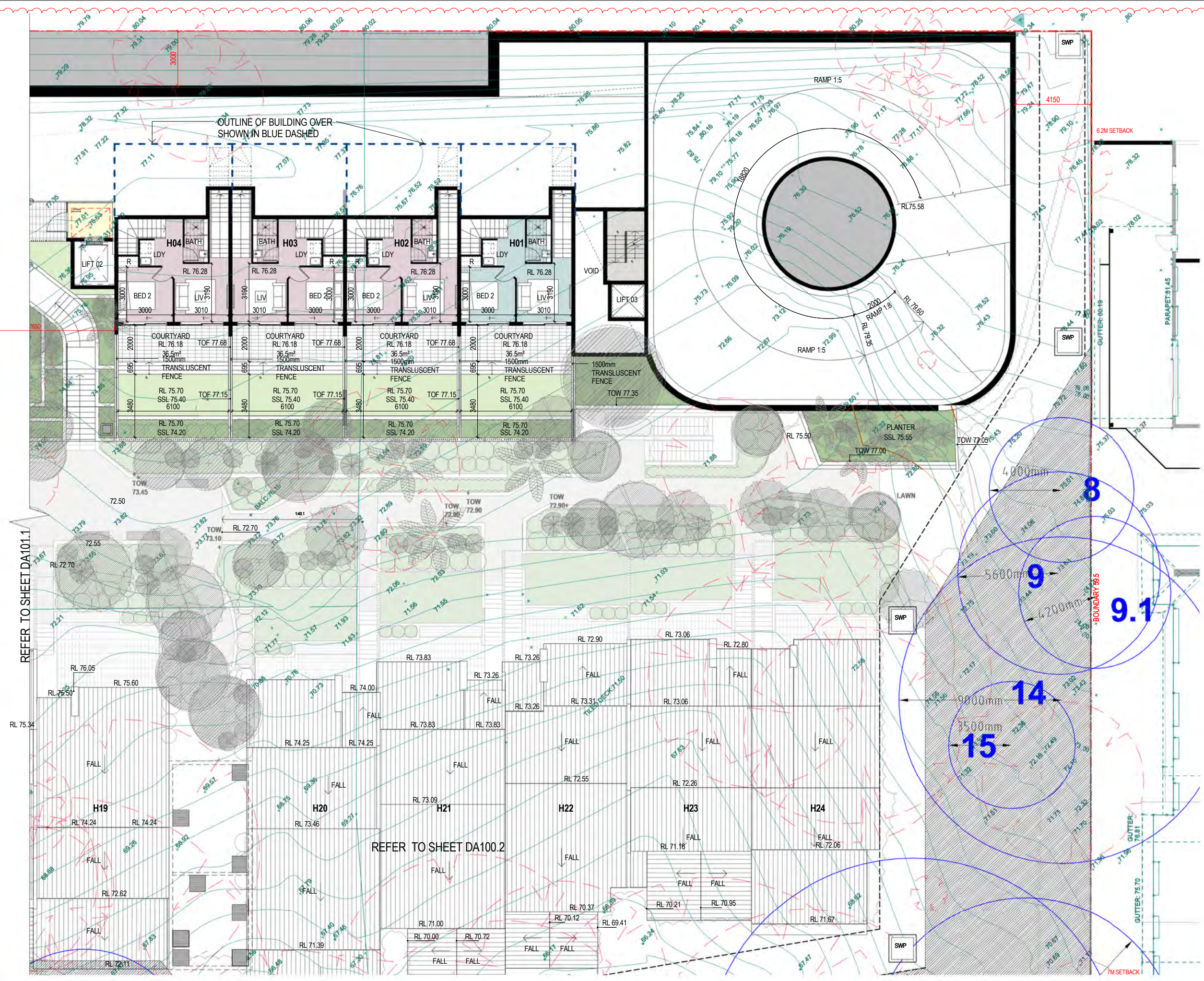
Project  
MULTI DWELLING DEVELOPMENT

298-312 BLAXLAND ROAD, RYDE

Drawing Title  
LOWER GROUND FLOOR PLAN FRONT & ROOF PLAN REAR (PART B)

DA SUBMISSION

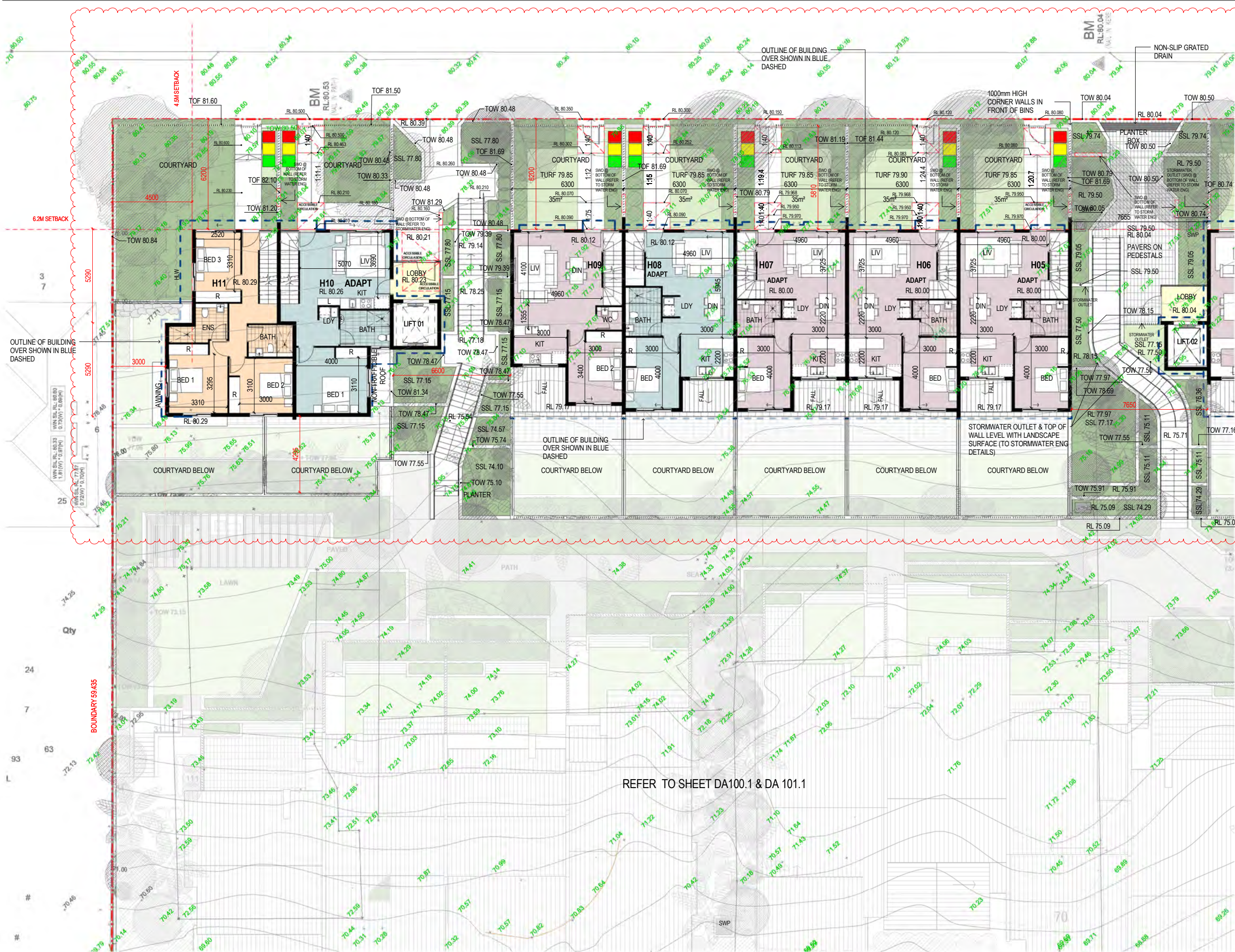
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| Job no.          | Drawing no.      | Rev.              |
| J15284           | DA 101.2         | L                 |
| Drawn by<br>PY   | Checked by<br>JY | Approved by<br>JY |
| Date<br>AUG 2019 |                  |                   |



1 LOWER GROUND FLOOR PLAN FRONT & ROOF PLAN - MID (PART B)

1:100 at A1 1:200 at A3





**REFERENCES**

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**KEY PLAN**

**BLAXLAND ROAD**

**BOUNDARY**

**LEGEND**

EXISTING SURVEY LEVEL

CORRESPONDING BUILDING HEIGHT ABOVE EXISTING SURVEY LEVEL

**LANDSCAPE LEGEND**

GRASS & LAWN AREA

PLANTERS

AREA WITH BUILDING / PAVING OVER

TREE PROTECTION ZONE

**REV**

| Rev | Date     | Description        |
|-----|----------|--------------------|
| K   | 20.09.21 | GENERAL AMENDMENTS |
| J   | 17.07.20 | GENERAL AMENDMENTS |
| I   | 07.02.20 | GENERAL AMENDMENTS |
| H   | 19.08.19 | GENERAL AMENDMENTS |
| G   | 16.08.19 | GENERAL AMENDMENTS |
| F   | 09.08.19 | GENERAL AMENDMENTS |
| E   | 23.07.19 | GENERAL AMENDMENTS |
| D   | 22.07.19 | GENERAL AMENDMENTS |
| C   | 21.06.19 | GENERAL AMENDMENTS |
| B   | 28.08.18 | GENERAL AMENDMENTS |
| A   | 27.07.18 | GENERAL AMENDMENTS |

Scale  
0 1 2 4 6 8  
1:100 at A1 1:200 at A3

**1 GROUND FLOOR PLAN - FRONT (PART A)**

1 : 100 at A1 1:200 at A3

Project Architect

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Nominated Architect: Lijana Ermilova - 7887, ABN 24 243 205 327

Project

**MULTI DWELLING DEVELOPMENT**

298-312 BLAXLAND ROAD, RYDE

Drawing Title

**GROUND FLOOR PLAN FRONT (PART A)**

**DA SUBMISSION**

| Job no. | Drawing no. | Rev. |
|---------|-------------|------|
| J15284  | DA 102.1    | K    |

| Drawn by | Checked by | Approved by | Date     |
|----------|------------|-------------|----------|
| PY       | JY         | JY          | AUG 2019 |





|          |            |             |          |
|----------|------------|-------------|----------|
| Drawn by | Checked by | Approved by | Date     |
| PY       | JY         | JY          | AUG 2019 |





**1 FIRST FLOOR PLAN - FRONT (PART A)**  
1 : 100 at A1 1:200 at A3

**REFERENCES**  
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**KEY PLAN**

**BLAXLAND ROAD**

BOUNDARY **A** B BOUNDARY

BOUNDARY

**LEGEND**

EXISTING SURVEY LEVEL

CORRESPONDING BUILDING  
HEIGHT ABOVE EXISTING  
SURVEY LEVEL

**LANDSCAPE LEGEND**

GRASS & LAWN AREA

PLANTERS

AREA WITH BUILDING / PAVING OVER

TREE PROTECTION ZONE

|   |          |                    |
|---|----------|--------------------|
| J | 20.09.21 | GENERAL AMENDMENTS |
| I | 17.07.20 | GENERAL AMENDMENTS |
| H | 07.02.20 | GENERAL AMENDMENTS |
| G | 19.08.19 | GENERAL AMENDMENTS |
| F | 09.08.19 | GENERAL AMENDMENTS |
| E | 23.07.19 | GENERAL AMENDMENTS |
| D | 22.07.19 | GENERAL AMENDMENTS |
| C | 21.06.19 | GENERAL AMENDMENTS |
| B | 28.08.18 | GENERAL AMENDMENTS |
| A | 27.07.18 | GENERAL AMENDMENTS |

| Rev.  | Date        | Description |             |   |   |
|-------|-------------|-------------|-------------|---|---|
| Scale | 1           | 2           | 4           | 6 | 8 |
| 0     | 1:100 at A1 |             | 1:200 at A3 |   |   |

REFER TO SHEET DA103.2

REFER TO SHEET DA100.1 & DA 101.1

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Project  
**MULTI DWELLING DEVELOPMENT**

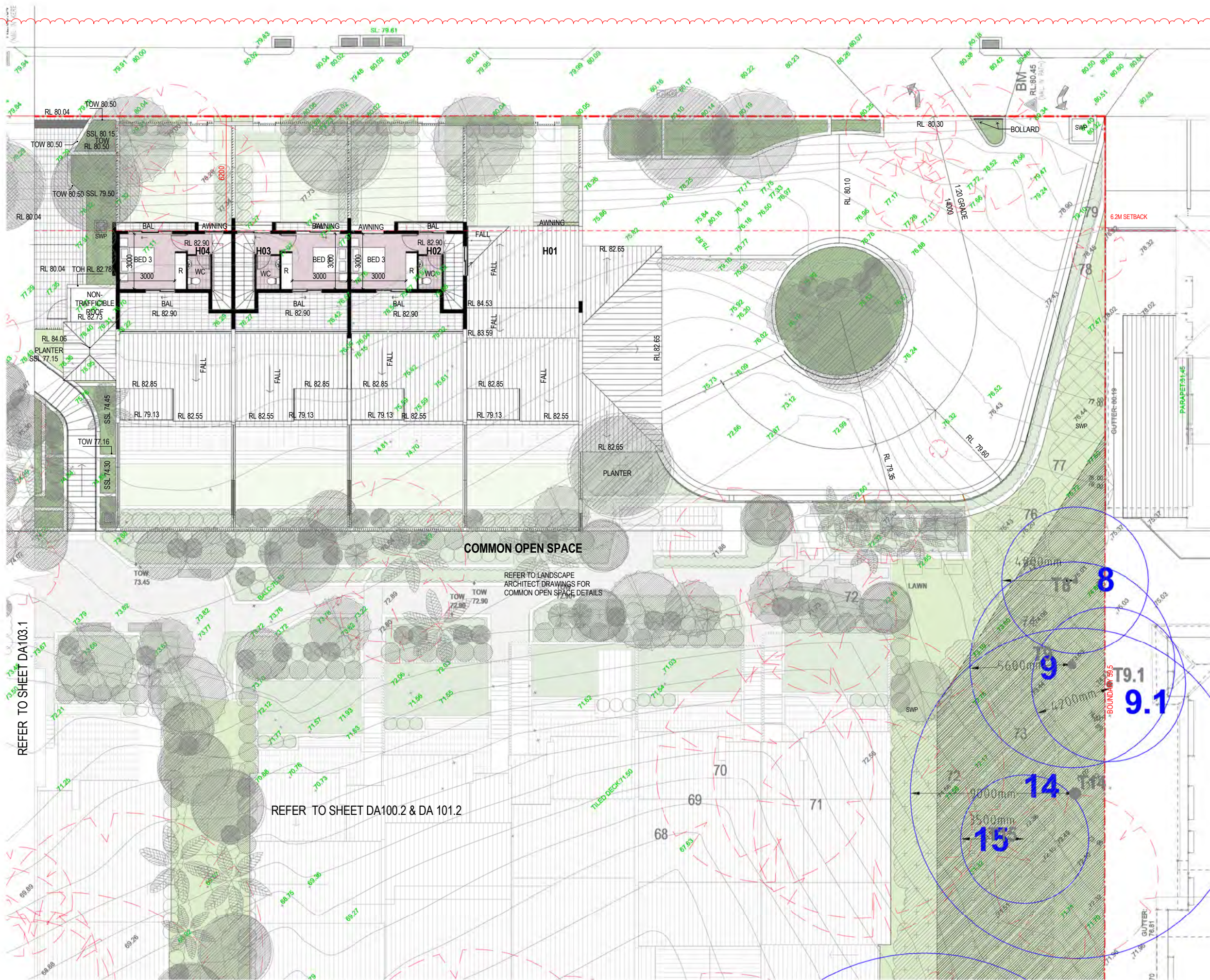
298-312 BLAXLAND ROAD, RYDE

Drawing Title  
**FIRST FLOOR PLAN FRONT (PART A)**

**DA SUBMISSION**

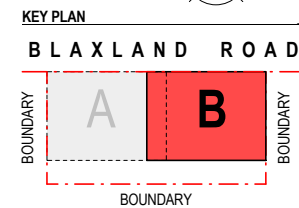
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|----------------|------------------|-------------------|------------------|
| Job no.        | Drawing no.      | Rev.              |                  |
| J15284         | DA 103.1         | J                 |                  |
| Drawn by<br>PY | Checked by<br>JY | Approved by<br>JY | Date<br>AUG 2019 |





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LEGEND

EXISTING SURVEY LEVEL

CORRESPONDING BUILDING  
HEIGHT ABOVE EXISTING  
SURVEY LEVEL

LANDSCAPE LEGEND

GRASS & LAWN AREA

PLANTERS

AREA WITH BUILDING / PAVING OVER

TREE PROTECTION ZONE

|   |          |                    |
|---|----------|--------------------|
| K | 20.09.21 | GENERAL AMENDMENTS |
| J | 17.07.20 | GENERAL AMENDMENTS |
| I | 07.02.20 | GENERAL AMENDMENTS |
| H | 22.08.19 | GENERAL AMENDMENTS |
| G | 19.08.19 | GENERAL AMENDMENTS |
| F | 09.08.19 | GENERAL AMENDMENTS |
| E | 23.07.19 | GENERAL AMENDMENTS |
| D | 22.07.19 | GENERAL AMENDMENTS |
| C | 21.06.19 | GENERAL AMENDMENTS |
| B | 28.08.18 | GENERAL AMENDMENTS |
| A | 27.07.18 | GENERAL AMENDMENTS |

| Rev.  | Date        | Description |
|-------|-------------|-------------|
| Scale | 0 1 2 4 6 8 |             |
| m     |             |             |
|       | 1:100 at A1 | 1:200 at A3 |

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Project

MULTI DWELLING DEVELOPMENT

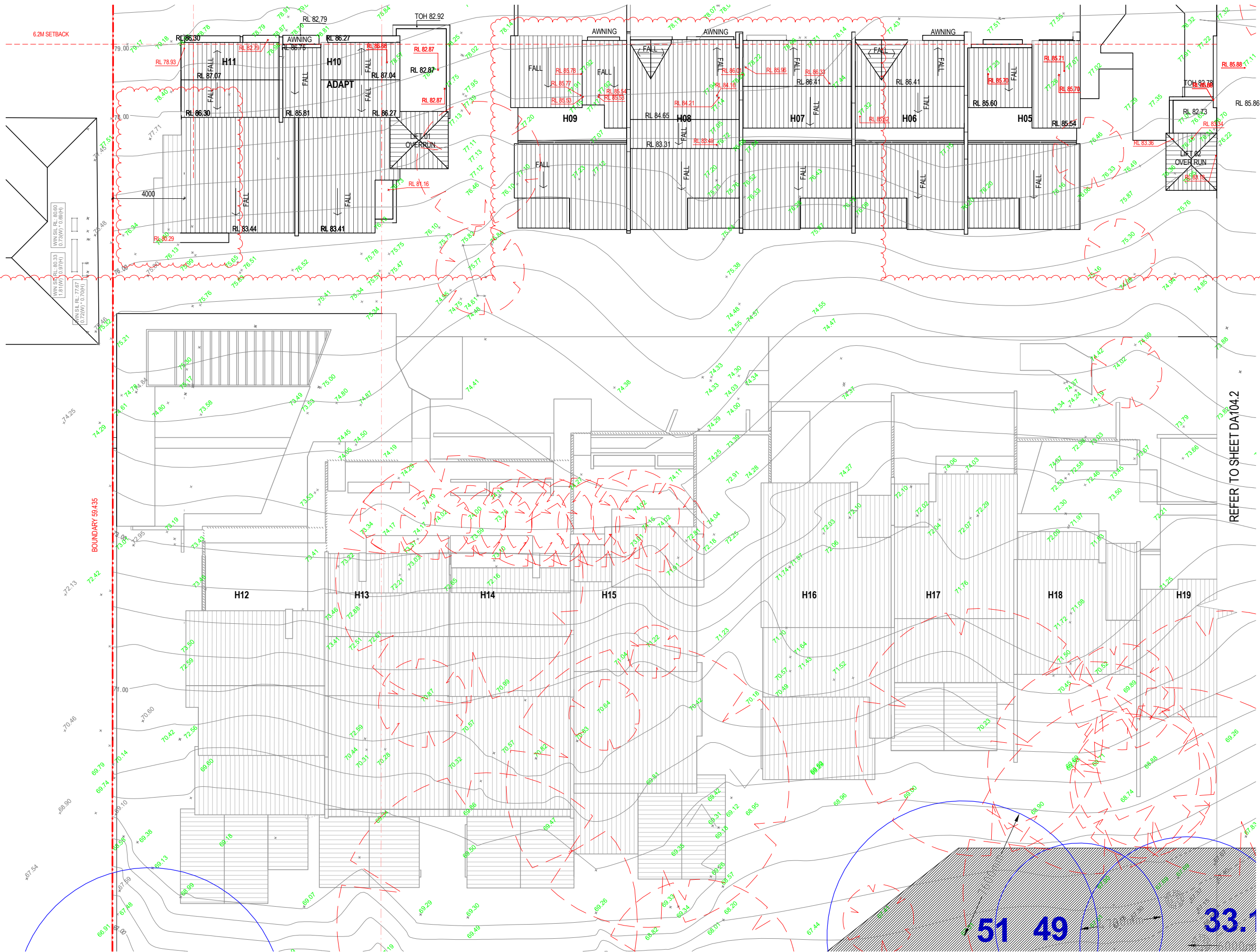
298-312 BLAXLAND ROAD, RYDE

Drawing Title

FIRST FLOOR PLAN FRONT (PART B)

| DA SUBMISSION |             |             |          |
|---------------|-------------|-------------|----------|
| Job no.       | Drawing no. | Rev.        |          |
| J15284        | DA 103.2    | K           |          |
| Drawn by      | Checked by  | Approved by | Date     |
| PY            | JY          | JY          | AUG 2019 |

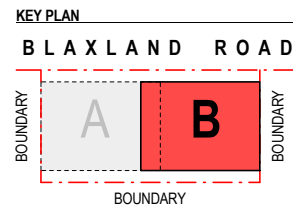




1 ROOF PLAN - FRONT (PART A)

1: 100 at A1 1: 200 at A3

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LEGEND  
EXISTING SURVEY LEVEL  
CORRESPONDING BUILDING  
HEIGHT ABOVE EXISTING  
SURVEY LEVEL

|   |          |                    |
|---|----------|--------------------|
| J | 20.09.21 | GENERAL AMENDMENTS |
| I | 17.07.20 | GENERAL AMENDMENTS |
| H | 07.02.20 | GENERAL AMENDMENTS |
| G | 19.08.19 | GENERAL AMENDMENTS |
| F | 09.08.19 | GENERAL AMENDMENTS |
| E | 23.07.19 | GENERAL AMENDMENTS |
| D | 22.07.19 | GENERAL AMENDMENTS |
| C | 21.06.19 | GENERAL AMENDMENTS |
| B | 28.08.18 | GENERAL AMENDMENTS |
| A | 27.07.18 | GENERAL AMENDMENTS |

| Rev.  | Date                    | Description |
|-------|-------------------------|-------------|
| Scale | 0 1 2 4 6 8             |             |
| m     | 1:100 at A1 1:200 at A3 |             |

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Project  
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298-312 BLAXLAND ROAD, RYDE

Drawing Title  
ROOF PLAN FRONT (PART A)

DA SUBMISSION

Job no. Drawing no. Rev.

J15284 DA 104.1 J

Drawn by PY Checked by JY Approved by JY Date AUG 2019









**E1 NORTH-FRONT ELEVATION (OVERALL)**

1 : 200 at A1 1:400 at A3



**E2 NORTH ELEVATION (PART A)**

1 : 100 at A1 1:200 at A3



**E3 NORTH ELEVATION (PART B)**

1 : 100 at A1 1:200 at A3

**REFERENCES**  
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**MATERIAL LEGEND**

|      |  |
|------|--|
| AWD1 | ALUMINIUM FRAME WINDOWS & DOORS - DARK GREY OR SIMILAR             |
| B1   | RED BRICK OR SIMILAR   |
| B2   | AUSTRAL BRICK - URBAN ONE PEPPER OR SIMILAR                        |
| B3   | LIGHT GREY BRICK OR SIMILAR  |
| CG   | CLEAR GLASS  |
| LW1  | LIGHTWEIGHT CLADDING 01 - LIGHT GREY OR SIMILAR                    |
| MR   | METAL ROOF - LIGHT GREY OR SIMILAR                                 |
| OG   | TRANSLUCENT GLAZING  |
| PF1  | RENDER & PAINT FINISH DULUX WHITES - WHITE ON WHITE OR SIMILAR     |
| PF2  | RENDER & PAINT FINISH DULUX SG6 GREYS- BLACK OR SIMILAR            |
| PF3  | RENDER & PAINT FINISH DULUX RED EARTH OR SIMILAR                   |
| PF4  | RENDER & PAINT FINISH DULUX SILVER TWILIGHT- LIGHT GREY OR SIMILAR |
| PF5  | RENDER & PAINT FINISH DULUX NORSEWOOD- BEIGE OR SIMILAR            |
| TG   | TRANSLUCENT GLAZED SCREEN  |

**GROUND LINE LEGEND**

--- DENOTES EXISTING GROUND LINE

|          |                    |             |
|----------|--------------------|-------------|
| 20.09.21 | GENERAL AMENDMENTS |             |
| 17.07.20 | GENERAL AMENDMENTS |             |
| 19.08.19 | GENERAL AMENDMENTS |             |
| 09.08.19 | GENERAL AMENDMENTS |             |
| 22.07.19 | GENERAL AMENDMENTS |             |
| 21.06.19 | GENERAL AMENDMENTS |             |
| 28.08.18 | GENERAL AMENDMENTS |             |
| 20.10.17 | ISSUE FOR DA       |             |
| 21.10.16 | ISSUE FOR DA       |             |
| Rev.     | Date               | Description |

SCALE AS INDICATED

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Project  
**MULTI DWELLING DEVELOPMENT**

298-312 BLAXLAND ROAD, RYDE

Drawing Title  
**NORTH ELEVATIONS**

**DA SUBMISSION**

|                  |                  |                   |
|------------------|------------------|-------------------|
| Job no.          | Drawing no.      | Rev.              |
| J15284           | DA 200           | I                 |
| Drawn by<br>PY   | Checked by<br>JY | Approved by<br>JY |
| Date<br>AUG 2019 |                  |                   |



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NOTES

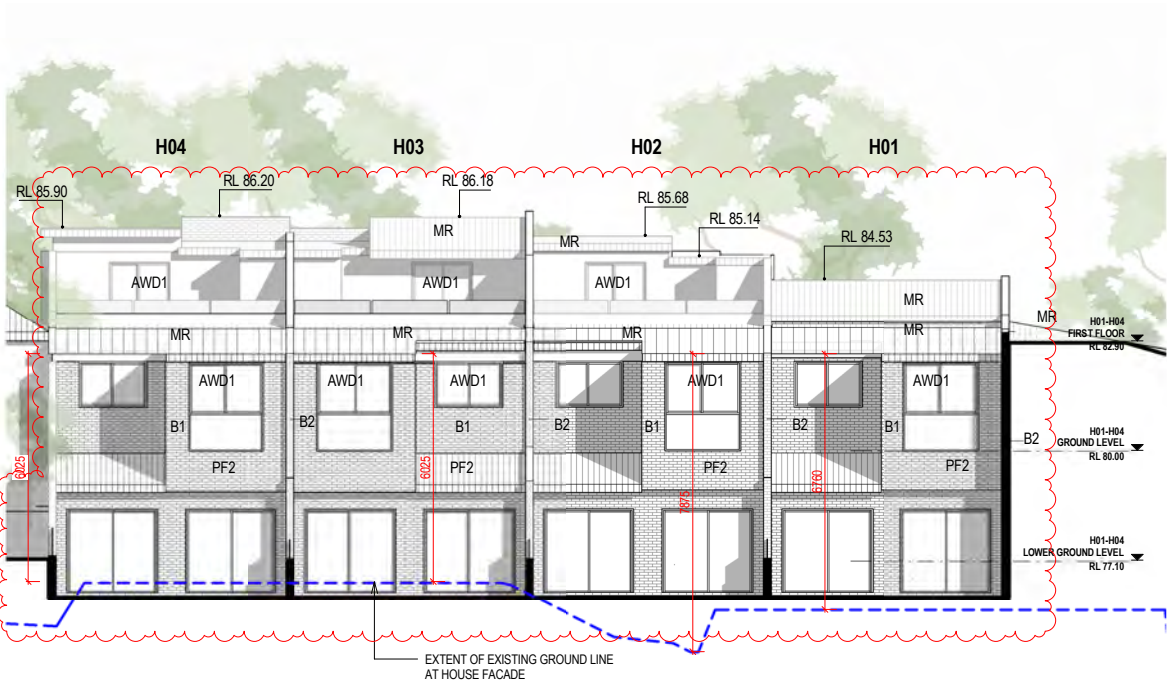
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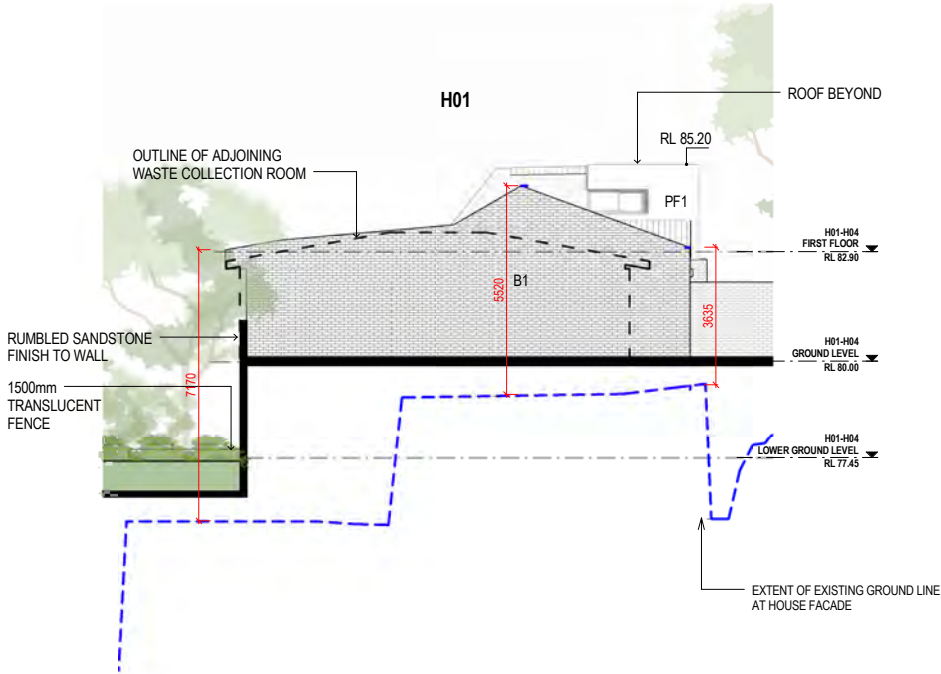
| MATERIAL LEGEND |  |
|-----------------|--|
| AWD1            | ALUMINIUM FRAME WINDOWS & DOORS - DARK GREY OR SIMILAR             |
| B1              | RED BRICK OR SIMILAR   |
| B2              | AUSTRAL BRICK - URBAN ONE PEPPER OR SIMILAR                        |
| B3              | LIGHT GREY BRICK OR SIMILAR  |
| CG              | CLEAR GLASS  |
| LW1             | LIGHTWEIGHT CLADDING 01 - LIGHT GREY OR SIMILAR                    |
| MR              | METAL ROOF - LIGHT GREY OR SIMILAR                                 |
| OG              | TRANSLUCENT GLAZING  |
| PF1             | RENDER & PAINT FINISH DULUX WHITES - WHITE ON WHITE OR SIMILAR     |
| PF2             | RENDER & PAINT FINISH DULUX SG6 GREYS- BLACK OR SIMILAR            |
| PF3             | RENDER & PAINT FINISH DULUX RED EARTH OR SIMILAR                   |
| PF4             | RENDER & PAINT FINISH DULUX SILVER TWILIGHT- LIGHT GREY OR SIMILAR |
| PF5             | RENDER & PAINT FINISH DULUX NORSEWOOD- BEIGE OR SIMILAR            |
| TG              | TRANSLUCENT GLAZED SCREEN  |

| GROUND LINE LEGEND |                              |                    |
|--------------------|------------------------------|--------------------|
| ---                | DENOTES EXISTING GROUND LINE |                    |
| G                  | 20.09.21                     | GENERAL AMENDMENTS |
| F                  | 17.07.20                     | GENERAL AMENDMENTS |
| E                  | 09.08.19                     | GENERAL AMENDMENTS |
| D                  | 22.07.19                     | GENERAL AMENDMENTS |
| C                  | 21.06.19                     | GENERAL AMENDMENTS |
| B                  | 28.08.18                     | GENERAL AMENDMENTS |
| A                  | 27.07.18                     | GENERAL AMENDMENTS |
| Rev.               | Date                         | Description        |
| Scale              | m                            |                    |
| 0                  | 1                            | 2 4 6 8            |
|                    | 1:100 at A1                  | 1:200 at A3        |



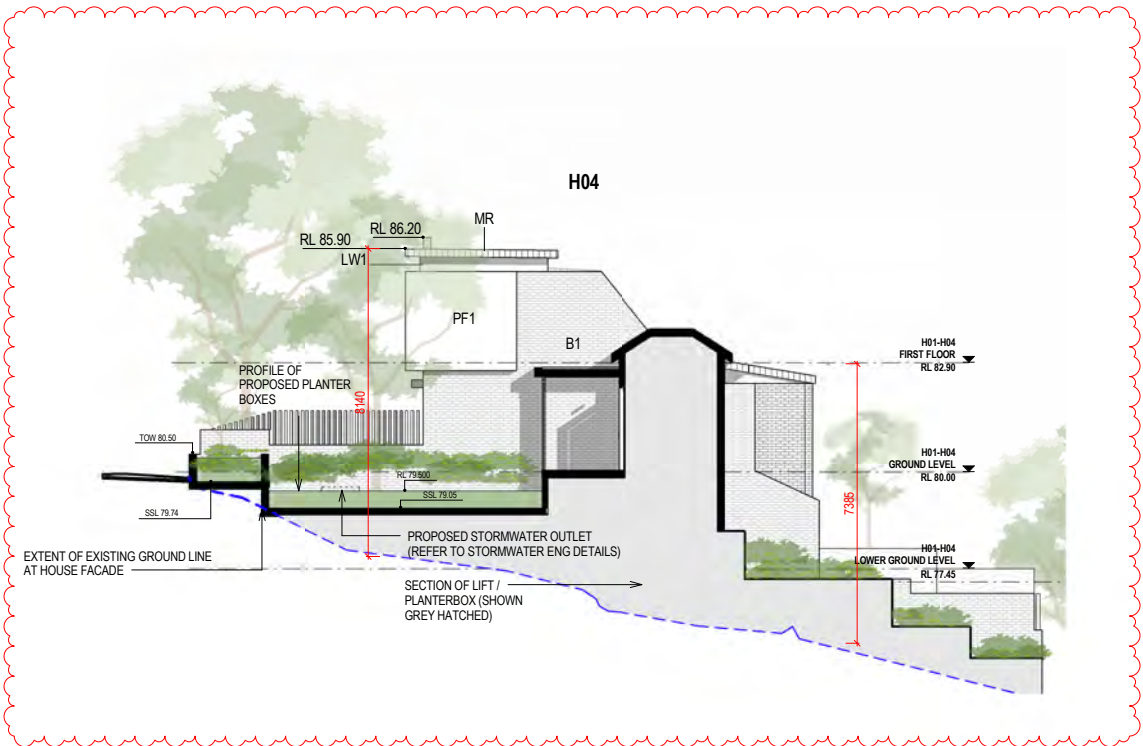
## E1 H01 - H04 SOUTH ELEVATION

1 : 100 at A1 1:200 at A3



## E2 H01 - H04 EAST ELEVATION

1 : 100 at A1 1:200 at A3



## E3 H01 - H04 WEST ELEVATION

1 : 100 at A1 1:200 at A3

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Project

**MULTI DWELLING DEVELOPMENT**

298-312 BLAXLAND ROAD, RYDE

Drawing Title

**H01-H04 ELEVATIONS**

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|---------------|-------------|-------------|----------|
| Job no.       | Drawing no. | Rev.        |          |
| J15284        | DA 200.1    | G           |          |
| Drawn by      | Checked by  | Approved by | Date     |
| PY            | JY          | JY          | AUG 2019 |



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#### MATERIAL LEGEND

|      |  |
|------|--|
| AWD1 | ALUMINIUM FRAME WINDOWS & DOORS - DARK GREY OR SIMILAR             |
| B1   | RED BRICK OR SIMILAR   |
| B2   | AUSTRAL BRICK - URBAN ONE PEPPER OR SIMILAR                        |
| B3   | LIGHT GREY BRICK OR SIMILAR  |
| CG   | CLEAR GLASS  |
| LW1  | LIGHTWEIGHT CLADDING 01 - LIGHT GREY OR SIMILAR                    |
| MR   | METAL ROOF - LIGHT GREY OR SIMILAR                                 |
| OG   | TRANSLUCENT GLAZING  |
| PF1  | RENDER & PAINT FINISH DULUX WHITES - WHITE ON WHITE OR SIMILAR     |
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| PF5  | RENDER & PAINT FINISH DULUX NORSEWOOD- BEIGE OR SIMILAR            |
| TG   | TRANSLUCENT GLAZED SCREEN  |

#### GROUND LINE LEGEND

--- DENOTES EXISTING GROUND LINE

|   |          |                    |
|---|----------|--------------------|
| I | 20.09.21 | GENERAL AMENDMENTS |
| H | 17.07.20 | GENERAL AMENDMENTS |
| G | 22.08.19 | GENERAL AMENDMENTS |
| F | 19.08.19 | GENERAL AMENDMENTS |
| E | 09.08.19 | GENERAL AMENDMENTS |
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| B | 28.08.18 | GENERAL AMENDMENTS |
| A | 27.07.18 | GENERAL AMENDMENTS |

| Rev.  | Date        | Description |
|-------|-------------|-------------|
| Scale | 0 1 2 4 6 8 |             |
| m     |             |             |
|       | 1:100 at A1 | 1:200 at A3 |

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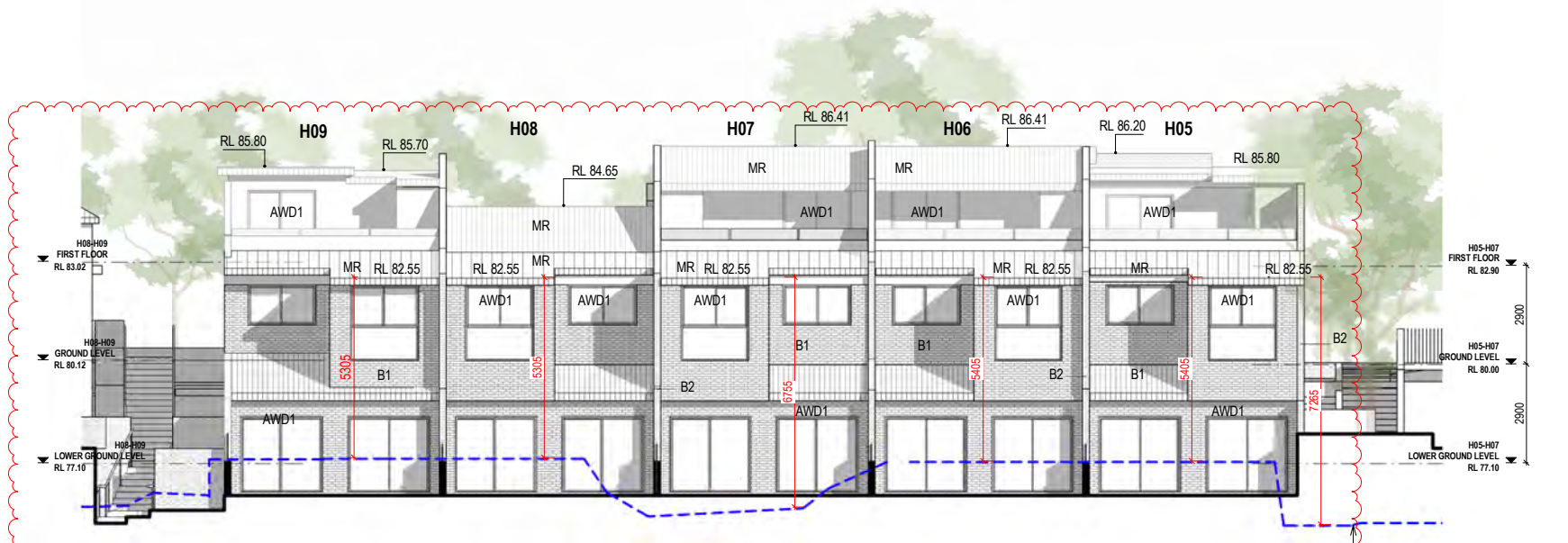
Project  
**MULTI DWELLING DEVELOPMENT**

298-312 BLAXLAND ROAD, RYDE

Drawing Title  
**H05-H11 ELEVATIONS**

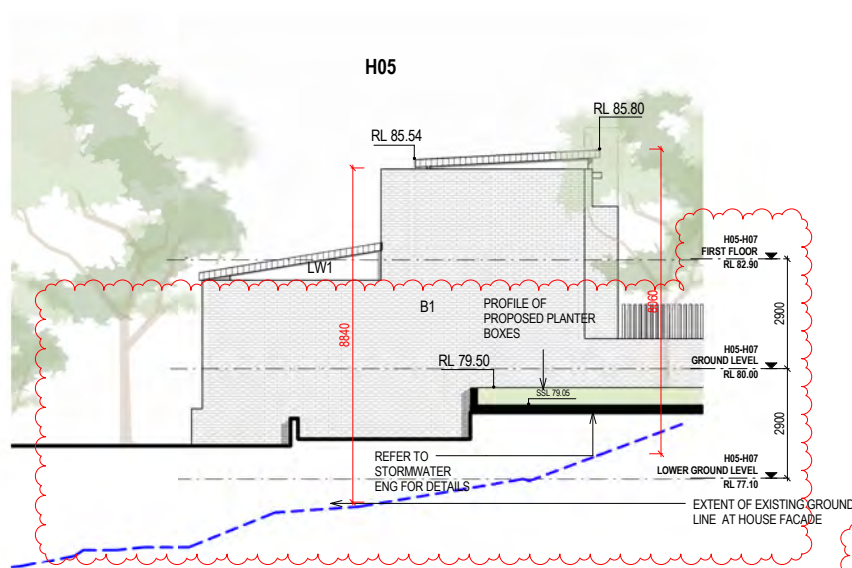
#### DA SUBMISSION

|          |             |             |
|----------|-------------|-------------|
| Job no.  | Drawing no. | Rev.        |
| J15284   | DA 200.2    | I           |
| Drawn by | Checked by  | Approved by |
| PY       | JY          | JY          |
| Date     |             |             |
|          |             | AUG 2019    |



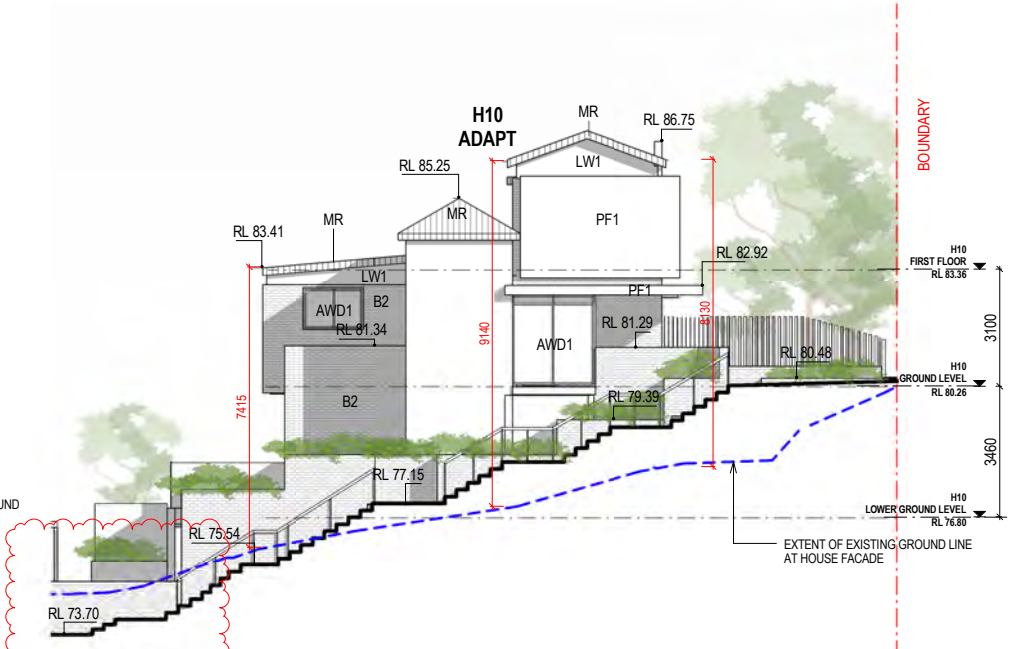
**E1 H05 - H09 SOUTH ELEVATION**

1 : 100 at A1 1:200 at A3



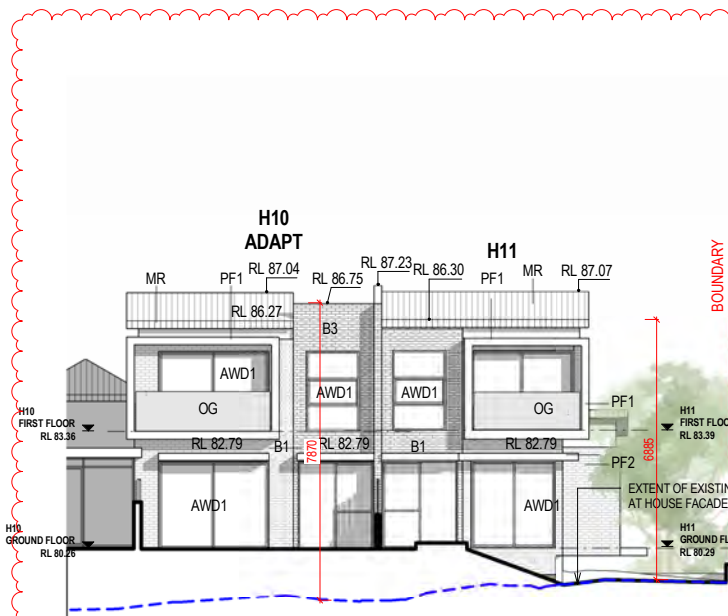
**E2 H05 - H09 EAST ELEVATION**

1 : 100 at A1 1:200 at A3



**E3 H10 EAST ELEVATION**

1 : 100 at A1 1:200 at A3



**E4 H10 - H11 NORTH ELEVATION**

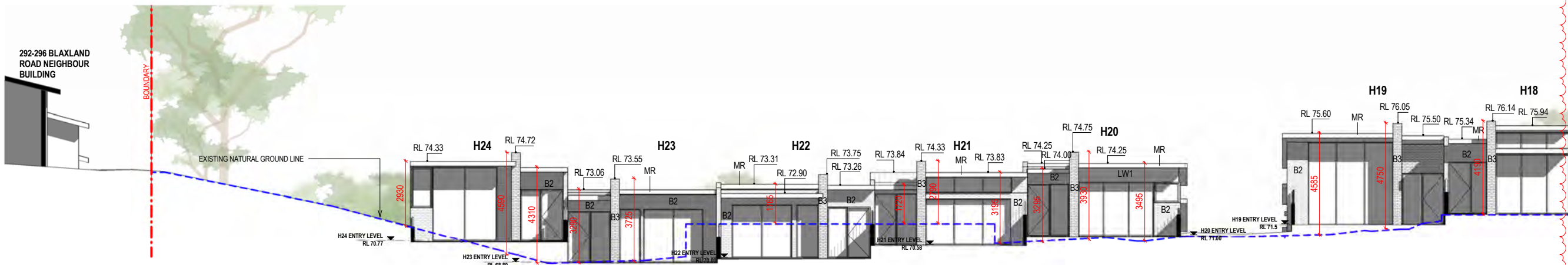
1 : 100 at A1 1:200 at A3





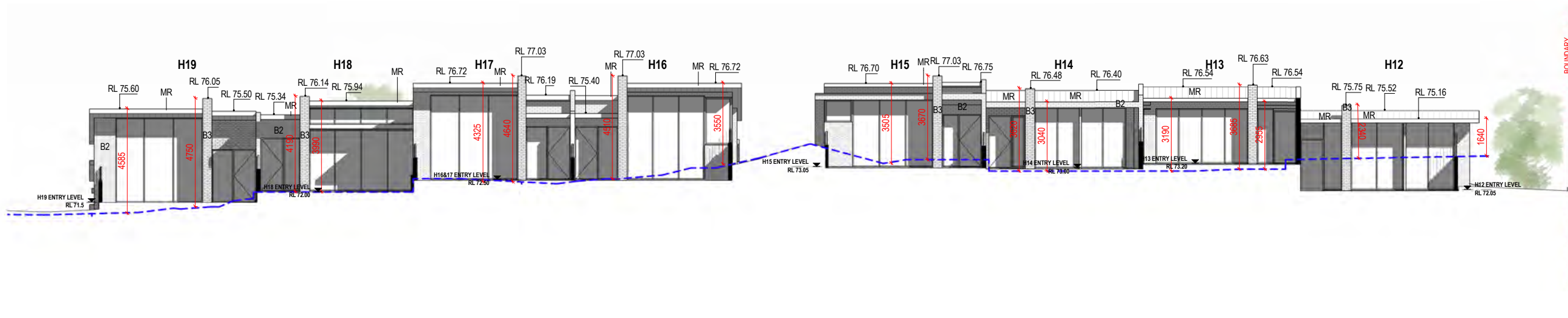
## 1 REAR HOUSES FRONT ELEVATIONS

1 : 200 at A1 1:400 at A3



## 2 REAR HOUSES FRONT ELEVATIONS (PART A)

1 : 100 at A1 1:200 at A3




## 3 REAR HOUSES FRONT ELEVATIONS (PART B)

1 : 100 at A1 1:200 at A3

| REFERENCES  |  |
|---|--|
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| FIGURED DIMENSIONS TO BE USED AT ALL TIME.  |  |
| DO NOT SCALE MEASUREMENTS OFF DRAWINGS.   |  |
| MATERIAL LEGEND   |  |
| AWD1  | ALUMINIUM FRAME WINDOWS & DOORS - DARK GREY OR SIMILAR             |
| B1  | RED BRICK OR SIMILAR   |
| B2  | AUSTRAL BRICK - URBAN ONE PEPPER OR SIMILAR                        |
| B3  | LIGHT GREY BRICK OR SIMILAR  |
| CG  | CLEAR GLASS  |
| LW1   | LIGHTWEIGHT CLADDING 01 - LIGHT GREY OR SIMILAR                    |
| MR  | METAL ROOF - LIGHT GREY OR SIMILAR                                 |
| OG  | TRANSLUCENT GLAZING  |
| PF1   | RENDER & PAINT FINISH DULUX WHITES - WHITE ON WHITE OR SIMILAR     |
| PF2   | RENDER & PAINT FINISH DULUX SG6 GREYS- BLACK OR SIMILAR            |
| PF3   | RENDER & PAINT FINISH DULUX RED EARTH OR SIMILAR                   |
| PF4   | RENDER & PAINT FINISH DULUX SILVER TWILIGHT- LIGHT GREY OR SIMILAR |
| PF5   | RENDER & PAINT FINISH DULUX NORSEWOOD- BEIGE OR SIMILAR            |
| TG  | TRANSLUCENT GLAZED SCREEN  |

GROUND LINE LEGEND

 DENOTES EXISTING GROUND LINE

|          |                    |
|----------|--------------------|
| 20.09.21 | GENERAL AMENDMENTS |
| 17.07.20 | GENERAL AMENDMENTS |
| 07.02.20 | GENERAL AMENDMENTS |
| 09.08.19 | GENERAL AMENDMENTS |
| 23.07.19 | GENERAL AMENDMENTS |
| 22.07.19 | GENERAL AMENDMENTS |
| 21.06.19 | GENERAL AMENDMENTS |
| 28.08.18 | GENERAL AMENDMENTS |
| 27.07.18 | GENERAL AMENDMENTS |
| 20.10.17 | ISSUE FOR DA       |
| 21.10.16 | ISSUE FOR DA       |
| Rev.     | Date Description   |

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| Nominated Architect: Lijana Ermilova - 7887, ABN 24 243 205 327   |  |

Project  
**MULTI DWELLING DEVELOPMENT**

298-312 BLAXLAND ROAD, RYDE  
Drawing Title  
**H12-H24 NORTH ELEVATIONS**

| DA SUBMISSION |             |             |          |
|---------------|-------------|-------------|----------|
| Job no.       | Drawing no. | Rev.        |          |
| J15284        | DA 201      | K           |          |
| Drawn by      | Checked by  | Approved by | Date     |
| PY            | JY          | JY          | AUG 2019 |



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FIGURED DIMENSIONS TO BE USED AT ALL TIME.

DO NOT SCALE MEASUREMENTS OFF DRAWINGS.

#### MATERIAL LEGEND

|      |  |
|------|--|
| AWD1 | ALUMINIUM FRAME WINDOWS & DOORS - DARK GREY OR SIMILAR             |
| B1   | RED BRICK OR SIMILAR   |
| B2   | AUSTRAL BRICK - URBAN ONE PEPPER OR SIMILAR                        |
| B3   | LIGHT GREY BRICK OR SIMILAR  |
| CG   | CLEAR GLASS  |
| LW1  | LIGHTWEIGHT CLADDING 01 - LIGHT GREY OR SIMILAR                    |
| MR   | METAL ROOF - LIGHT GREY OR SIMILAR                                 |
| OG   | TRANSLUCENT GLAZING  |
| PF1  | RENDER & PAINT FINISH DULUX WHITES - WHITE ON WHITE OR SIMILAR     |
| PF2  | RENDER & PAINT FINISH DULUX SG6 GREYS- BLACK OR SIMILAR            |
| PF3  | RENDER & PAINT FINISH DULUX RED EARTH OR SIMILAR                   |
| PF4  | RENDER & PAINT FINISH DULUX SILVER TWILIGHT- LIGHT GREY OR SIMILAR |
| PF5  | RENDER & PAINT FINISH DULUX NORSEWOOD- BEIGE OR SIMILAR            |
| TG   | TRANSLUCENT GLAZED SCREEN  |

#### GROUND LINE LEGEND

--- DENOTES EXISTING GROUND LINE

|   |          |                    |
|---|----------|--------------------|
| J | 20.09.21 | GENERAL AMENDMENTS |
| H | 17.07.20 | GENERAL AMENDMENTS |
| G | 07.02.20 | GENERAL AMENDMENTS |
| F | 19.08.19 | GENERAL AMENDMENTS |
| E | 09.08.19 | GENERAL AMENDMENTS |
| D | 22.07.19 | GENERAL AMENDMENTS |
| C | 21.06.19 | GENERAL AMENDMENTS |
| B | 28.08.18 | GENERAL AMENDMENTS |
| A | 27.07.18 | GENERAL AMENDMENTS |

| Rev.  | Date        | Description |   |   |   |
|-------|-------------|-------------|---|---|---|
| Scale |             |             |   |   |   |
| m     | 1           | 2           | 4 | 6 | 8 |
| 0     |             |             |   |   |   |
|       | 1:100 at A1 | 1:200 at A3 |   |   |   |

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Nominated Architect: Lijana Ermlova - 7887, ABN 24 243 205 327

Project

**MULTI DWELLING DEVELOPMENT**

298-312 BLAXLAND ROAD, RYDE

Drawing Title

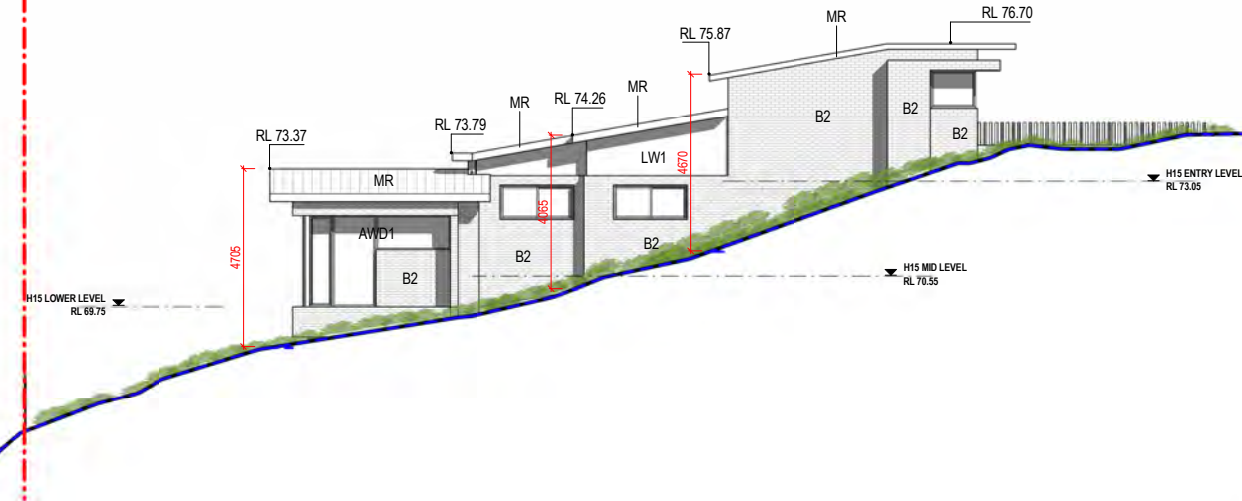
**H12 - H24 ELEVATIONS**

#### DA SUBMISSION

| Job no.  | Drawing no. | Rev.        |          |
|----------|-------------|-------------|----------|
| J15284   | DA 201.1    | I           |          |
| Drawn by | Checked by  | Approved by | Date     |
| PY       | JY          | JY          | AUG 2019 |

13-15 BENSON STREET  
NEIGHBOUR PROPERTY

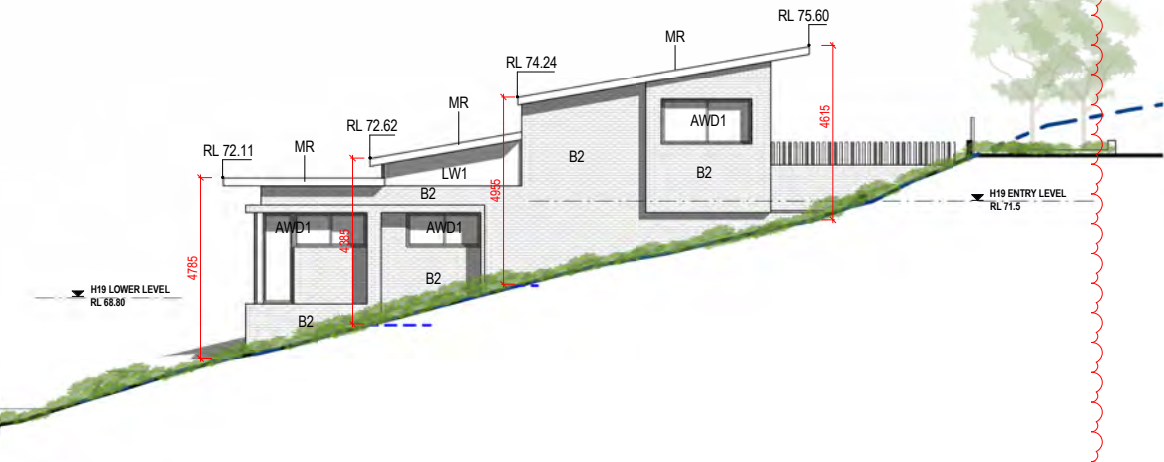
BOUNDARY



#### 1 H15 EAST ELEVATION

1 : 100 at A1 1:200 at A3

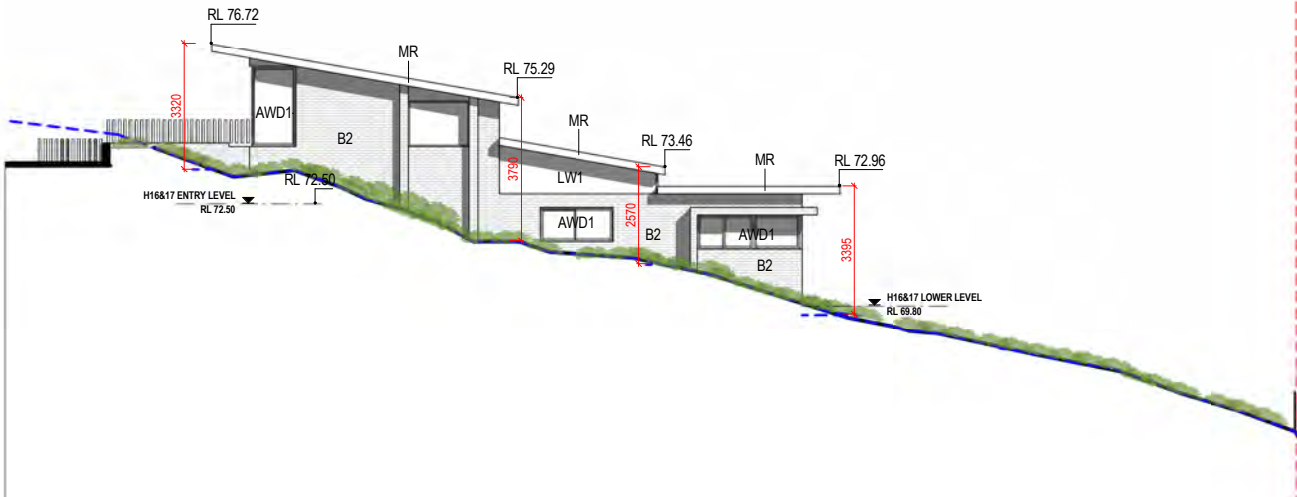
BOUNDARY



#### 2 H19 EAST ELEVATION

1 : 100 at A1 1:200 at A3

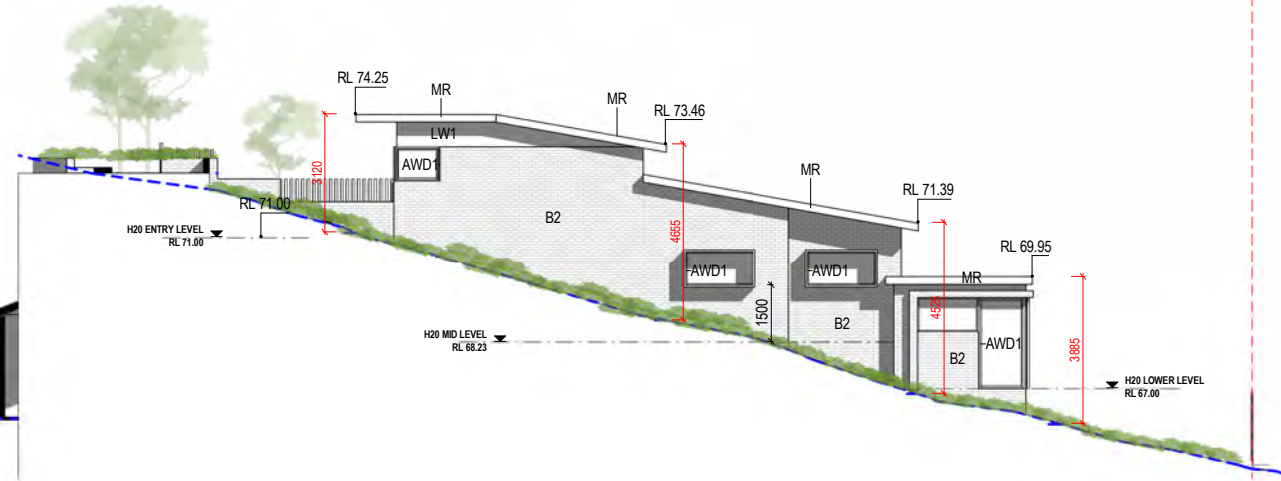
BOUNDARY



#### 3 HOUSE 16 WEST ELEVATION

1 : 100 at A1 1:200 at A3

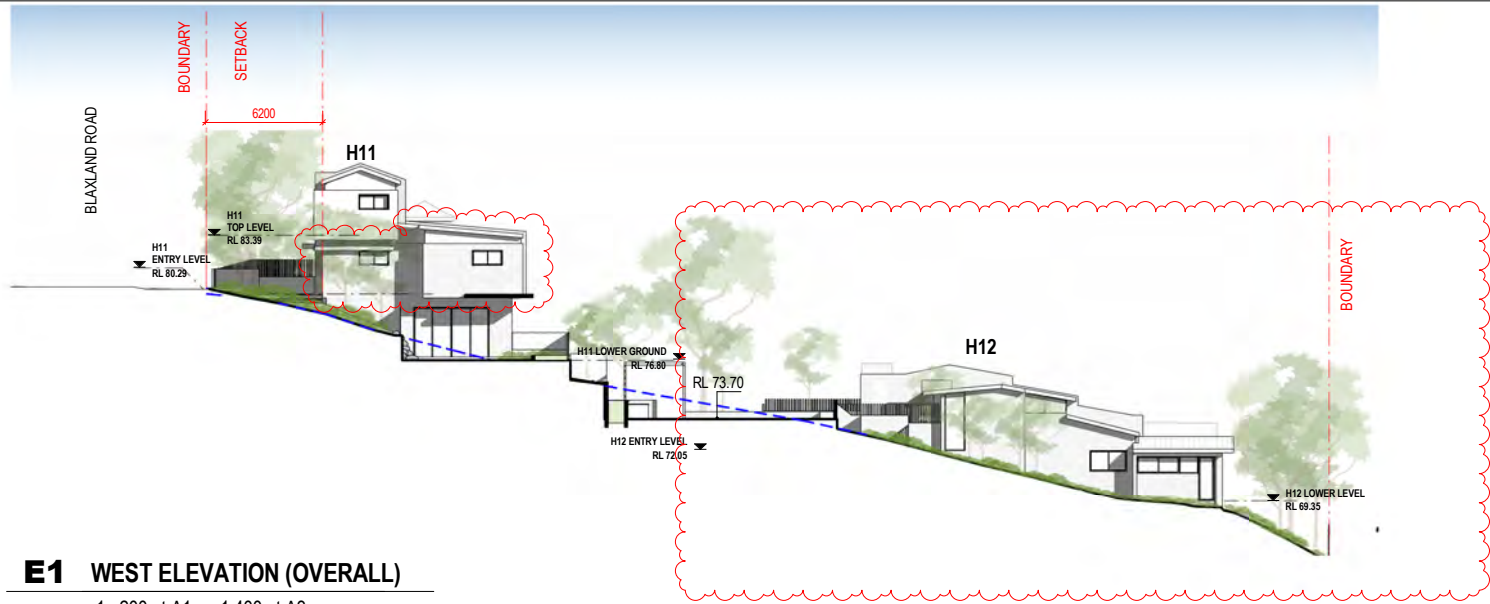
13-15 BENSON STREET  
NEIGHBOUR PROPERTY



#### 4 HOUSE 20 WEST ELEVATION

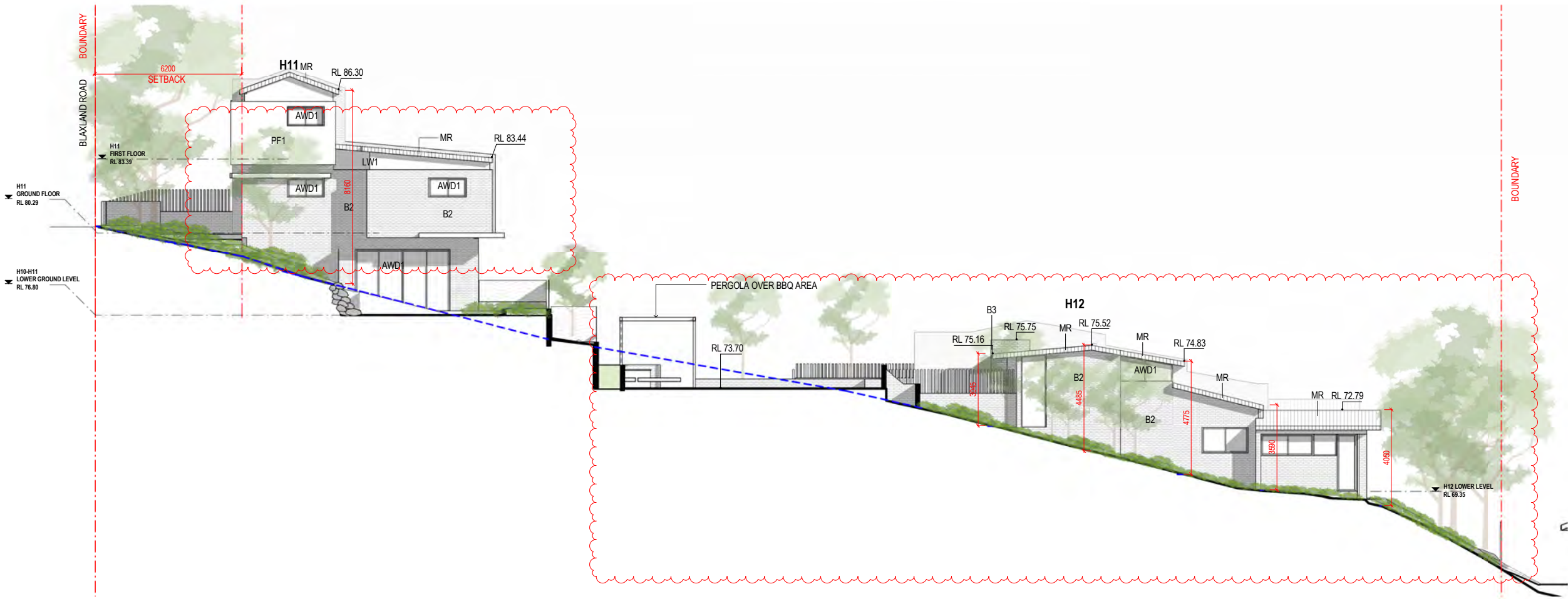
1 : 100 at A1 1:200 at A3





**E1 WEST ELEVATION (OVERALL)**

1 : 200 at A1 1:400 at A3



**E2 WEST ELEVATION (PART A)**

1 : 100 at A1 1:200 at A3

**REFERENCES**

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**MATERIAL LEGEND**

AWD1 ALUMINIUM FRAME WINDOWS & DOORS - DARK GREY OR SIMILAR

B1 RED BRICK OR SIMILAR

B2 AUSTRAL BRICK - URBAN ONE PEPPER OR SIMILAR

B3 LIGHT GREY BRICK OR SIMILAR

CG CLEAR GLASS

LW1 LIGHTWEIGHT CLADDING 01 - LIGHT GREY OR SIMILAR

MR METAL ROOF - LIGHT GREY OR SIMILAR

OG TRANSLUCENT GLAZING

PF1 RENDER & PAINT FINISH DULUX WHITES - WHITE ON WHITE OR SIMILAR

PF2 RENDER & PAINT FINISH DULUX SG6 GREYS- BLACK OR SIMILAR

PF3 RENDER & PAINT FINISH DULUX RED EARTH OR SIMILAR

PF4 RENDER & PAINT FINISH DULUX SILVER TWILIGHT- LIGHT GREY OR SIMILAR

PF5 RENDER & PAINT FINISH DULUX NORSEWOOD- BEIGE OR SIMILAR

TG TRANSLUCENT GLAZED SCREEN

**GROUND LINE LEGEND**

--- DENOTES EXISTING GROUND LINE

|   |          |                    |
|---|----------|--------------------|
| K | 20.09.21 | GENERAL AMENDMENTS |
| J | 17.07.20 | GENERAL AMENDMENTS |
| I | 07.02.20 | GENERAL AMENDMENTS |
| H | 19.08.19 | GENERAL AMENDMENTS |
| G | 09.08.19 | GENERAL AMENDMENTS |
| F | 22.07.19 | GENERAL AMENDMENTS |
| E | 21.06.19 | GENERAL AMENDMENTS |
| D | 28.08.18 | GENERAL AMENDMENTS |
| C | 27.07.18 | GENERAL AMENDMENTS |
| B | 20.10.17 | ISSUE FOR DA       |
| A | 21.10.16 | ISSUE FOR DA       |

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Project

**MULTI DWELLING DEVELOPMENT**

298-312 BLAXLAND ROAD, RYDE

Drawing Title

**WEST ELEVATIONS**

| DA SUBMISSION |             |             |          |
|---------------|-------------|-------------|----------|
| Job no.       | Drawing no. | Rev.        |          |
| J15284        | DA 202      | K           |          |
| Drawn by      | Checked by  | Approved by | Date     |
| PY            | JY          | JY          | AUG 2019 |



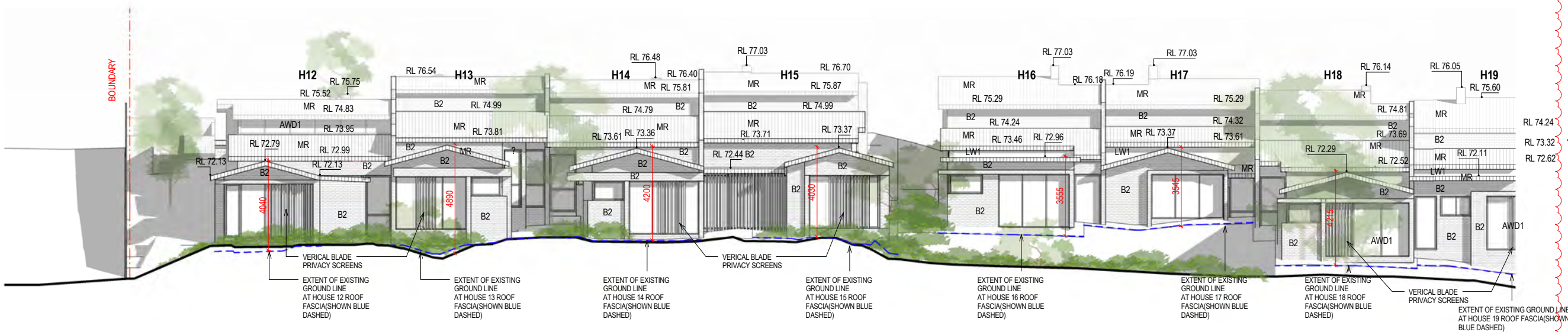
NO. 314  
2 STOREY  
DWELLING

NO. 292-96  
1 + 2 STOREY  
DWELLING



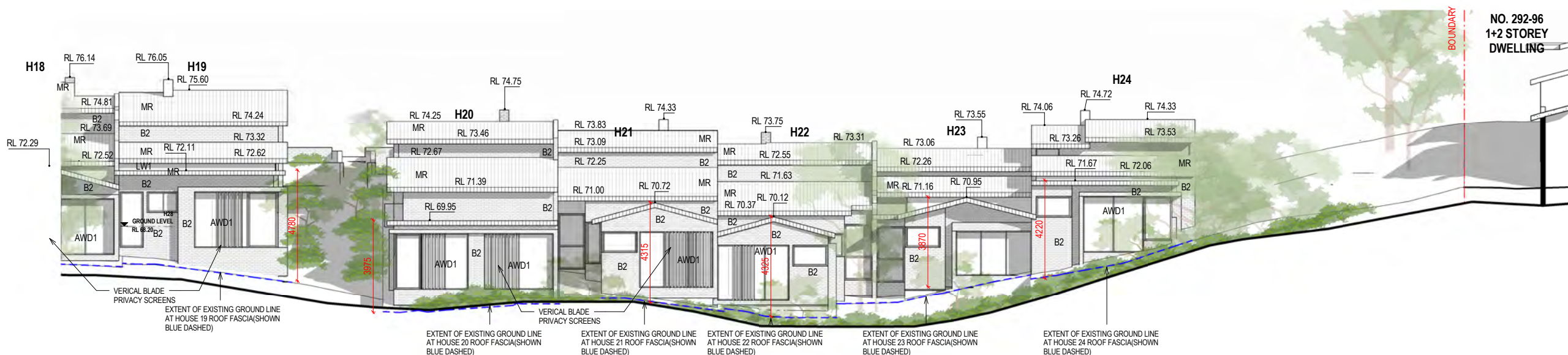
### E1 SOUTH ELEVATION (OVERALL)

1 : 200 at A1 1:400 at A3



### E2 SOUTH ELEVATION (PART A)

1 : 100 at A1 1:200 at A3



### E3 SOUTH ELEVATION (PART B)

1 : 100 at A1 1:200 at A3

#### REFERENCES

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FIGURED DIMENSIONS TO BE USED AT ALL TIME.  
DO NOT SCALE MEASUREMENTS OFF DRAWINGS.

#### MATERIAL LEGEND

|      |  |
|------|--|
| AWD1 | ALUMINIUM FRAME WINDOWS & DOORS - DARK GREY OR SIMILAR             |
| B1   | RED BRICK OR SIMILAR   |
| B2   | AUSTRAL BRICK - URBAN ONE PEPPER OR SIMILAR                        |
| B3   | LIGHT GREY BRICK OR SIMILAR  |
| CG   | CLEAR GLASS  |
| LW1  | LIGHTWEIGHT CLADDING 01 - LIGHT GREY OR SIMILAR                    |
| MR   | METAL ROOF - LIGHT GREY OR SIMILAR                                 |
| OG   | TRANSLUCENT GLAZING  |
| PF1  | RENDER & PAINT FINISH DULUX WHITES - WHITE ON WHITE OR SIMILAR     |
| PF2  | RENDER & PAINT FINISH DULUX SGG GREYS- BLACK OR SIMILAR            |
| PF3  | RENDER & PAINT FINISH DULUX RED EARTH OR SIMILAR                   |
| PF4  | RENDER & PAINT FINISH DULUX SILVER TWILIGHT- LIGHT GREY OR SIMILAR |
| PF5  | RENDER & PAINT FINISH DULUX NORSEWOOD- BEIGE OR SIMILAR            |
| TG   | TRANSLUCENT GLAZED SCREEN  |

#### GROUND LINE LEGEND

— DENOTES EXISTING GROUND LINE

|   |          |                    |
|---|----------|--------------------|
| H | 20.09.21 | GENERAL AMENDMENTS |
| G | 17.07.20 | GENERAL AMENDMENTS |
| F | 19.08.19 | GENERAL AMENDMENTS |
| E | 09.08.19 | GENERAL AMENDMENTS |
| D | 22.07.19 | GENERAL AMENDMENTS |
| C | 21.06.19 | GENERAL AMENDMENTS |
| B | 28.08.18 | GENERAL AMENDMENTS |
| A | 27.07.18 | GENERAL AMENDMENTS |

| Rev. | Date | Description |
|------|------|-------------|
|------|------|-------------|

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Project

**MULTI DWELLING DEVELOPMENT**

298-312 BLAXLAND ROAD, RYDE

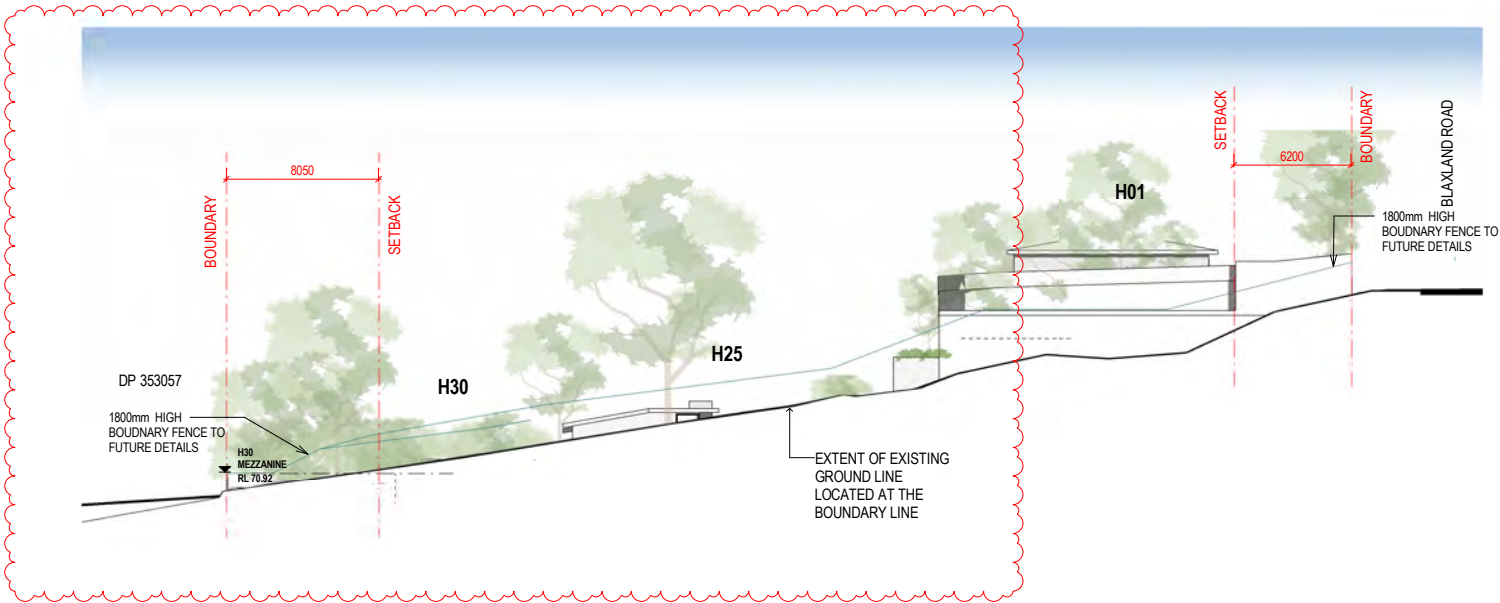
Drawing Title

**SOUTH ELEVATIONS**

#### DA SUBMISSION

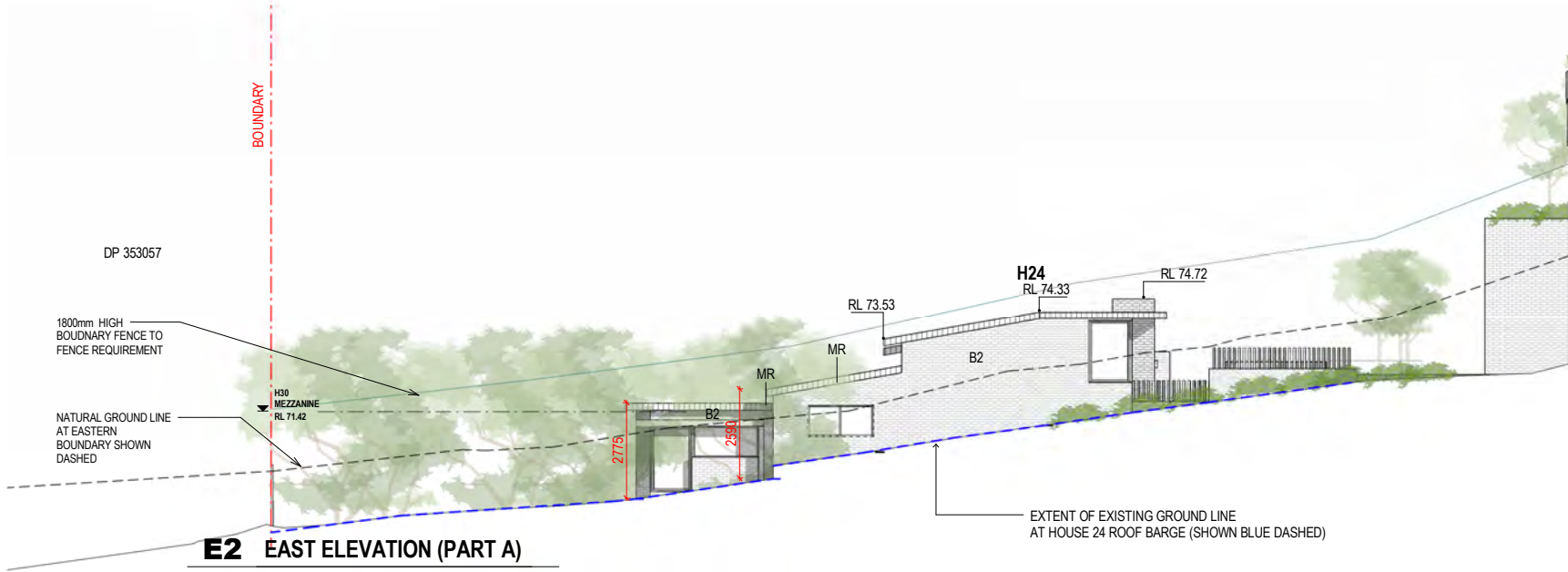
| Job no.          | Drawing no.      | Rev.              |
|------------------|------------------|-------------------|
| J15284           | DA 203           | H                 |
| Drawn by<br>PY   | Checked by<br>JY | Approved by<br>JY |
| Date<br>AUG 2019 |                  |                   |





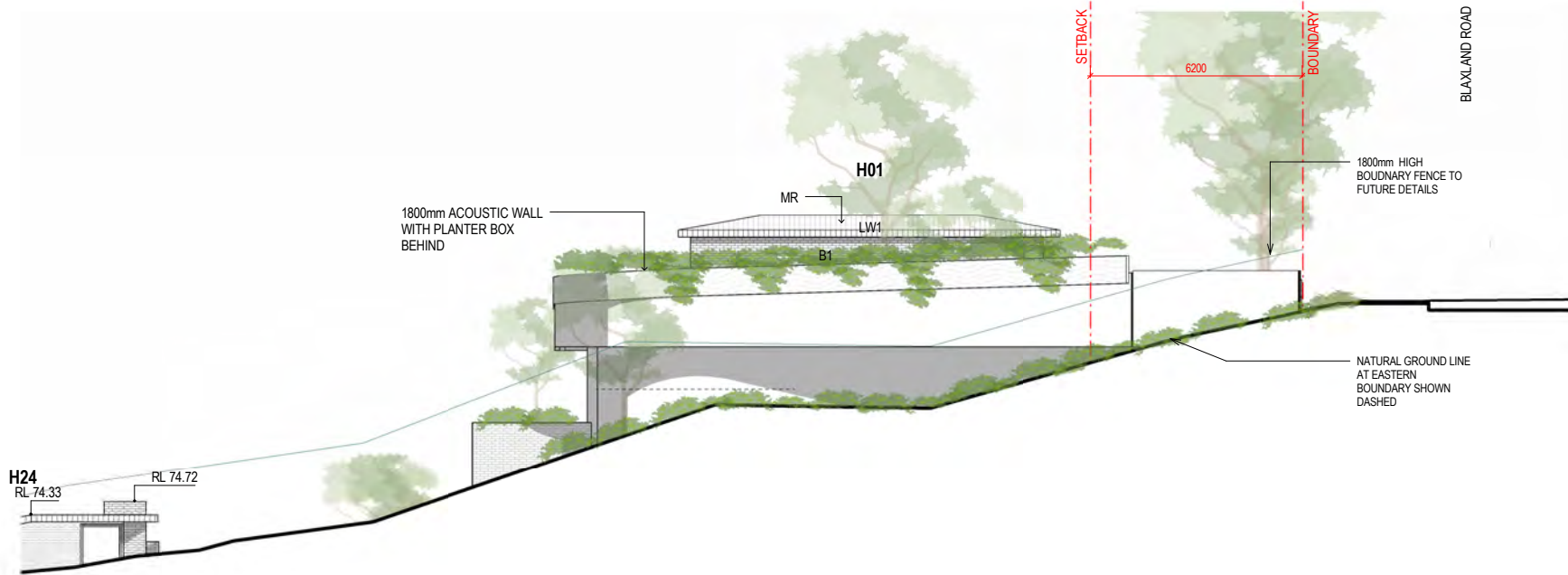
**E1 EAST ELEVATION (OVERALL)**

1:200 at A1 1:400 at A3



**E2 EAST ELEVATION (PART A)**

1:100 at A1 1:200 at A3



**E3 EAST ELEVATION (PART B)**

1:100 at A1 1:200 at A3

**REFERENCES**

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**DO NOT SCALE** MEASUREMENTS OFF DRAWINGS.

**MATERIAL LEGEND**

|      |  |
|------|--|
| AWD1 | ALUMINIUM FRAME WINDOWS & DOORS - DARK GREY OR SIMILAR             |
| B1   | RED BRICK OR SIMILAR   |
| B2   | AUSTRAL BRICK - URBAN ONE PEPPER OR SIMILAR                        |
| B3   | LIGHT GREY BRICK OR SIMILAR  |
| CG   | CLEAR GLASS  |
| LW1  | LIGHTWEIGHT CLADDING 01 - LIGHT GREY OR SIMILAR                    |
| MR   | METAL ROOF - LIGHT GREY OR SIMILAR                                 |
| OG   | TRANSLUCENT GLAZING  |
| PF1  | RENDER & PAINT FINISH DULUX WHITES - WHITE ON WHITE OR SIMILAR     |
| PF2  | RENDER & PAINT FINISH DULUX SG6 GREYS- BLACK OR SIMILAR            |
| PF3  | RENDER & PAINT FINISH DULUX RED EARTH OR SIMILAR                   |
| PF4  | RENDER & PAINT FINISH DULUX SILVER TWILIGHT- LIGHT GREY OR SIMILAR |
| PF5  | RENDER & PAINT FINISH DULUX NORSEWOOD- BEIGE OR SIMILAR            |
| TG   | TRANSLUCENT GLAZED SCREEN  |

**GROUND LINE LEGEND**

--- DENOTES EXISTING GROUND LINE

|   |          |                    |
|---|----------|--------------------|
| L | 20.09.21 | GENERAL AMENDMENTS |
| K | 17.07.20 | GENERAL AMENDMENTS |
| J | 07.02.20 | GENERAL AMENDMENTS |
| I | 22.08.19 | GENERAL AMENDMENTS |
| H | 19.08.19 | GENERAL AMENDMENTS |
| G | 09.08.19 | GENERAL AMENDMENTS |
| F | 22.07.19 | GENERAL AMENDMENTS |
| E | 21.06.19 | GENERAL AMENDMENTS |
| D | 28.08.18 | GENERAL AMENDMENTS |
| C | 27.07.18 | GENERAL AMENDMENTS |
| B | 20.10.17 | ISSUE FOR DA       |
| A | 21.10.16 | ISSUE FOR DA       |

| Rev. | Date | Description |
|------|------|-------------|
|------|------|-------------|

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Project  
**MULTI DWELLING DEVELOPMENT**

298-312 BLAXLAND ROAD, RYDE

Drawing Title  
**EAST ELEVATIONS**

**DA SUBMISSION**

| Job no.          | Drawing no.      | Rev.              |
|------------------|------------------|-------------------|
| J15284           | DA 204           | L                 |
| Drawn by<br>PY   | Checked by<br>JY | Approved by<br>JY |
| Date<br>AUG 2019 |                  |                   |



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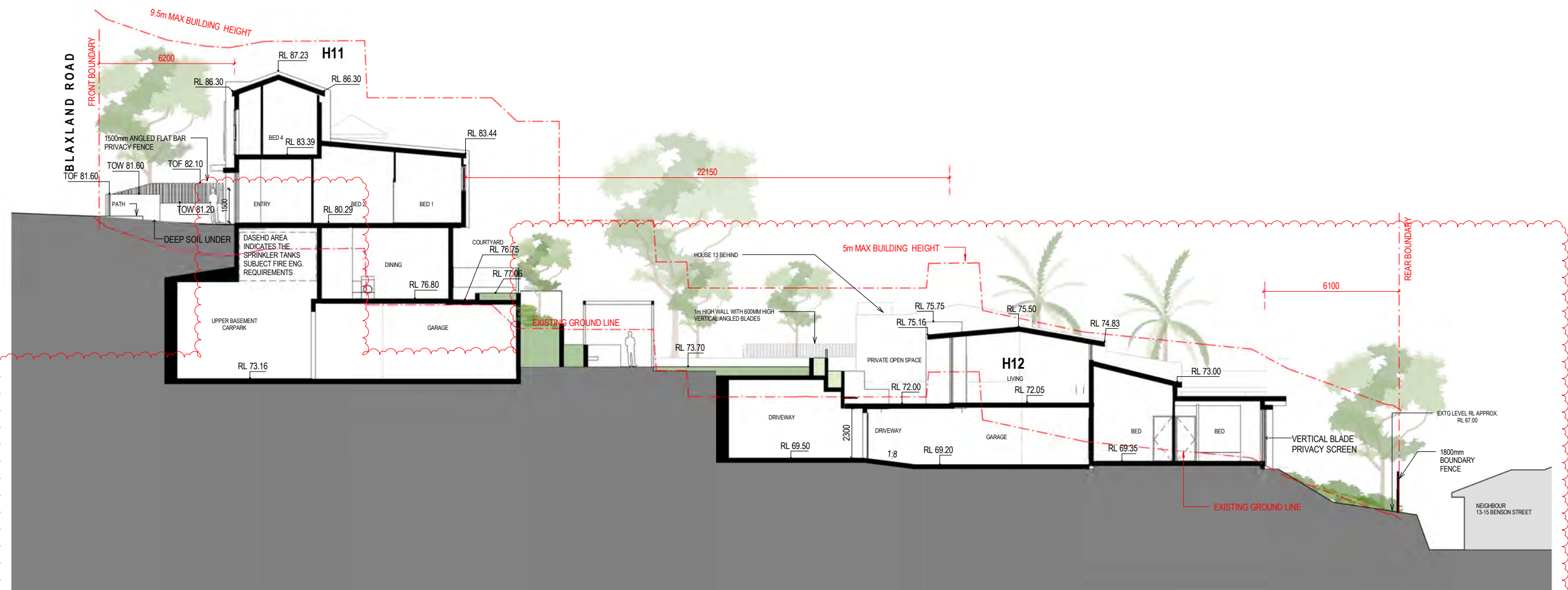
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**AA SECTION AA**

1 : 100 at A1 1:200 at A3

|   |          |                    |
|---|----------|--------------------|
| N | 20.09.21 | GENERAL AMENDMENTS |
| M | 17.07.20 | GENERAL AMENDMENTS |
| L | 07.02.20 | GENERAL AMENDMENTS |
| K | 23.08.19 | GENERAL AMENDMENTS |
| J | 19.08.19 | GENERAL AMENDMENTS |
| I | 16.08.19 | GENERAL AMENDMENTS |
| H | 09.08.19 | GENERAL AMENDMENTS |
| G | 23.07.19 | GENERAL AMENDMENTS |
| F | 22.07.19 | GENERAL AMENDMENTS |
| E | 21.06.19 | GENERAL AMENDMENTS |
| D | 28.08.18 | GENERAL AMENDMENTS |
| C | 27.07.18 | GENERAL AMENDMENTS |
| B | 20.10.17 | ISSUE FOR DA       |
| A | 21.10.16 | ISSUE FOR DA       |

| Rev.  | Date | Description |             |   |   |
|-------|------|-------------|-------------|---|---|
| Scale | 1    | 2           | 4           | 6 | 8 |
| m     | 0    | 1:100 at A1 | 1:200 at A3 |   |   |

Project Architect

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Project

**MULTI DWELLING DEVELOPMENT**

298-312 BLAXLAND ROAD, RYDE

Drawing Title

**SECTION AA**

**DA SUBMISSION**

| Job no.  | Drawing no. | Rev.        |          |
|----------|-------------|-------------|----------|
| J15284   | DA 301      | N           |          |
| Drawn by | Checked by  | Approved by | Date     |
| PY       | JY          | JY          | AUG 2019 |



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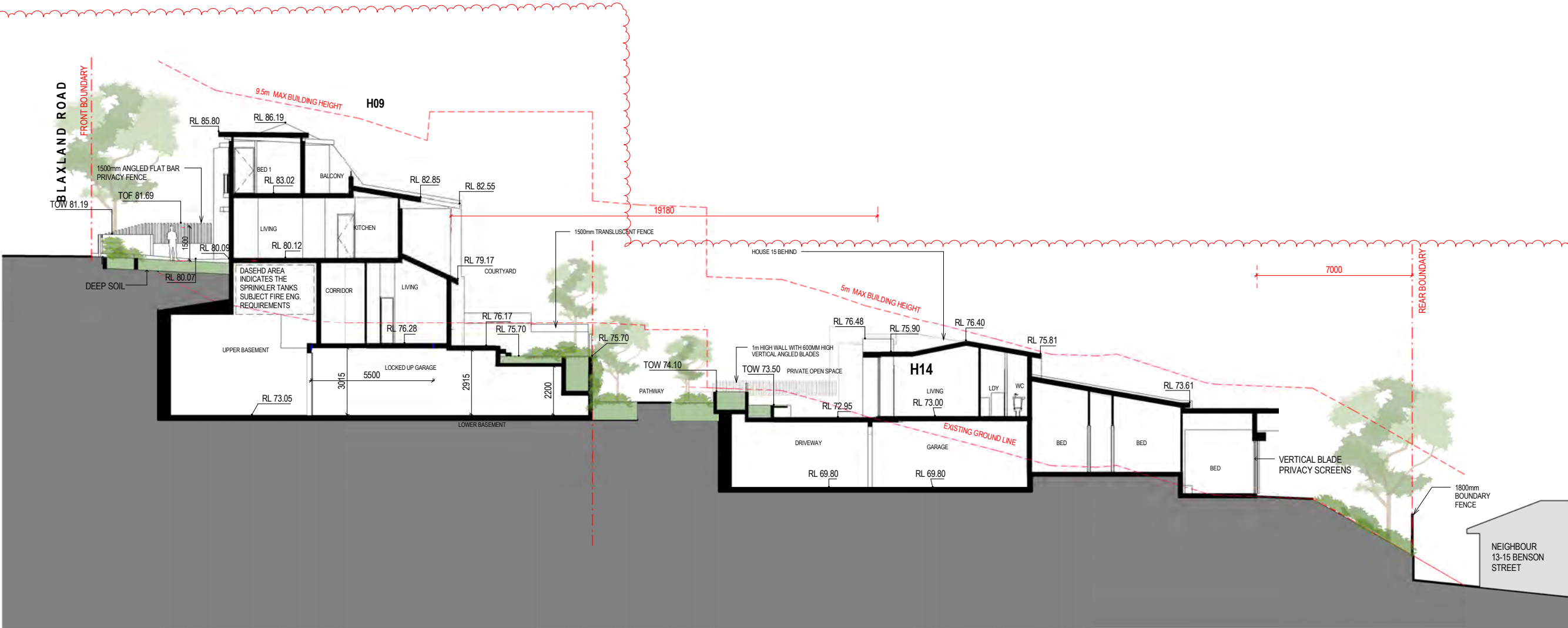
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NOTES

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**BB SECTION BB**

1 : 100 at A1 1:200 at A3

|   |          |                    |
|---|----------|--------------------|
| N | 20.09.21 | GENERAL AMENDMENTS |
| M | 17.07.20 | GENERAL AMENDMENTS |
| L | 07.02.20 | GENERAL AMENDMENTS |
| K | 23.08.19 | GENERAL AMENDMENTS |
| J | 19.08.19 | GENERAL AMENDMENTS |
| I | 16.08.19 | GENERAL AMENDMENTS |
| H | 09.08.19 | GENERAL AMENDMENTS |
| G | 23.07.19 | GENERAL AMENDMENTS |
| F | 22.07.19 | GENERAL AMENDMENTS |
| E | 21.06.19 | GENERAL AMENDMENTS |
| D | 28.08.18 | GENERAL AMENDMENTS |
| C | 27.07.18 | GENERAL AMENDMENTS |
| B | 20.10.17 | ISSUE FOR DA       |
| A | 21.10.16 | ISSUE FOR DA       |

| Rev.  | Date | Description             |
|-------|------|-------------------------|
| Scale | 0    | 1 2 4 6 8               |
| m     |      | 1:100 at A1 1:200 at A3 |

Project Architect

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Project

**MULTI DWELLING DEVELOPMENT**

298-312 BLAXLAND ROAD, RYDE

Drawing Title

**SECTION BB**

**DA SUBMISSION**

| Job no.  | Drawing no. | Rev.        |
|----------|-------------|-------------|
| J15284   | DA 303      | N           |
| Drawn by | Checked by  | Approved by |
| PY       | JY          | JY          |
|          |             | Date        |
|          |             | AUG 2019    |



REFERENCES

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|   |          |                    |
|---|----------|--------------------|
| N | 20.09.21 | GENERAL AMENDMENTS |
| M | 17.07.20 | GENERAL AMENDMENTS |
| L | 07.02.20 | GENERAL AMENDMENTS |
| K | 23.08.19 | GENERAL AMENDMENTS |
| J | 19.08.19 | GENERAL AMENDMENTS |
| I | 16.08.19 | GENERAL AMENDMENTS |
| H | 09.08.19 | GENERAL AMENDMENTS |
| G | 23.07.19 | GENERAL AMENDMENTS |
| F | 22.07.19 | GENERAL AMENDMENTS |
| E | 21.06.19 | GENERAL AMENDMENTS |
| D | 28.08.18 | GENERAL AMENDMENTS |
| C | 27.07.18 | GENERAL AMENDMENTS |
| B | 20.10.17 | ISSUE FOR DA       |
| A | 21.10.16 | ISSUE FOR DA       |

| Rev.  | Date | Description             |
|-------|------|-------------------------|
| Scale | 0    | 1 2 4 6 8               |
| m     |      | 1:100 at A1 1:200 at A3 |

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Project

**MULTI DWELLING DEVELOPMENT**

298-312 BLAXLAND ROAD, RYDE

Drawing Title

**SECTION CC**

**DA SUBMISSION**

| Job no.  | Drawing no. | Rev.        |
|----------|-------------|-------------|
| J15284   | DA 305      | N           |
| Drawn by | Checked by  | Approved by |
| PY       | JY          | JY          |
|          |             | Date        |
|          |             | AUG 2019    |



**CC SECTION CC**

1 : 100 at A1 1:200 at A3





## EE SECTION EE

1 : 100 at A1 1:200 at A3

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| Rev.  | Date        | Description        |
|-------|-------------|--------------------|
| A     | 20.09.21    | GENERAL AMENDMENTS |
| Scale | m           |                    |
| 0     | 1           | 2                  |
|       | 4           | 6                  |
|       | 8           |                    |
|       | 1:100 at A1 | 1:200 at A3        |

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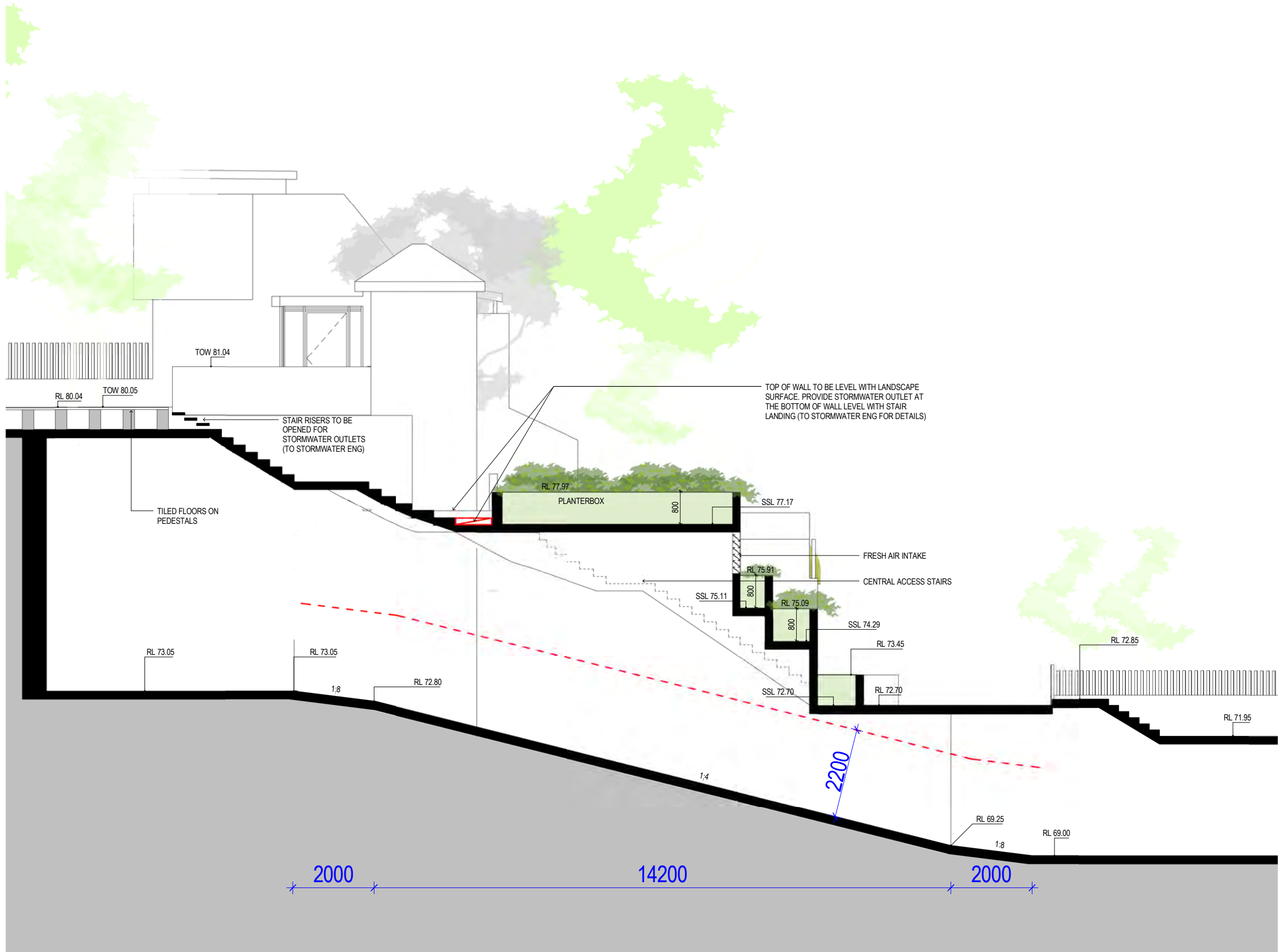
Project  
**MULTI DWELLING DEVELOPMENT**

298-312 BLAXLAND ROAD, RYDE

Drawing Title  
**SECTION EE**

| DA SUBMISSION |             |             |          |
|---------------|-------------|-------------|----------|
| Job no.       | Drawing no. | Rev.        |          |
| J15284        | DA 307      | A           |          |
| Drawn by      | Checked by  | Approved by | Date     |
| PY            | RJ          | ZC          | AUG 2019 |





# **1 SECTION - CENTRAL CARPARK RAMP**

1 : 50 at A1 1:100 at A3

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**DO NOT SCALE** MEASUREMENTS OFF DRAWINGS.

| Rev. | Date     | Description        |
|------|----------|--------------------|
| A    | 20.09.21 | GENERAL AMENDMENTS |

Scale  
m 0 0.5 1 2 3 4  
0 1:50 at A1 1:100 at A3

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Project  
**MULTI DWELLING DEVELOPMENT**

298-312 BLAXLAND ROAD, RYDE

Drawing Title  
**SECTION - CENTRAL CARPARK RAMP**

| Job no. | Drawing no. | Rev. |
|---------|-------------|------|
| J15284  | DA 308      | A    |

| Drawn by | Checked by | Approved by | Date     |
|----------|------------|-------------|----------|
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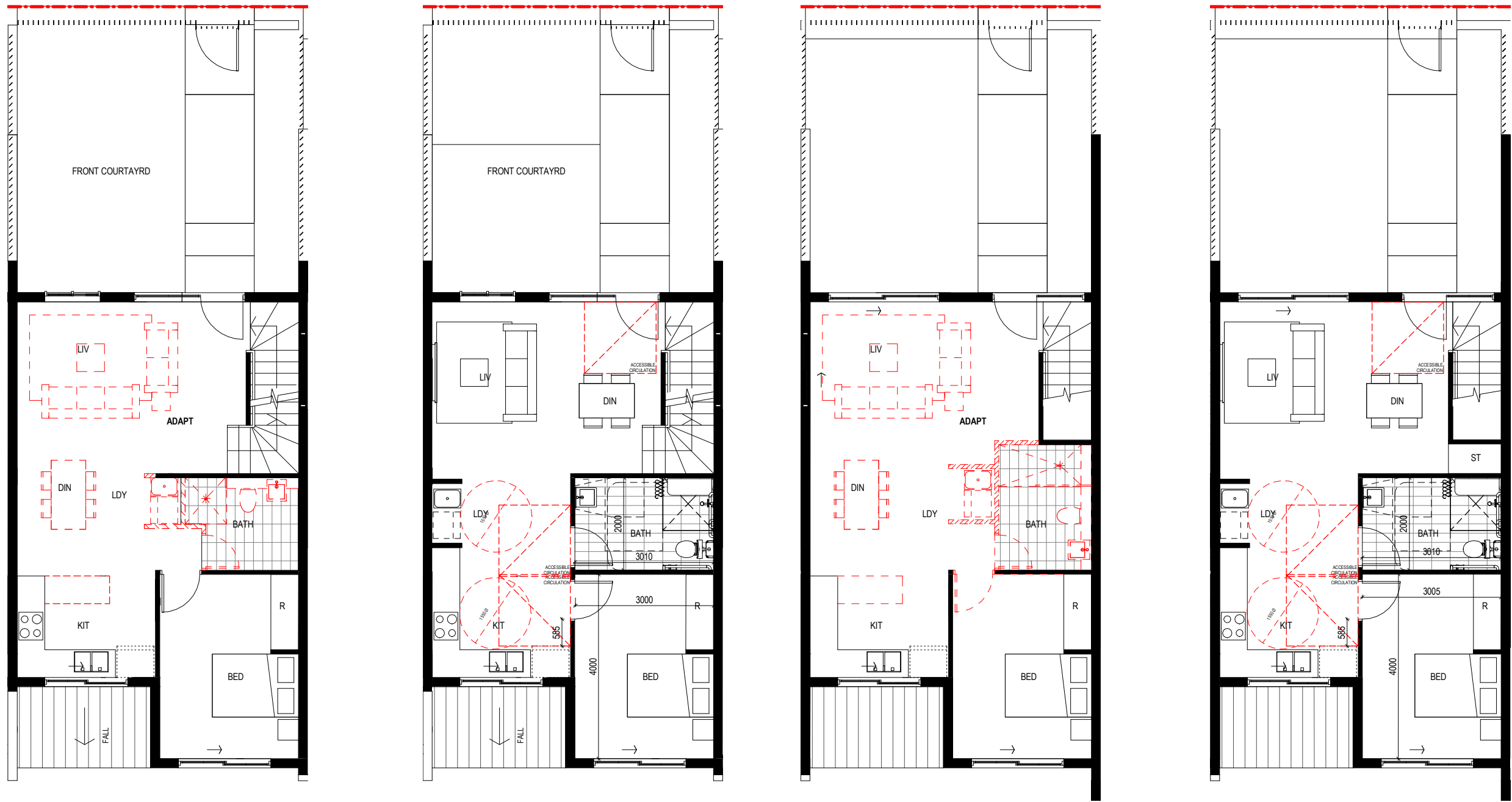
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**1** TYPICAL PRE-ADAPTABLE DWELLING ENTRY LEVEL(H2-H7) **2** TYPICAL POST-ADAPTABLE DWELLING ENTRY LEVEL(H2-H7) **3** PRE-ADAPTABLE DWELLING ENTRY LEVEL(H1&H8 OPP.) **4** POST-ADAPTABLE DWELLING ENTRY LEVEL(H1&H8 OPP.)

1 : 50 at A1 1:100 at A3 1 : 50 at A1 1:100 at A3 1 : 50 at A1 1:100 at A3 1 : 50 at A1 1:100 at A3

|   |          |                    |
|---|----------|--------------------|
| J | 20.09.21 | GENERAL AMENDMENTS |
| I | 17.07.20 | GENERAL AMENDMENTS |
| H | 07.02.20 | GENERAL AMENDMENTS |
| G | 09.08.19 | GENERAL AMENDMENTS |
| F | 22.07.19 | GENERAL AMENDMENTS |
| E | 21.06.19 | GENERAL AMENDMENTS |
| D | 28.08.18 | GENERAL AMENDMENTS |
| C | 27.07.18 | GENERAL AMENDMENTS |
| B | 20.10.17 | ISSUE FOR DA       |
| A | 21.10.16 | ISSUE FOR DA       |

| Rev.  | Date          | Description |
|-------|---------------|-------------|
| Scale | 0 0.5 1 2 3 4 |             |
|       | 1:50 at A1    | 1:100 at A3 |

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Project

**MULTI DWELLING DEVELOPMENT**

298-312 BLAXLAND ROAD, RYDE

Drawing Title

**PRE + POST ADAPTABLE UNIT LAYOUT**

| DA SUBMISSION |             |             |          |
|---------------|-------------|-------------|----------|
| Job no.       | Drawing no. | Rev.        |          |
| J15284        | DA 500      | J           |          |
| Drawn by      | Checked by  | Approved by | Date     |
| PY            | JY          | JY          | AUG 2019 |

CONTRACTOR TO ENSURE THE FOLLOWING PROVISIONS ALLOWED FOR ADAPTABLE UNIT

REFER TO AS4299 FOR FURTHER DETAILS

- 1.0 Door Thresholds to be low-level
- 2.0 Accessible entry door to have 850 mm min. clearance
- 3.0 Door lever handles and hardware to AS 1428.1
- 4.0 Potential min. illumination level 300 Lux to all spaces
- 5.0 Internal doors to have 820 mm min. clearance
- 6.0 Internal corridors min. width of 1000 mm
- 7.0 Provision for compliance with AS 1428.1 for door approaches
- 8.0 Telephone adjacent to GPO

- Kitchens
- 9.0 Provision for benches planned to include at least one worksurface of 800 mm length, adjustable in height from 750 mm to 850 mm or replaceable.
  - 10.0 Refrigerator adjacent to work surf ace
  - 11.0 Kitchen sink adjustable to heights from 750 mm to 850 mm or replaceable
  - 12.0 Kitchen sink bowl max. 150 mm deep when adapted
  - 13.0 Tap set capstan or lever handles or lever mixer
  - 14.0 Tap set located within 300 mm of front of sink
  - 15.0 Cooktops to include either front or side controls with raised cross bars
  - 16.0 Cooktops to include isolating switch
  - 17.0 Worksurf ace min. 800 mm length adjacent to cooktop at same height
  - 18.0 Oven located adjacent to an adjustable height or replaceable work surf ace
  - 19.0 GPOs to comply with AS 1428.1. At least one double GPO within 300 mm of front of worksurface in kitchen
  - 20.0 GPO for refrigerator to be easily reachable when the refrigerator is in its operating position
  - 21.0 Slip-resistant floor surface

- Bathrooms and or Ensuites.
- 22.0 Shower recess- no hob. Minimum size 1160 x 1100 to comply with AS 1428.1.
  - 23.0 Shower area waterproofed to AS 3740 with floor to fall to waste
  - 24.0 Recessed soap holder
  - 25.0 Shower taps positioned for easy reach to access side of shower sliding track
  - 26.0 Provision for adjustable, detachable hand held shower rose mounted on a slider grabrail or fixed hook (plumbing and wall - strengthening provision)
  - 27.0 Provision for grabrail in shower (Refer to Figure 4.7) to comply with AS 1428.1
  - 28.0 Tap sets to be capstan or lever handles with single outlet
  - 29.0 Provision for washbasin with clearances to comply with AS 1428.1
  - 30.0 Double GPO beside mirror
  - 31.0 Location of WC pan at correct distance from fixed walls



REFERENCES

DRAWINGS TO BE READ IN CONJUNCTION WITH BUT NOT LIMITED TO ALL STRUCTURAL ENGINEERS, STORMWATER ENGINEERS, LANDSCAPE ARCHITECTS, AND OTHER ASSOCIATED PLANS & REPORTS

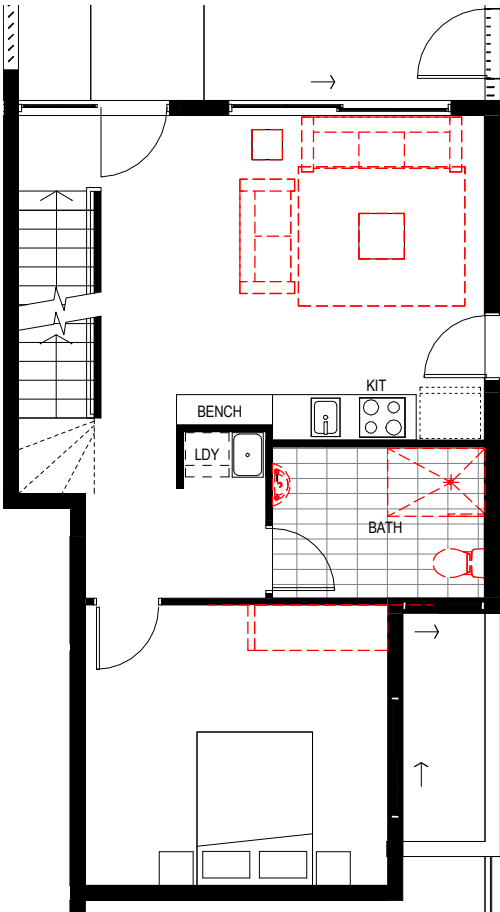
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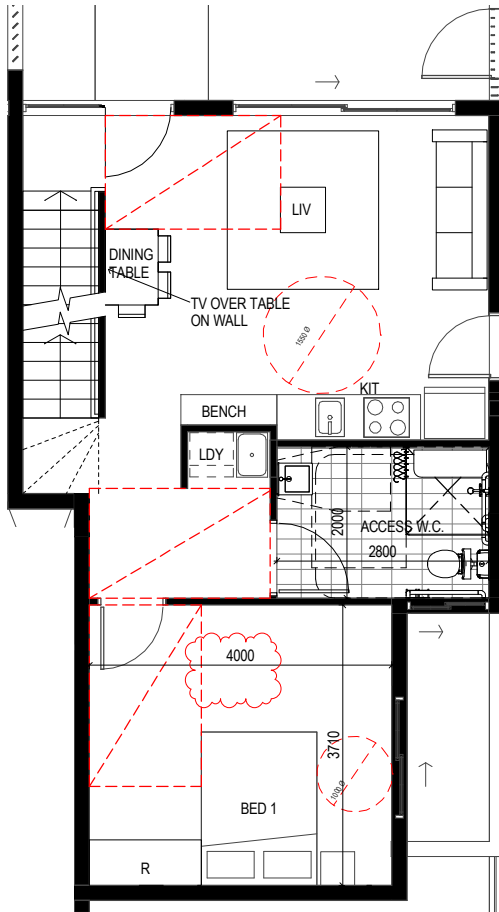
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1 TYPICAL PRE-ADAPTABLE DWELLING (H10) ENTRY LEVEL

1 : 50 at A1 1:100 at A3



2 TYPICAL POST-ADAPTABLE DWELLING (H10) ENTRY LEVEL

1 : 50 at A1 1:100 at A3

CONTRACTOR TO ENSURE THE FOLLOWING PROVISIONS ALLOWED FOR ADAPTABLE UNIT REFER TO AS4299 FOR FURTHER DETAILS

- 1.0 Door Thresholds to be low-level
- 2.0 Accessible entry door to have 850 mm min. clearance
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  - 27.0 Provision for grabrail in shower (Refer to Figure 4.7) to comply with AS 1428.1
  - 28.0 Tap sets to be capstan or lever handles with single outlet
  - 29.0 Provision for washbasin with clearances to comply with AS 1428.1
  - 30.0 Double GPO beside mirror
  - 31.0 Location of WC pan at correct distance from fixed walls

|   |          |                    |
|---|----------|--------------------|
| E | 20.09.21 | GENERAL AMENDMENTS |
| D | 17.07.20 | GENERAL AMENDMENTS |
| C | 07.02.20 | GENERAL AMENDMENTS |
| B | 23.07.19 | GENERAL AMENDMENTS |
| A | 21.06.19 | GENERAL AMENDMENTS |

| Rev.  | Date | Description |             |   |   |
|-------|------|-------------|-------------|---|---|
| Scale | 0.5  | 1           | 2           | 3 | 4 |
| m     | 0    | 1:50 at A1  | 1:100 at A3 |   |   |

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Project

**MULTI DWELLING DEVELOPMENT**

298-312 BLAXLAND ROAD, RYDE

Drawing Title

**PRE + POST ADAPTABLE UNIT LAYOUT  
SHEET 2**

**DA SUBMISSION**

| Job no.  | Drawing no. | Rev.        |          |
|----------|-------------|-------------|----------|
| J15284   | DA 501      | E           |          |
| Drawn by | Checked by  | Approved by | Date     |
| PY       | JY          | JY          | AUG 2019 |



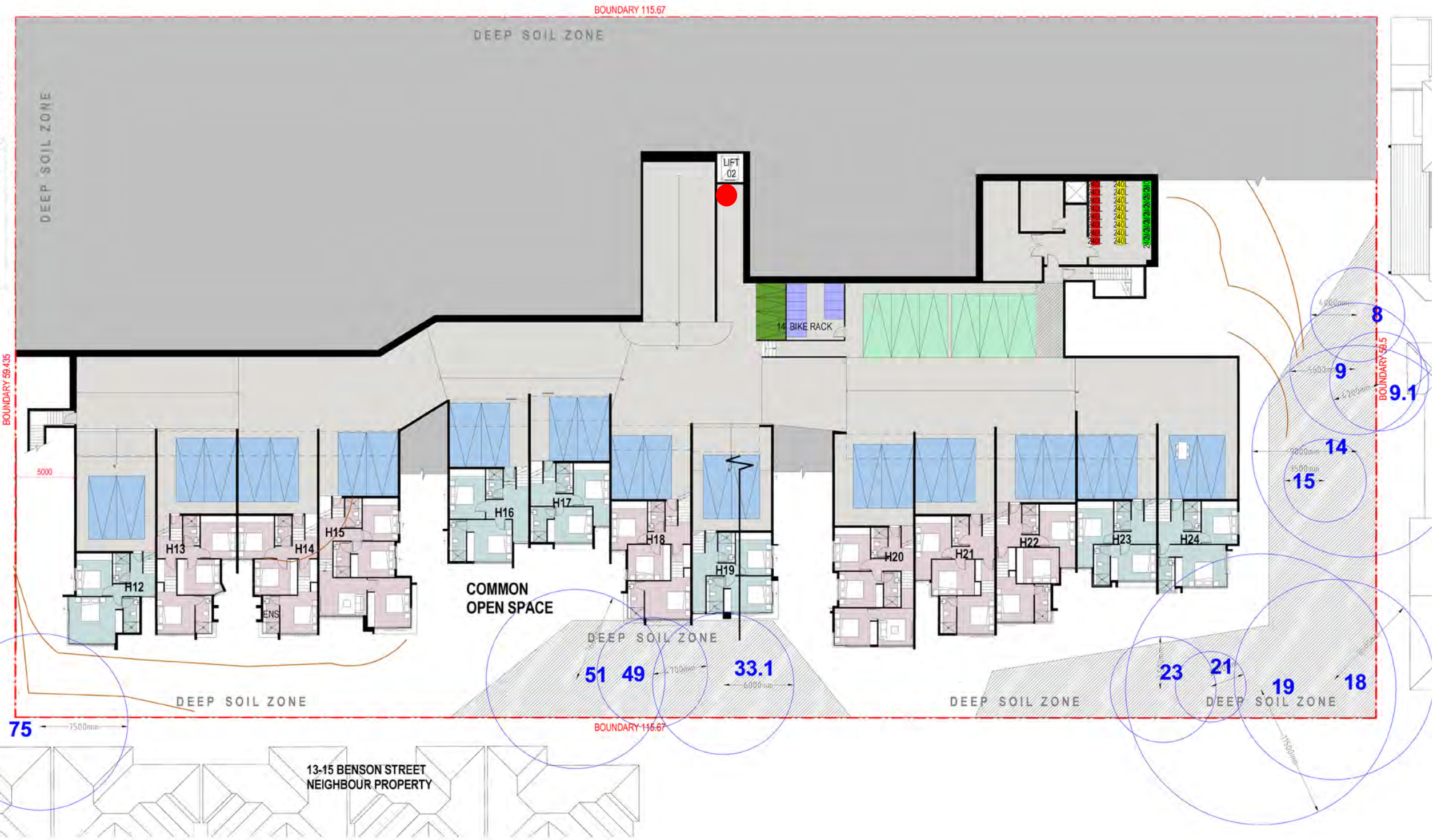
# BLAXLAND ROAD

**REFERENCES**  
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314 BLAXLAND ROAD  
NEIGHBOUR PROPERTY



**LEGEND**

- WHEEL CHAIR ACCESS PATH OF TRAVEL
- GENERAL ACCESS PATH OF TRAVEL

| Rev. | Date     | Description        |
|------|----------|--------------------|
| I    | 20.09.21 | GENERAL AMENDMENTS |
| H    | 17.07.20 | GENERAL AMENDMENTS |
| G    | 07.02.20 | GENERAL AMENDMENTS |
| F    | 22.08.19 | GENERAL AMENDMENTS |
| E    | 19.08.19 | GENERAL AMENDMENTS |
| D    | 16.08.19 | GENERAL AMENDMENTS |
| C    | 09.08.19 | GENERAL AMENDMENTS |
| B    | 22.07.19 | GENERAL AMENDMENTS |
| A    | 21.06.19 | GENERAL AMENDMENTS |

Scale  
m 2 4 8 12 16  
0 1:200 at A1 1:400 at A3

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Project:  
**MULTI DWELLING DEVELOPMENT**

298-312 BLAXLAND ROAD, RYDE  
Drawing Title:  
**PATH OF TRAVEL DIAGRAM (LOWER  
BASEMENT)**

**DA SUBMISSION**

| Job no. | Drawing no. | Rev. |
|---------|-------------|------|
| J15284  | DA 507      | I    |

| Drawn by | Checked by | Approved by | Date     |
|----------|------------|-------------|----------|
| PY       | JY         | JY          | AUG 2019 |





Rev. Date Description

Scale  
m 2 4 8 12

0 1200 at A1 1400 at A3

|          |            |             |          |
|----------|------------|-------------|----------|
| Drawn by | Checked by | Approved by | Date     |
| PY       | JY         | JY          | AUG 2019 |



# BLAXLAND ROAD

LIFT ACCESS TO ENTRY AND  
BASEMENT LEVEL H 12-24

LIFT ACCESS TO H 1-11  
BASEMET ENTRY



## REFERENCES

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LEGEND

- WHEEL CHAIR ACCESS PATH OF TRAVEL  
— GENERAL ACCESS PATH OF TRAVEL

|   |          |                    |
|---|----------|--------------------|
| G | 20.09.21 | GENERAL AMENDMENTS |
| F | 17.07.20 | GENERAL AMENDMENTS |
| E | 07.02.20 | GENERAL AMENDMENTS |
| D | 09.08.19 | GENERAL AMENDMENTS |
| C | 23.07.19 | GENERAL AMENDMENTS |
| B | 22.07.19 | GENERAL AMENDMENTS |
| A | 21.06.19 | GENERAL AMENDMENTS |

| Rev.  | Date        | Description |
|-------|-------------|-------------|
| Scale | 0           | 1 200 at A1 |
| m     | 2 4 8 12 16 | 1 400 at A3 |

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Project  
MULTI DWELLING DEVELOPMENT

298-312 BLAXLAND ROAD, RYDE

Drawing Title:  
**PATH OF TRAVEL DIAGRAM (GROUND  
LEVEL FRONT)**

## DA SUBMISSION

|          |             |             |
|----------|-------------|-------------|
| Job no.  | Drawing no. | Rev.        |
| J15284   | DA 510      | G           |
| Drawn by | Checked by  | Approved by |
| PY       | JY          | JY          |
|          |             | Date        |
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SHADOW DIAGRAM LEGEND

- SHADOWS CAST BY EXISTING NEIGHBOUR
- SHADOWS CAST BY PROPOSED BUILDING

|   |          |                    |
|---|----------|--------------------|
| L | 20.09.21 | GENERAL AMENDMENTS |
| K | 17.07.20 | GENERAL AMENDMENTS |
| J | 13.07.20 | GENERAL AMENDMENTS |
| I | 07.02.20 | GENERAL AMENDMENTS |
| H | 19.08.19 | GENERAL AMENDMENTS |
| G | 09.08.19 | GENERAL AMENDMENTS |
| F | 22.07.19 | GENERAL AMENDMENTS |
| E | 21.06.19 | GENERAL AMENDMENTS |
| D | 28.08.18 | GENERAL AMENDMENTS |
| C | 27.07.18 | GENERAL AMENDMENTS |
| B | 20.10.17 | ISSUE FOR DA       |
| A | 21.10.16 | ISSUE FOR DA       |

| Rev.  | Date          | Description             |
|-------|---------------|-------------------------|
| Scale |               |                         |
| m     | 0 2 4 8 12 16 |                         |
|       | 0             | 1:200 at A1 1:400 at A3 |

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Project

**MULTI DWELLING DEVELOPMENT**

298-312 BLAXLAND ROAD, RYDE

Drawing Title

**SHADOW DIAGRAM 9AM**

DA SUBMISSION

| Job no.  | Drawing no. | Rev.        |
|----------|-------------|-------------|
| J15284   | DA 600      | L           |
| Drawn by | Checked by  | Approved by |
| PY       | JY          | JY          |
|          |             | Date        |
|          |             | AUG 2019    |

**1 SHADOW DIAGRAM 9:00AM MID WINTER**

1:300