

# 63-71 WATERLOO ROAD MACQUARIE PARK

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## AMENDED PLANS

A21005 09/12/21

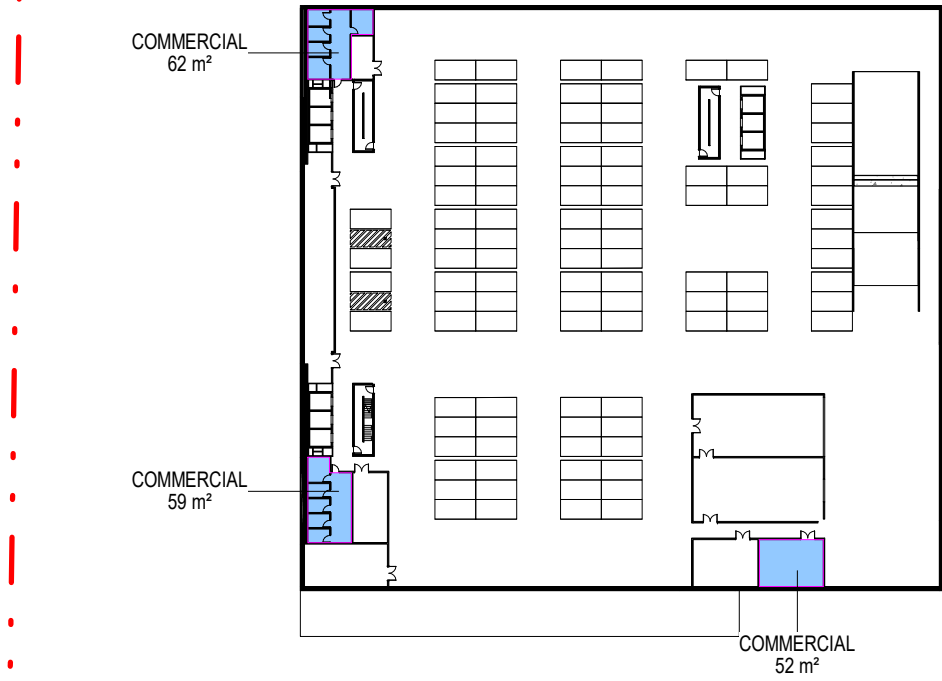


NOMINATED ARCHITECT: TONY KAICHI LEUNG NSW 7133 DESIGN GROUP

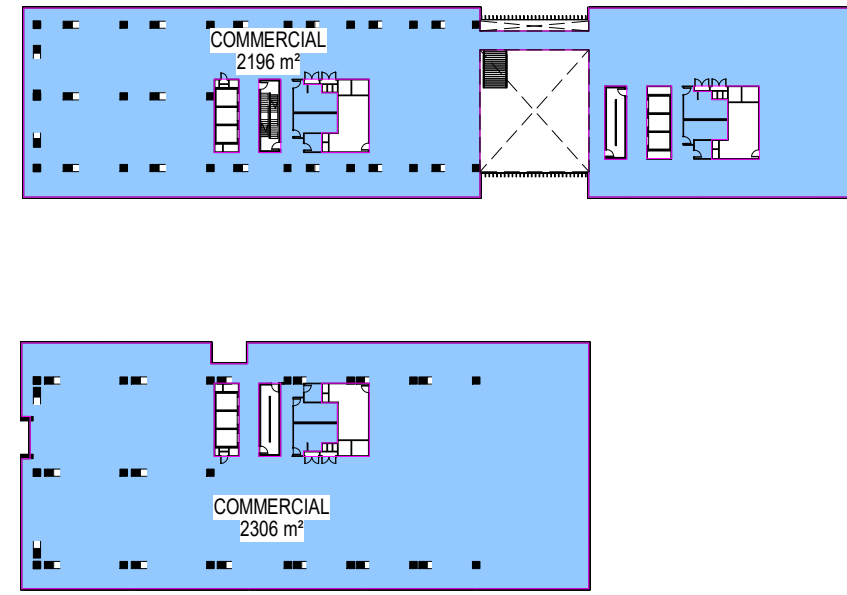


DRAWING LIST

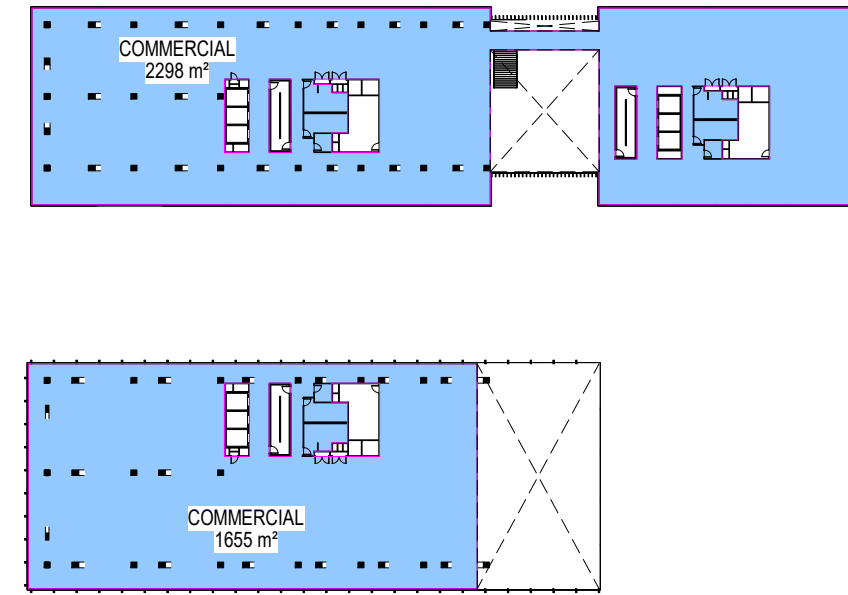
SHEET NAME			REV	SHEET NAME			REV
A0.00	COVER PAGE			17.	A3.16	LEVEL 12	E
A1.01	DRAWING LIST		E	17.	A3.17	LEVEL 13	E
A1.02	DEVELOPMENT SUMMARY		D	17.	A3.18	LEVEL 14	C
A1.03	DEVELOPMENT SUMMARY		B		A3.19	LEVEL ROOF	B
A1.04	COMPLIANCE ENVELOPE		A	17.	A4.01	ELEVATION - WEST - BUILDING B	E
A2.01	SITE ANALYSIS		C	17.	A4.02	ELEVATION - NORTH	E
A2.02	SURVEY		B	17.	A4.03	ELEVATION - EAST - BUILDING A	E
A2.03	DEMOLITION PLAN		C	17.	A4.04	ELEVATION - SOUTH	E
3.	A2.04	STAGE 1 - ROAD ONE	D	17.	A4.05	ELEVATION - WEST - BUILDING A	E
3.	A2.05	STAGE 2 - REMAINING WORKS	C	17.	A4.06	ELEVATION - EAST - BUILDING B	E
	A3.00	BASEMENT 3	B		A5.01	SECTION A-A	E
	A3.01	BASEMENT 2	C		A5.02	SECTION B-B	E
19.	A3.02	BASEMENT 1	D		A5.03	SECTION C-C	E
16.	17.	A3.03	E	12.	A5.10	FACADE SECTION	C
16.	17.	A3.04	E	12.	A5.11	FACADE ILLUSTRATIONS - BUILDING A	D
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	17.	A3.06	D	12.	A5.13	FACADE ILLUSTRATIONS - BUILDING B	C
	17.	A3.07	D		A6.01	SCHEDULE OF MATERIALS & FINISHES	C
	17.	A3.08	D		A7.01	CGI - WATERLOO ROAD	E
	17.	A3.09	D		A7.02	CGI - 'CENTRAL PARK'	D
	17.	A3.10	D		A8.02	SHADOW DIAGRAMS - 21st JUNE	E
	17.	A3.11	D		A8.03	SHADOW DIAGRAMS - 21st JUNE	E
	17.	A3.12	D				
	17.	A3.13	D				
	17.	A3.14	D				
	17.	A3.15	D				



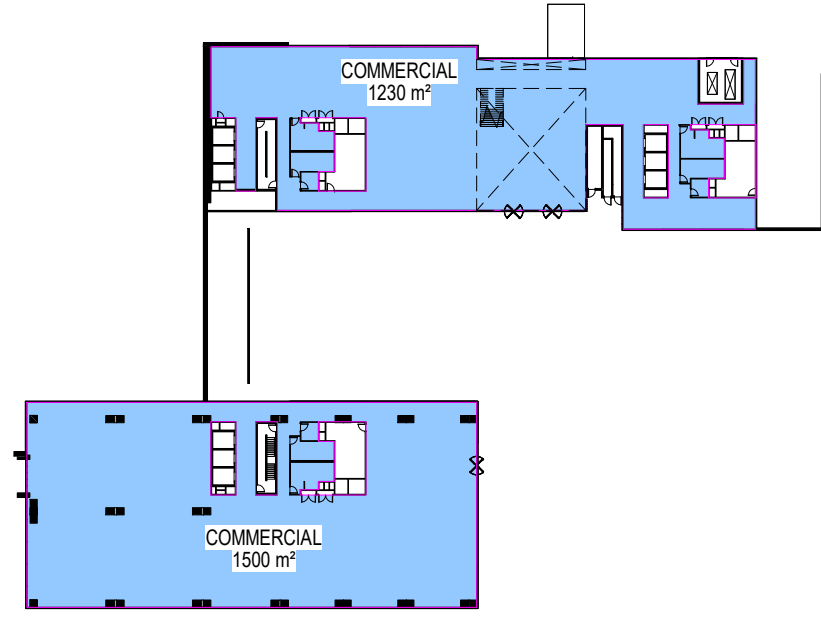
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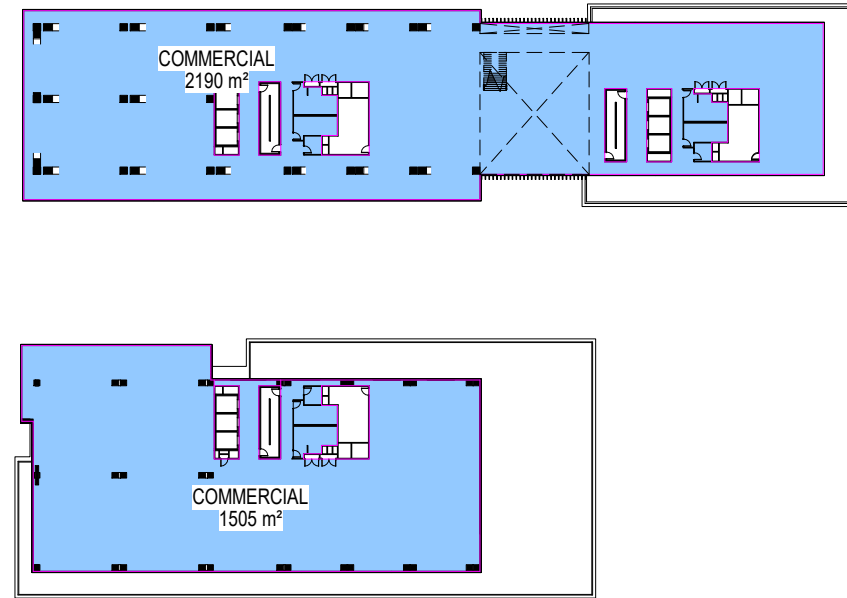
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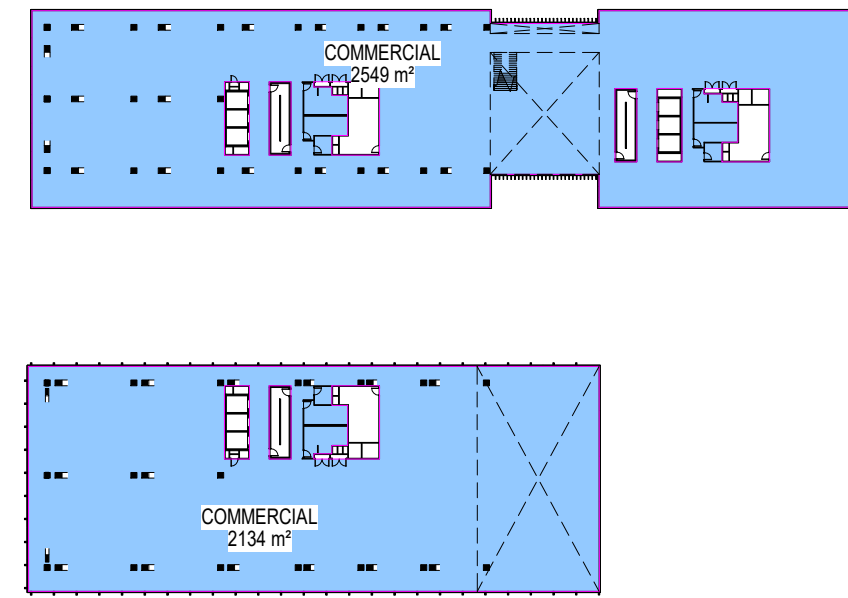
GFA LEVEL 6



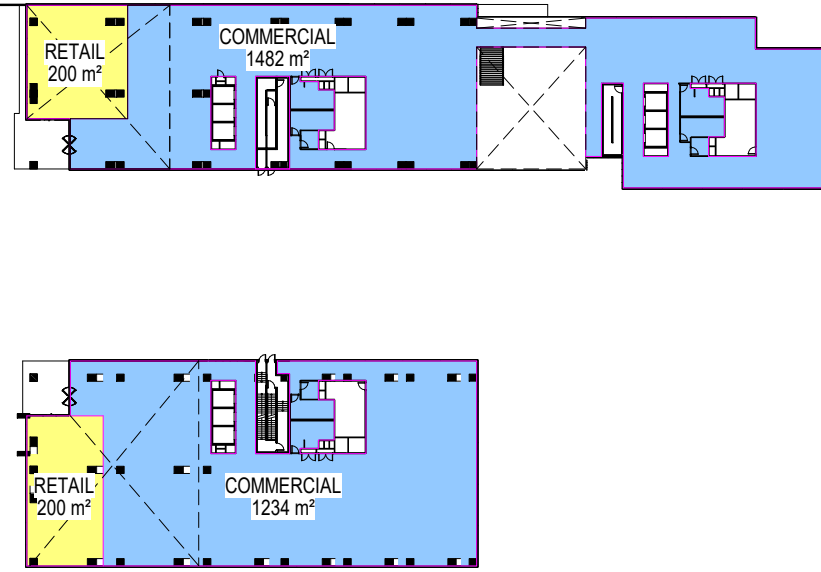
GFA LEVEL LOWER GROUND



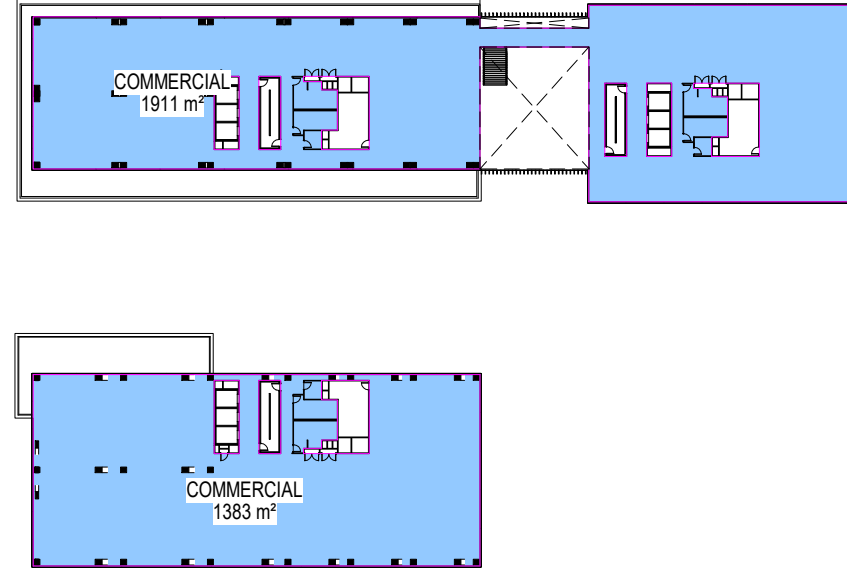
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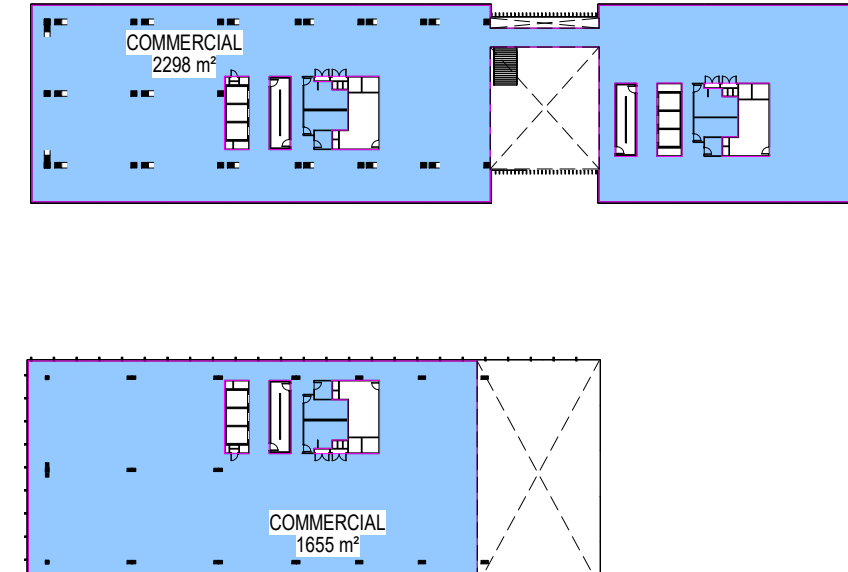
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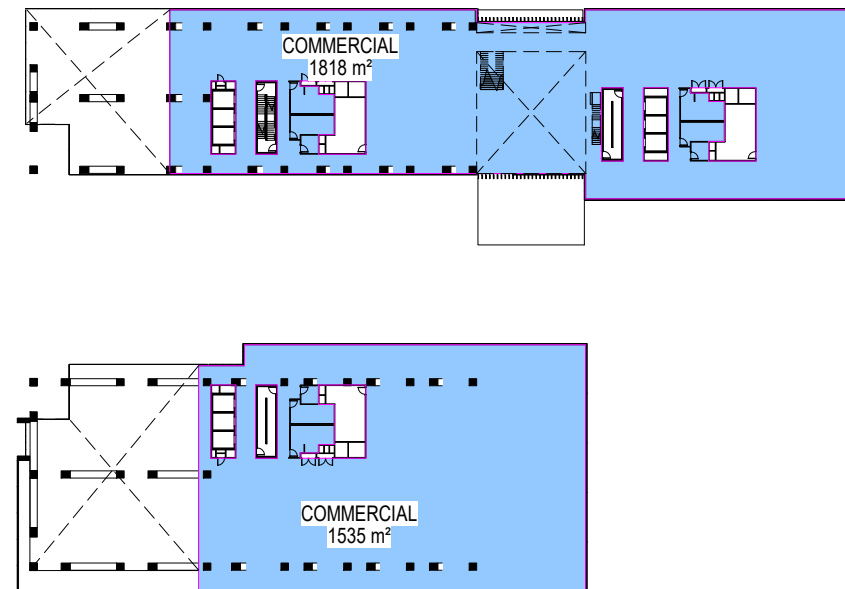
GFA LEVEL UPPER GROUND



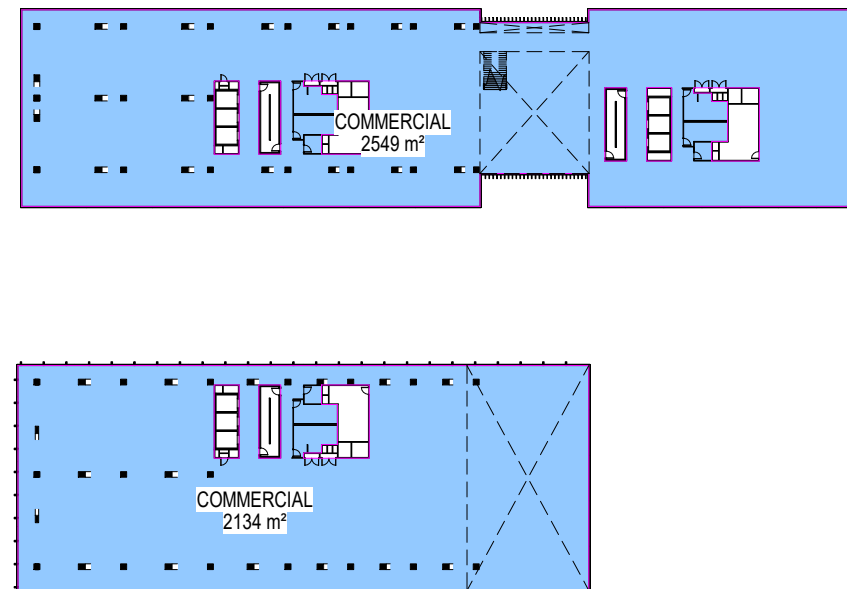
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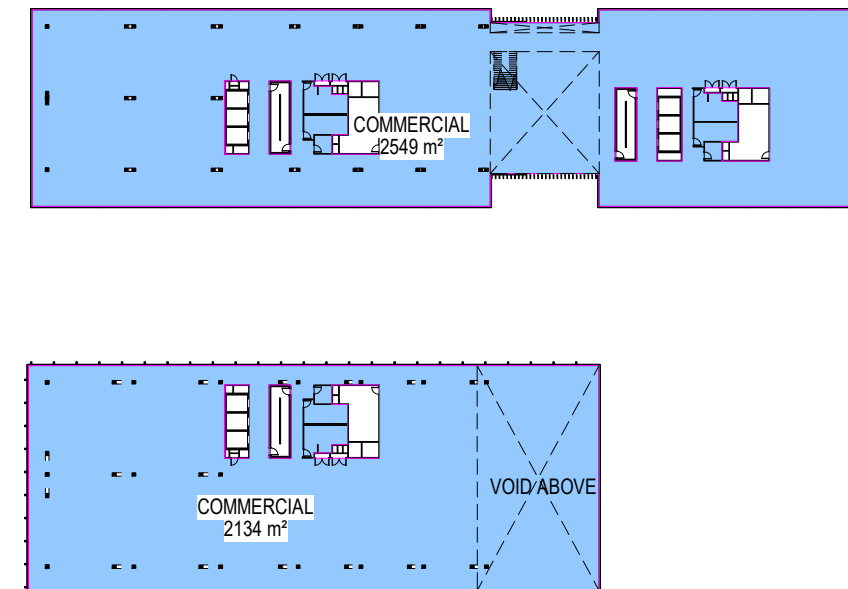
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GFA LEVEL 1



GFA LEVEL 5



GFA LEVEL 9

13.

## GFA SUMMARY

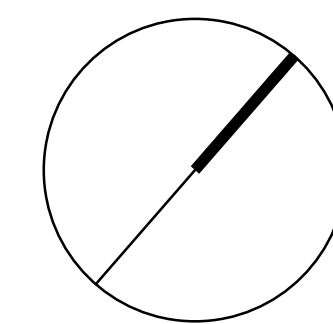
SITE AREA: 19,763 m²

	RETAIL	COMMERCIAL	TOTAL
BUILDING A	200 m²	25,209 m²	25,409 m²
BUILDING B	200 m²	33,680 m²	33,880 m²
TOTAL			59,289 m²

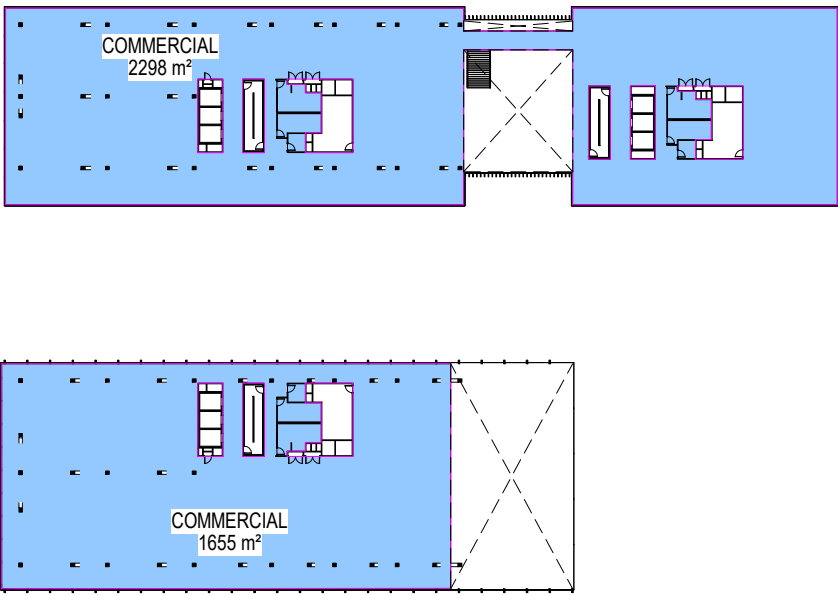
FSR (BASE + INCENTIVE) 3:1  
FSR PROPOSED 3:1 (COMPLY)

TOTAL GFA (BASE + INCENTIVE) 59,289 m²  
TOTAL GFA PROPOSED 59,289 m² (COMPLY)

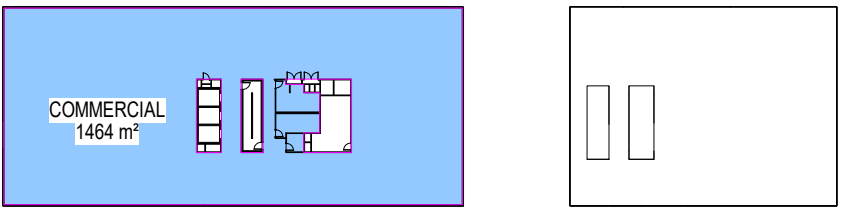
CAR PARKING SUMMARY 439 BAYS  
(16 RETAIL AND 423 COMMERCIAL)  
INC TOTAL ACCESSIBLE 12 BAYS  
TOTAL BICYCLE 52 SPACES



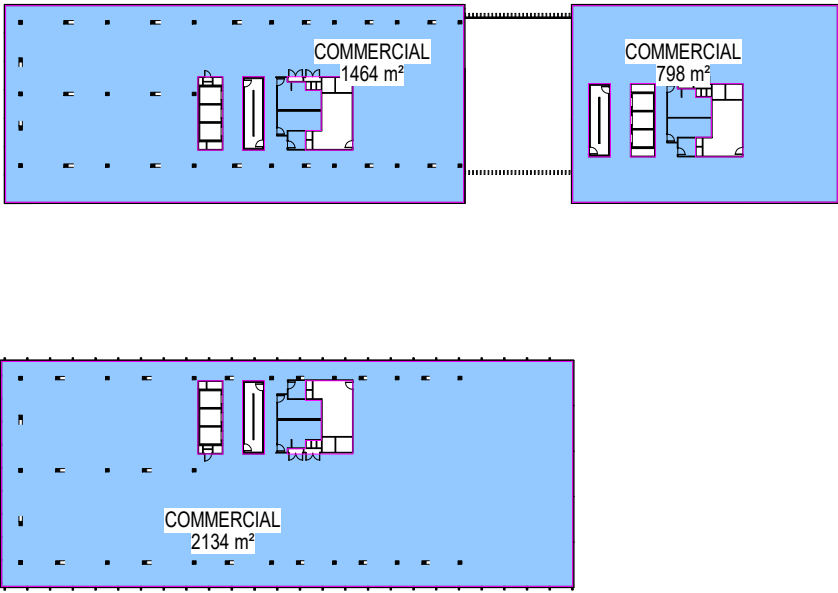
GFA LEVEL 10



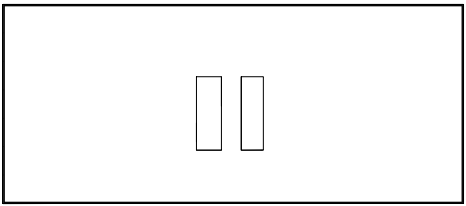
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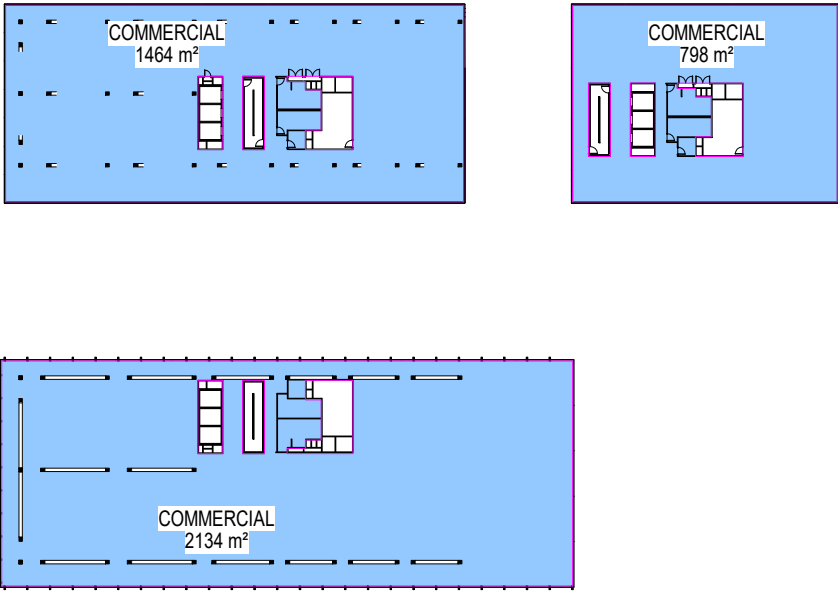
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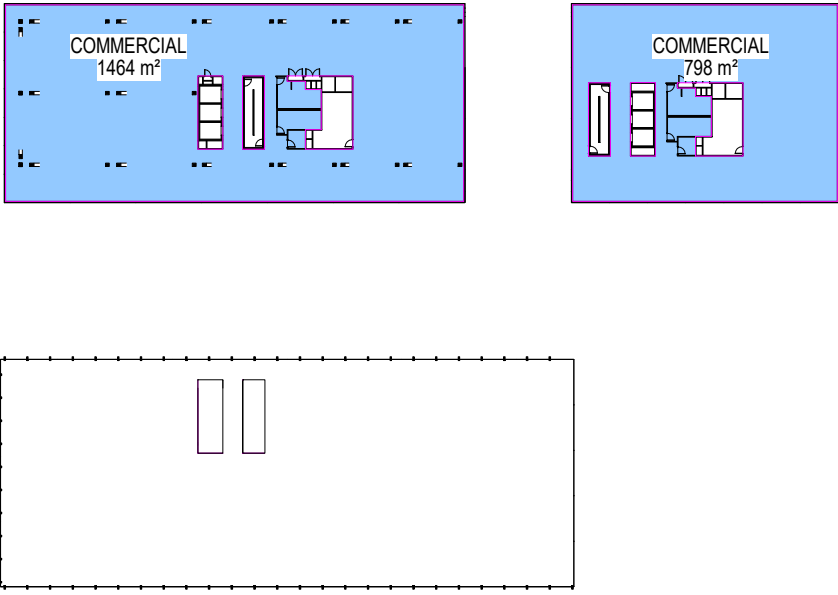
GFA LEVEL 15



GFA LEVEL 12



GFA LEVEL 13



13.

## GFA SUMMARY

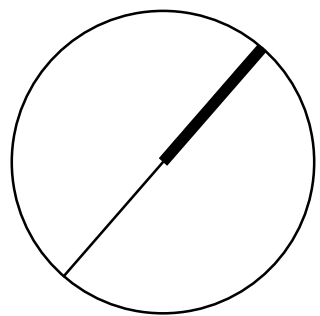
SITE AREA: 19,763 m<sup>2</sup>

	RETAIL	COMMERCIAL	TOTAL
BUILDING A	200 m <sup>2</sup>	25,209 m <sup>2</sup>	25,409 m <sup>2</sup>
BUILDING B	200 m <sup>2</sup>	33,680 m <sup>2</sup>	33,880 m <sup>2</sup>
TOTAL			59,289 m <sup>2</sup>

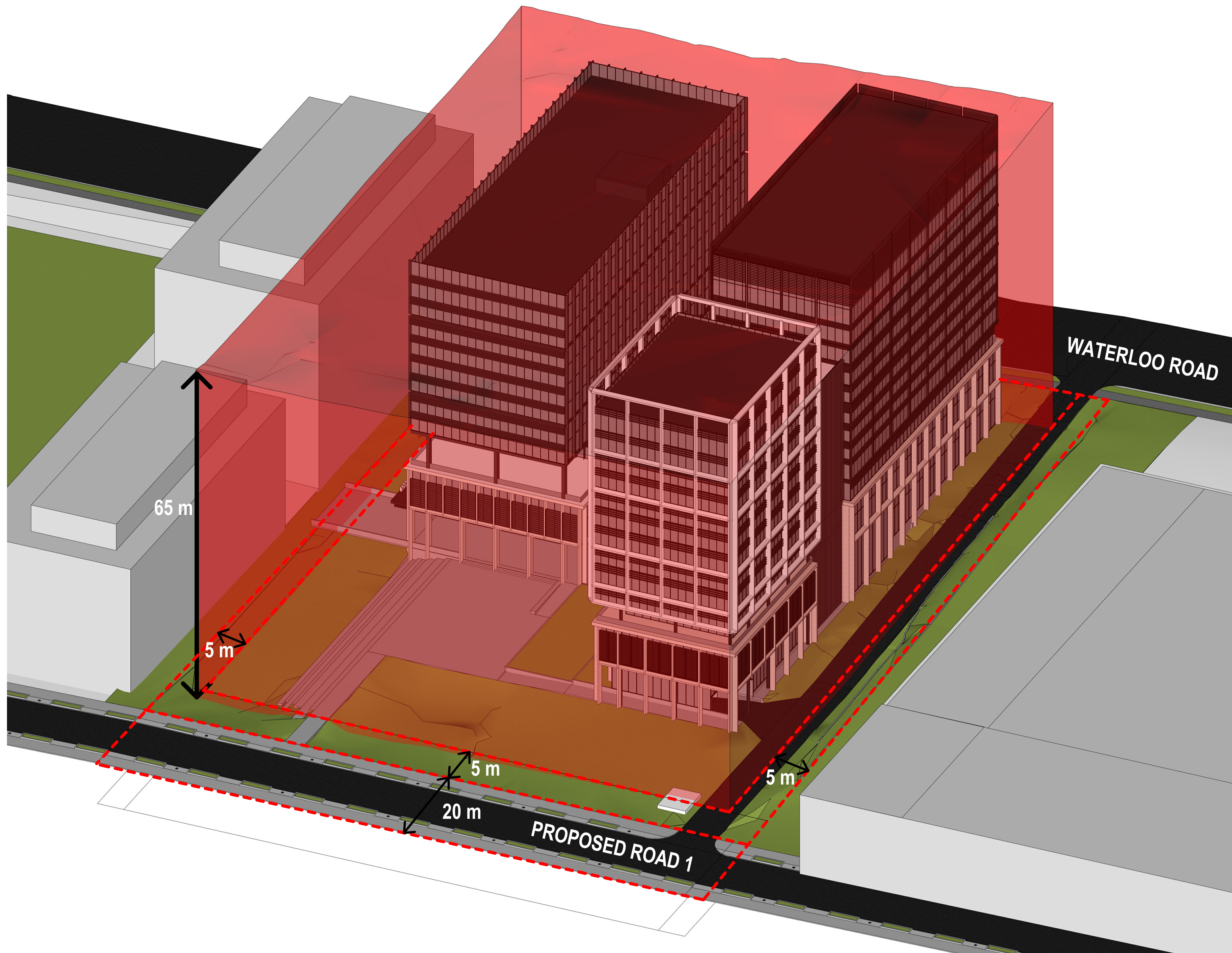
FSR (BASE + INCENTIVE) 3:1  
FSR PROPOSED 3:1 (COMPLY)

TOTAL GFA (BASE + INCENTIVE) 59,289 m<sup>2</sup>  
TOTAL GFA PROPOSED 59,289 m<sup>2</sup> (COMPLY)

CAR PARKING SUMMARY 439 BAYS  
(16 RETAIL AND 423 COMMERCIAL)  
INC TOTAL ACCESSIBLE 12 BAYS  
TOTAL BICYCLE 52 SPACES







SUMMARY OF CHANGES

**1. Vehicular Access & Parking** – Extension of existing driveway and verge condition to create Private Road along western boundary to connect with Road 1. Relocation of basement access off private road.

**2. Waterloo Road Interface / Response** – Buildings setback from Sydney Metro 1<sup>st</sup> Reserve and Entry Plaza to enhance visual response from Waterloo Road. This is further enhanced by retail areas at the double height lobby; Basement adjusted to be clear of Sydney Metro 2nd Reserve.

**3. Staging** – Staging revised to be 2 phases only. Stage 1: Road One, Stage Two: Remaining Works.

**4. DDA Accessibility** – DDA compliant ramp added alongside the stairs in the 'central spine'; Accessible pathway added to reach entrances; Accessible car spaces relocated adjacent to lift cores.

**5. Road 1 Design Levels and Overland Flow Crossing** – Culvert under Road 1 for lower flows. Safety screens over culvert entry points.

**6. Landscape / Trees / Amenity Shading** – Building replanned at upper levels to provide covered walkway over the 'central spine' for weather protection; Depth of deep soil areas shown on sections to demonstrate compliance; Communal Open Space areas within north-western portions of the site providing min. of 3 hours of winter sun. New pad mounted kiosk relocated for ease of access for maintenance. Enhancement of existing driveway and verge condition to create Private Road design to provide retention of Trees 39-44.

**7. Retail Uses** – Sections and plans revised to clarify retail location. Upper ground floor retail orientated to promote activation to the Waterloo Road frontage; Provision of direct street access into both Building A and B retail tenancies via sliding doors.

**8. ESD** – Solar façade louvres added; Development commits to achieving 4 Star Green Star rating to comply with DCP.

**9. Deep Soil** – 'Central Spine' sections updated to demonstrate deep soil compliance with additional deep soil landscape provided at the North/West edge. Total deep soil landscape is over min. 20% DCP requirement.

**10. End of Trip Facilities** – Bicycle spaces and EOT facilities located on Basement 1 with direct access to lift and stairs.

**11. Sydney Metro Reserve** – 1st and 2nd Reserve boundaries shown on sections and plans. Basement footprint setback from the 2nd Reserve.

**12. Architectural Detail** – Additional 3D façade sections added to documentation set to illustrate building façade articulation, materiality, and ESD strategy; Additional dimensions and information added, shadow diagrams updated.

**13. Development Summary** - GFA maintained at 59,289sqm and height below the height plane.

**14. Building A** - 2 storey colonnade added to the north and east of Building A.

**15. Building B** - Relocation of Building B to the east so that it matches setback of the existing building from the western boundary, resulting in a reduction in the separation between Building A and B from 20m to 17m for the 4 storey podium.

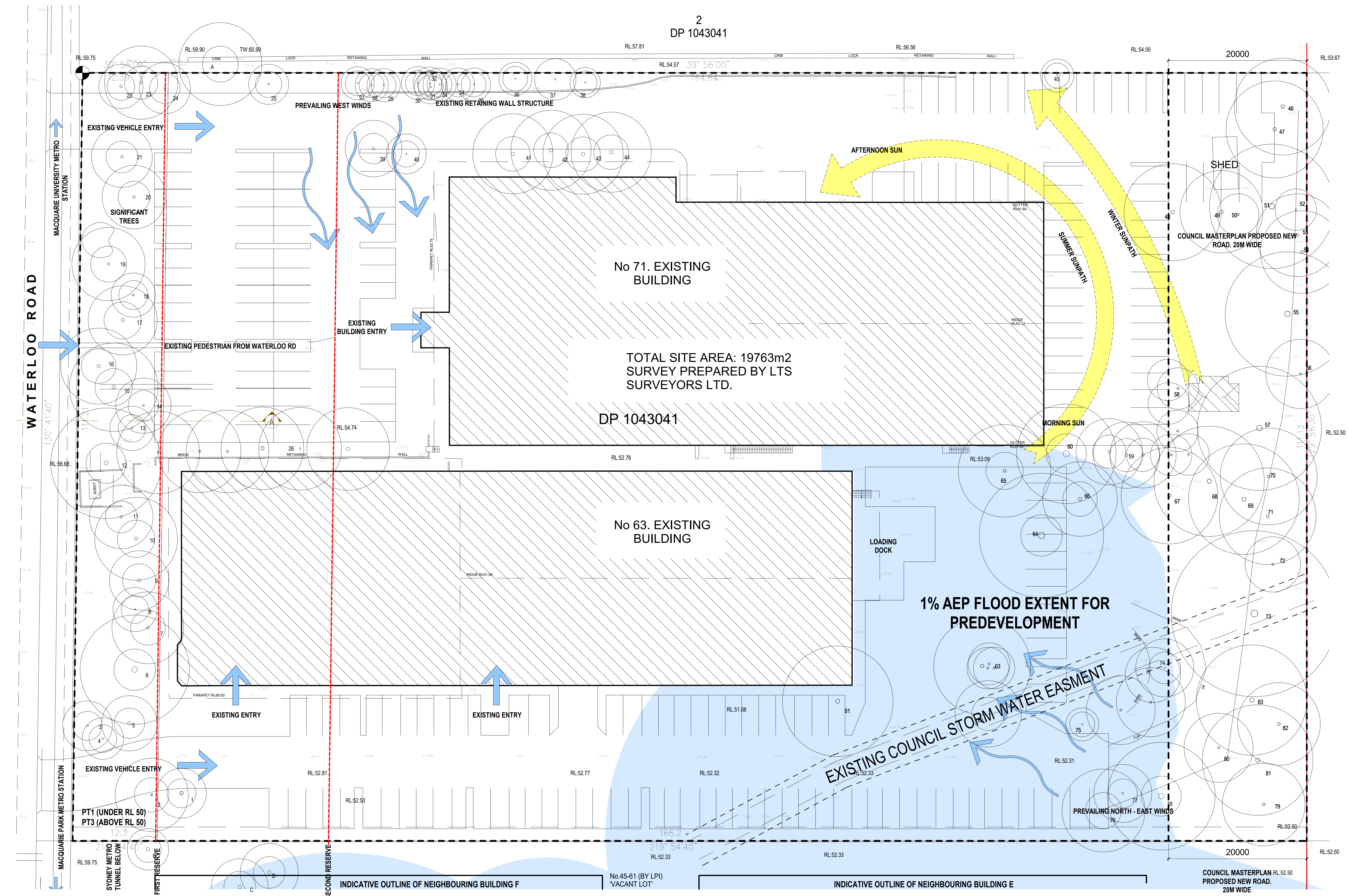
**16. Building B Void and Lower Ground Level Connection** - Relocation of void in Building B. Lowering of building height of 2 storeys above the void; New public access between Building B lobby atrium and new private road. Deletion of screens previously shown covering the lower ground level atrium facade to maximise visual connection.

**17. Column positions at transfer floor from podium to towers** – Setback of the line of columns located on the building edge to the west on Building A Level 3 and 4 and Building B Level 4, from the external facade to create a cantilever form at the building edges to reinforce the podium scale of both buildings; Re-distribution of floor space to Building A to maintain overall GFA of 59,289sqm.

**18. Substation** - Relocation of originally proposed substation kiosk to be within Building B.

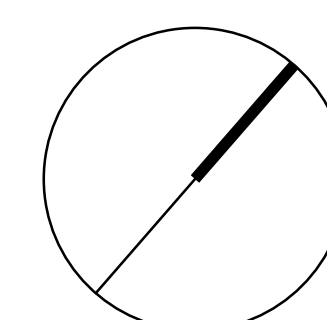
**19. Tanked Basement** – New tanked basement shoring detail provided.





Rev	Description	Date
A	DA ISSUE	05/05/2021
B	S34 CONFERENCE	01/10/2021
C	AMENDED PLANS	29/10/2021

Project Name	63-71 Waterloo Road ,Macquarie Park
Client Name	UT 65 Pty Ltd



Drawing Title

**SITE ANALYSIS**

SCALE  
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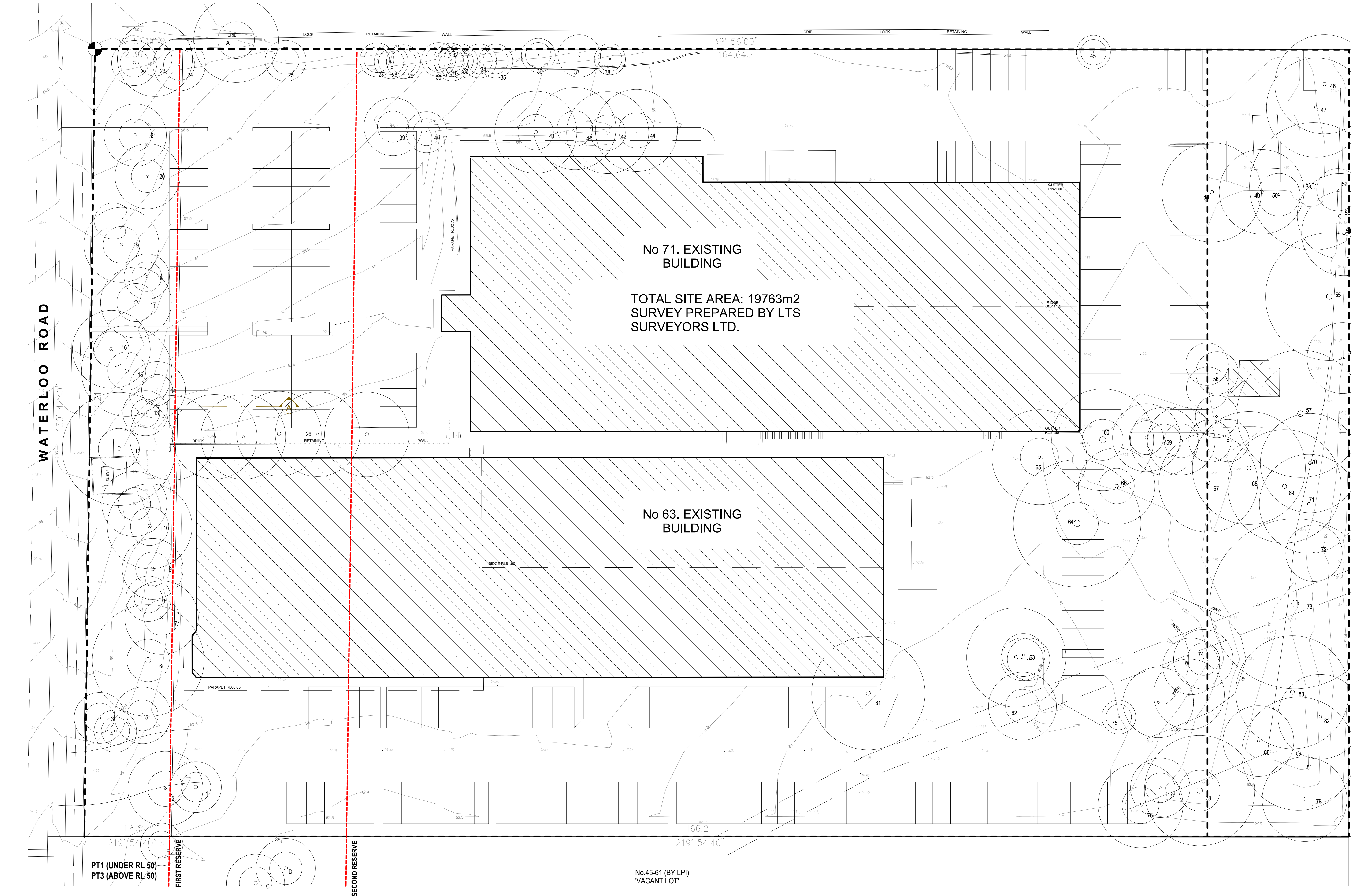
Date  
2021.10.29

Drawing no:  
A2.01

Project No.  
A21005

ISSUE  
C

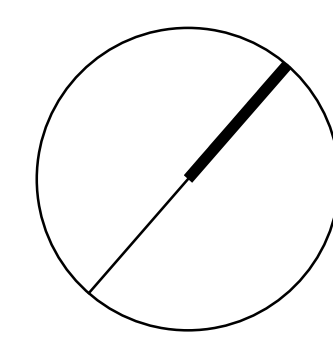




Rev	Description	Date
A	S34 CONFERENCE	01/10/2021
B	AMENDED PLANS	29/10/2021

Project Name  
**63-71 Waterloo Road ,Macquarie Park**

Client Name  
**UT 65 Pty Ltd**



Drawing Title  
**SURVEY**

SCALE  
1 : 250 @ A1

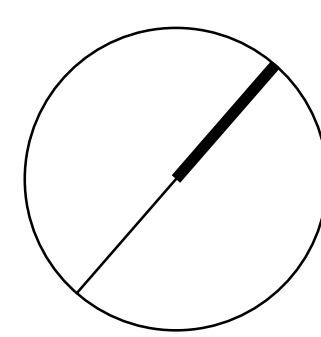
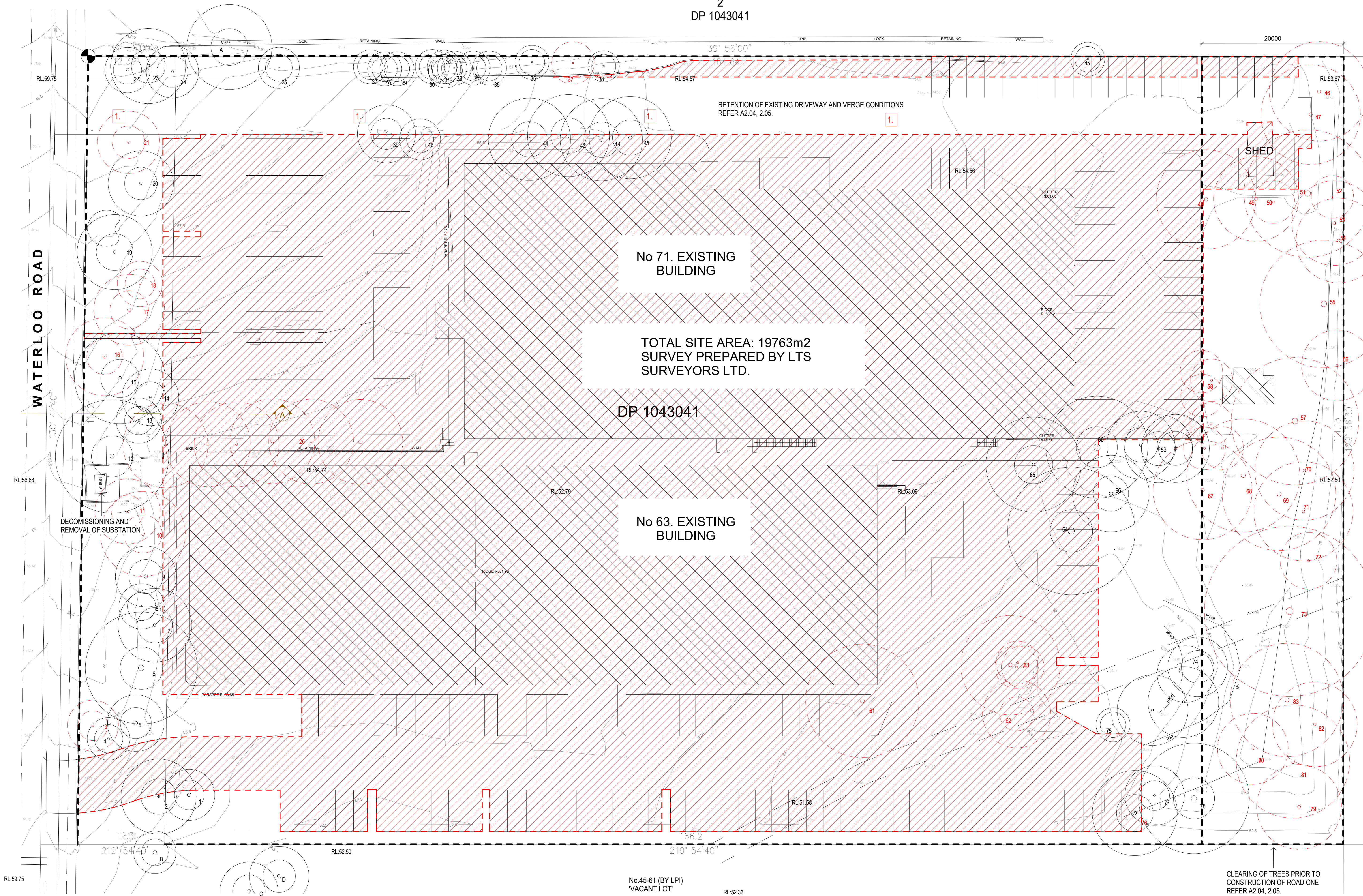
Date  
2021.10.29

Drawing no:  
A2.02

Project No.  
A21005

ISSUE  
B



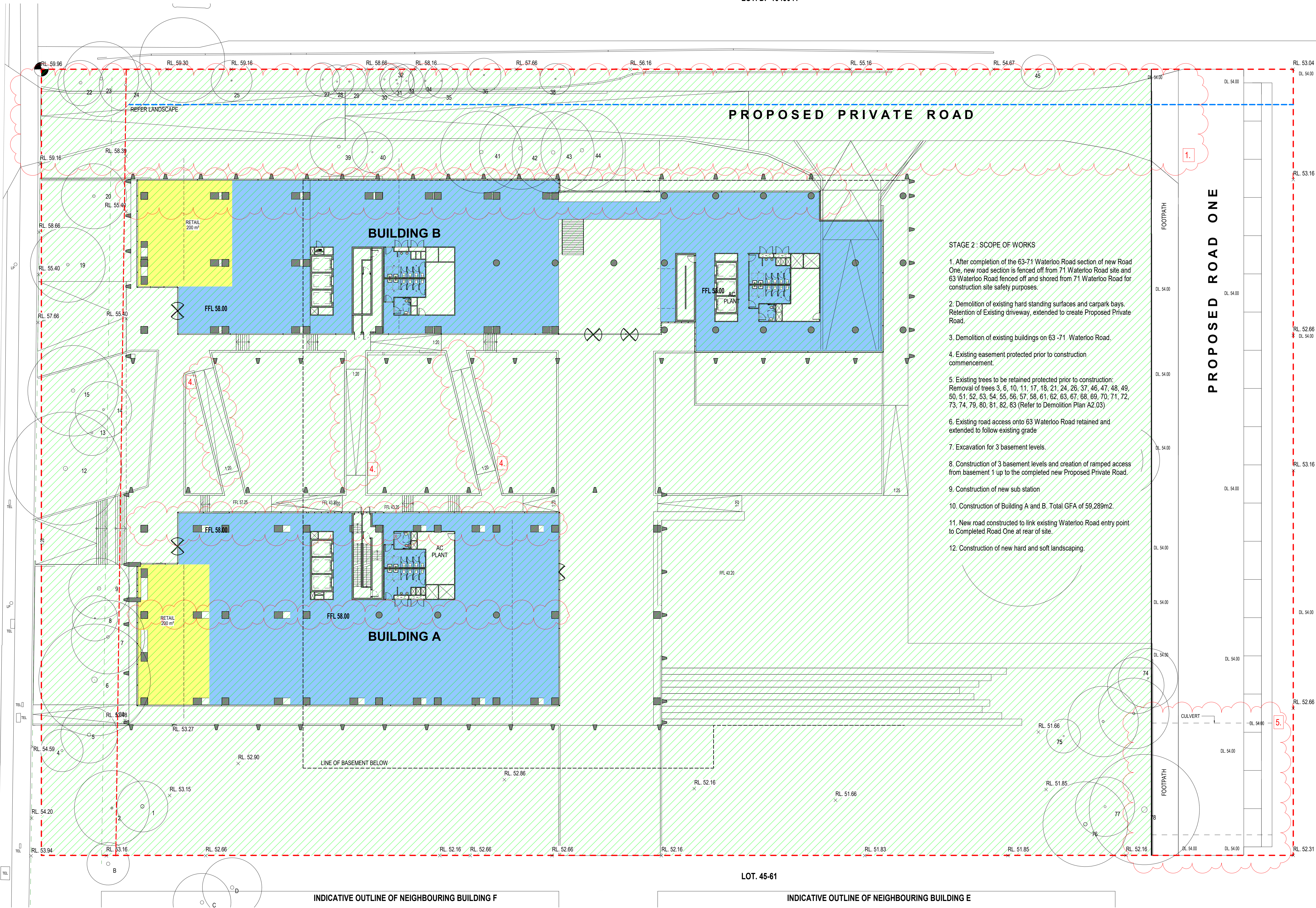








WATERLOO ROAD

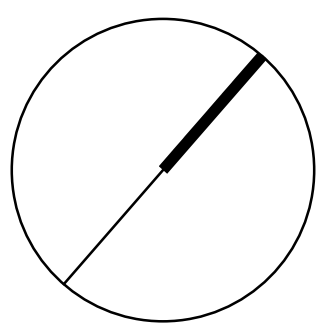


- STAGE 2 : SCOPE OF WORKS
1. After completion of the 63-71 Waterloo Road section of new Road One, new road section is fenced off from 71 Waterloo Road site and 63 Waterloo Road fenced off and shored from 71 Waterloo Road for construction site safety purposes.
  2. Demolition of existing hard standing surfaces and carpark bays. Retention of Existing driveway, extended to create Proposed Private Road.
  3. Demolition of existing buildings on 63 -71 Waterloo Road.
  4. Existing easement protected prior to construction commencement.
  5. Existing trees to be retained protected prior to construction: Removal of trees 3, 6, 10, 11, 17, 18, 21, 24, 26, 37, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 61, 62, 63, 67, 68, 69, 70, 71, 72, 73, 74, 79, 80, 81, 82, 83 (Refer to Demolition Plan A2.03)
  6. Existing road access onto 63 Waterloo Road retained and extended to follow existing grade
  7. Excavation for 3 basement levels.
  8. Construction of 3 basement levels and creation of ramped access from basement 1 up to the completed new Proposed Private Road.
  9. Construction of new sub station
  10. Construction of Building A and B. Total GFA of 59,289m2.
  11. New road constructed to link existing Waterloo Road entry point to Completed Road One at rear of site.
  12. Construction of new hard and soft landscaping.

Rev	Description	Date
A	S34 CONFERENCE	01/10/2021
B	AMENDED PLANS	29/10/2021
C	AMENDED PLANS	09/12/2021

Project Name  
63-71 Waterloo Road ,Macquarie Park

Client Name  
UT 65 Pty Ltd



Drawing Title  
STAGE 2 - REMAINING WORKS 3

SCALE 1 : 250 @ A1	Date 2021.10.29	Drawing no: A2.05
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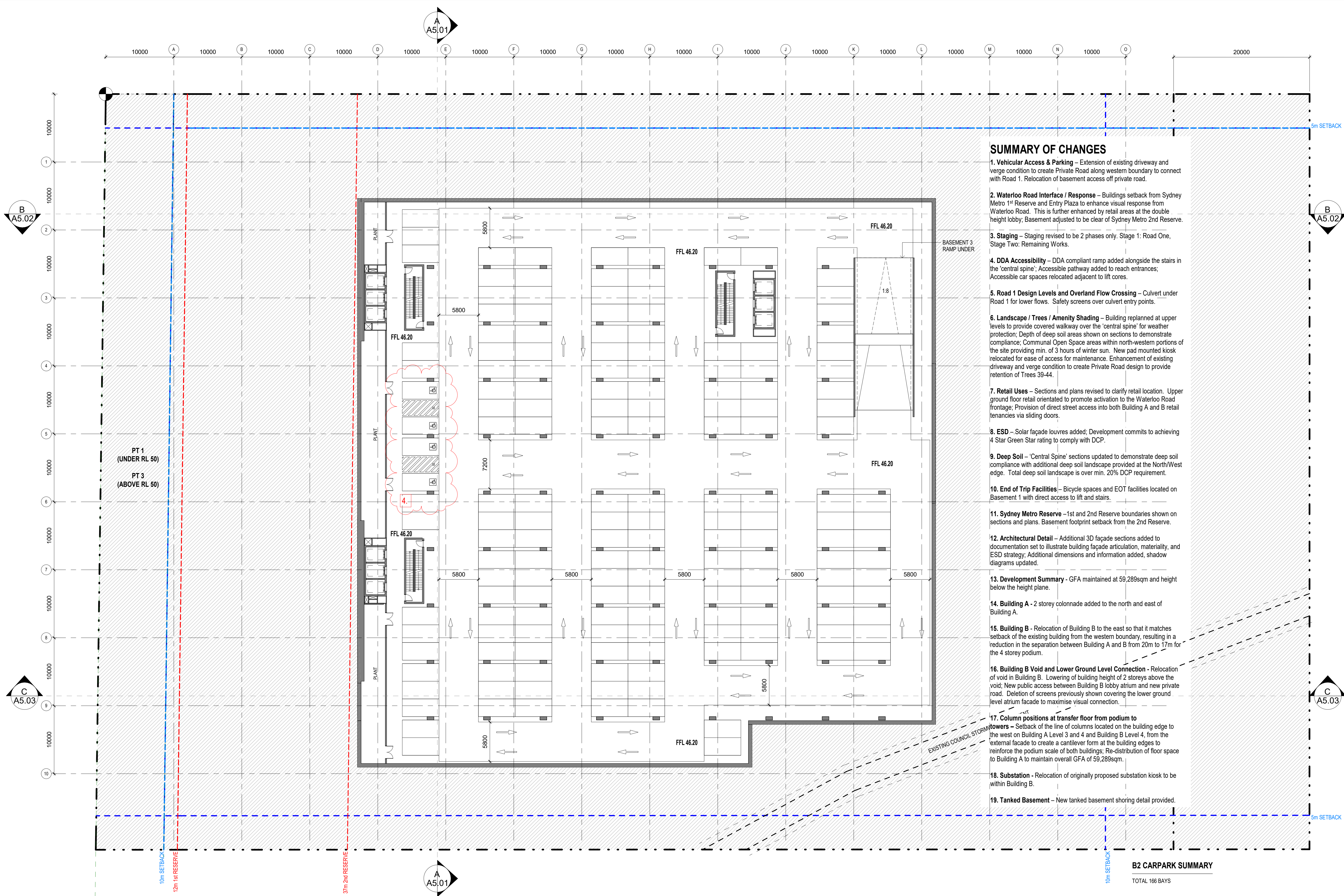
Project No.  
A21005

ISSUE  
C









### SUMMARY OF CHANGES

- 1. Vehicular Access & Parking** – Extension of existing driveway and verge condition to create Private Road along western boundary to connect with Road 1. Relocation of basement access off private road.
- 2. Waterloo Road Interface / Response** – Buildings setback from Sydney Metro 1<sup>st</sup> Reserve and Entry Plaza to enhance visual response from Waterloo Road. This is further enhanced by retail areas at the double height lobby; Basement adjusted to be clear of Sydney Metro 2<sup>nd</sup> Reserve.
- 3. Staging** – Staging revised to be 2 phases only. Stage 1: Road One, Stage Two: Remaining Works.
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- 14. Building A** - 2 storey colonnade added to the north and east of Building A.
- 15. Building B** - Relocation of Building B to the east so that it matches setback of the existing building from the western boundary, resulting in a reduction in the separation between Building A and B from 20m to 17m for the 4 storey podium.
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- 17. Column positions at transfer floor from podium to towers** – Setback of the line of columns located on the building edge to the west on Building A Level 3 and 4 and Building B Level 4, from the external facade to create a cantilever form at the building edges to reinforce the podium scale of both buildings; Re-distribution of floor space to Building A to maintain overall GFA of 59,289sqm.
- 18. Substation** - Relocation of originally proposed substation kiosk to be within Building B.
- 19. Tanked Basement** – New tanked basement shoring detail provided.

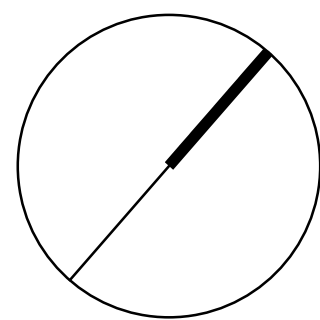
### B2 CARPARK SUMMARY

TOTAL 166 BAYS

Rev	Description	Date
A	DA ISSUE	05/05/2021
B	S34 CONFERENCE	01/10/2021
C	AMENDED PLANS	29/10/2021

Project Name  
**63-71 Waterloo Road ,Macquarie Park**

Client Name  
**UT 65 Pty Ltd**



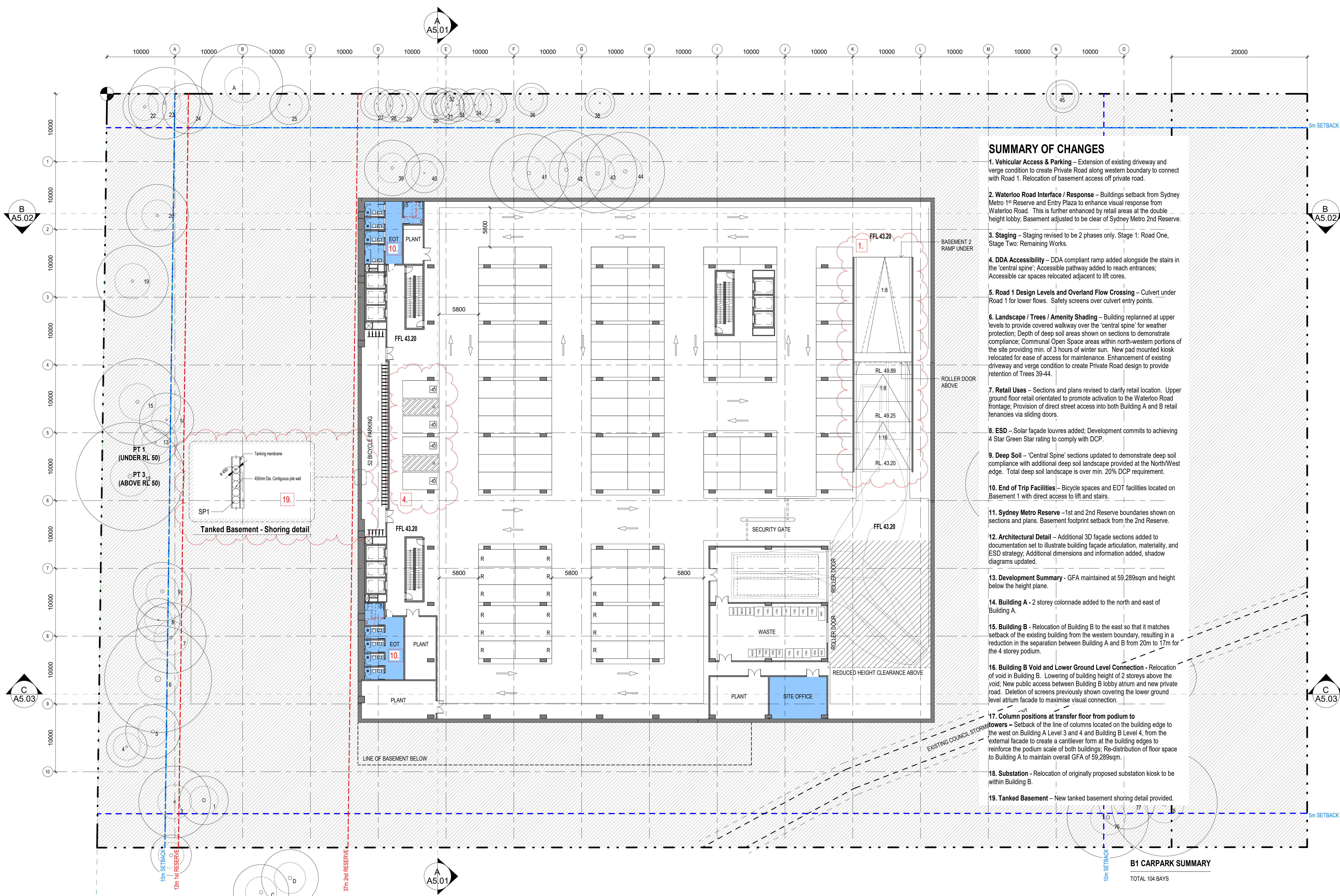
Drawing Title  
**BASEMENT 2**

SCALE 1 : 250 @ A1	Date 2021.10.29	Drawing no: A3.01
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Project No.  
A21005

ISSUE  
C



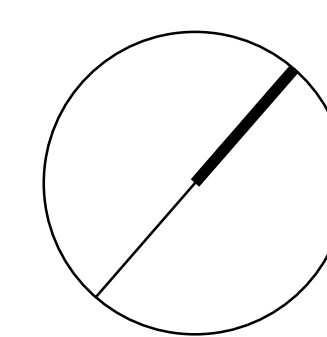


## SUMMARY OF CHANGES

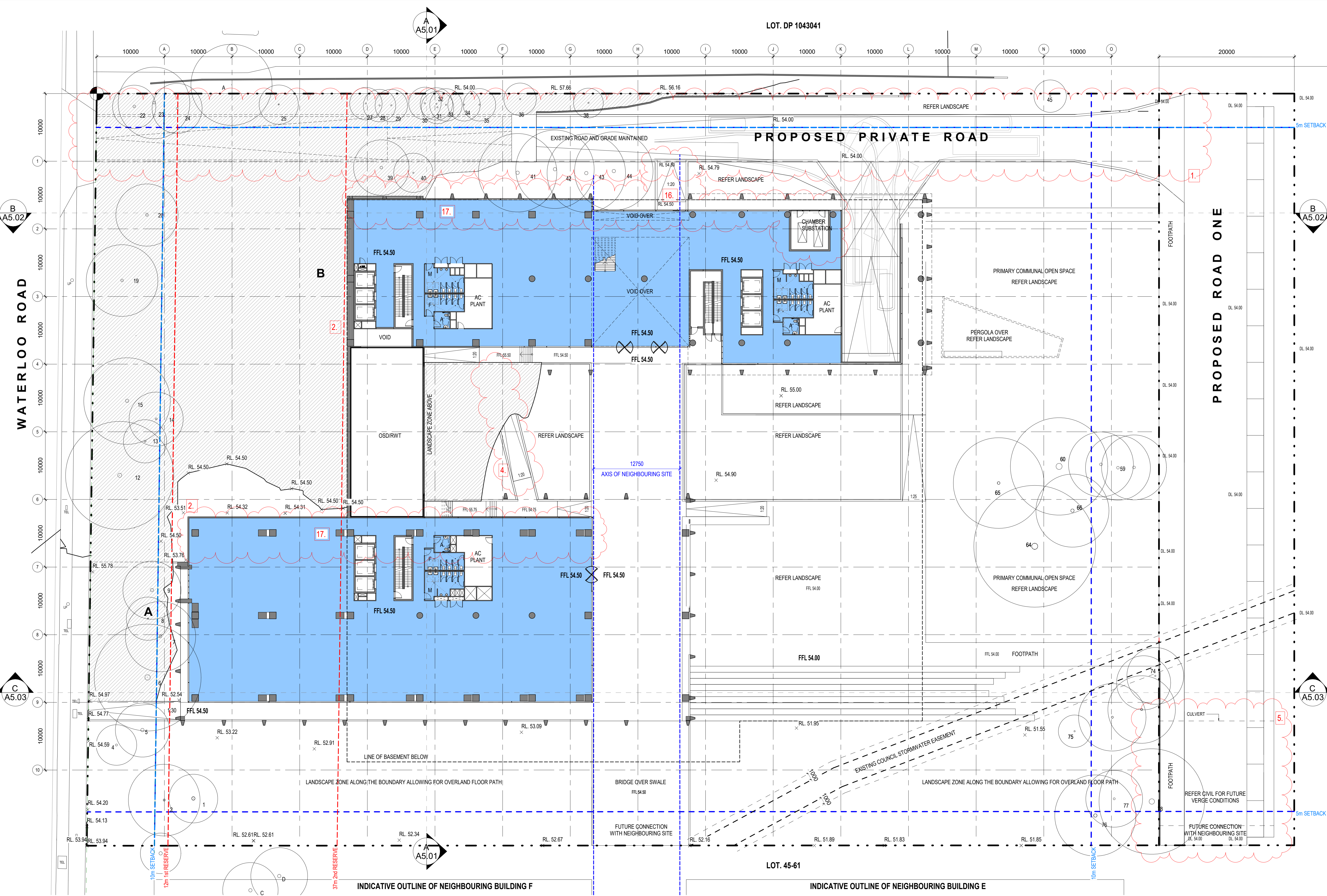
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- 19. Tanked Basement** – New tanked basement shoring detail provided.

## B1 CARPARK SUMMARY

TOTAL 104 BAYS



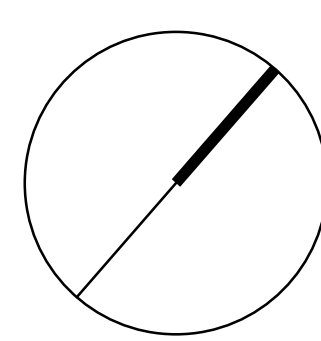




Rev	Description	Date
A	DA ISSUE	05/05/2021
B	S34 CONFERENCE	01/10/2021
C	AMENDED PLANS	29/10/2021
D	AMENDED PLANS	01/11/2021
E	AMENDED PLANS	09/12/2021

Project Name  
**63-71 Waterloo Road ,Macquarie Park**

Client Name  
**UT 65 Pty Ltd**



Drawing Title  
**LEVEL LOWER GROUND**

SCALE  
1 : 250 @ A1

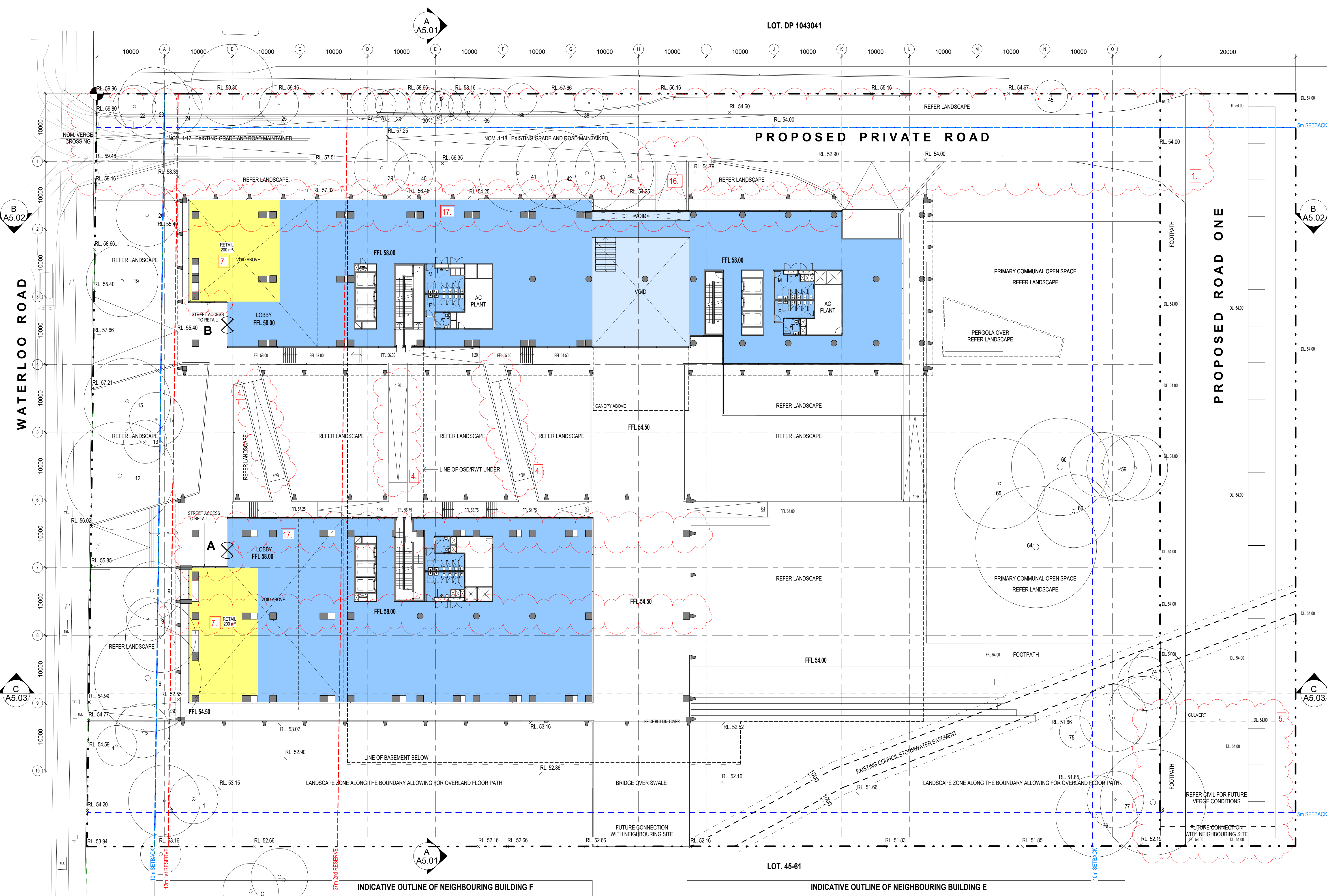
Date  
2021.10.29

Drawing no:  
A3.03

Project No.  
A21005

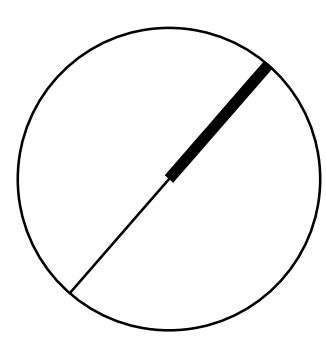
ISSUE  
E





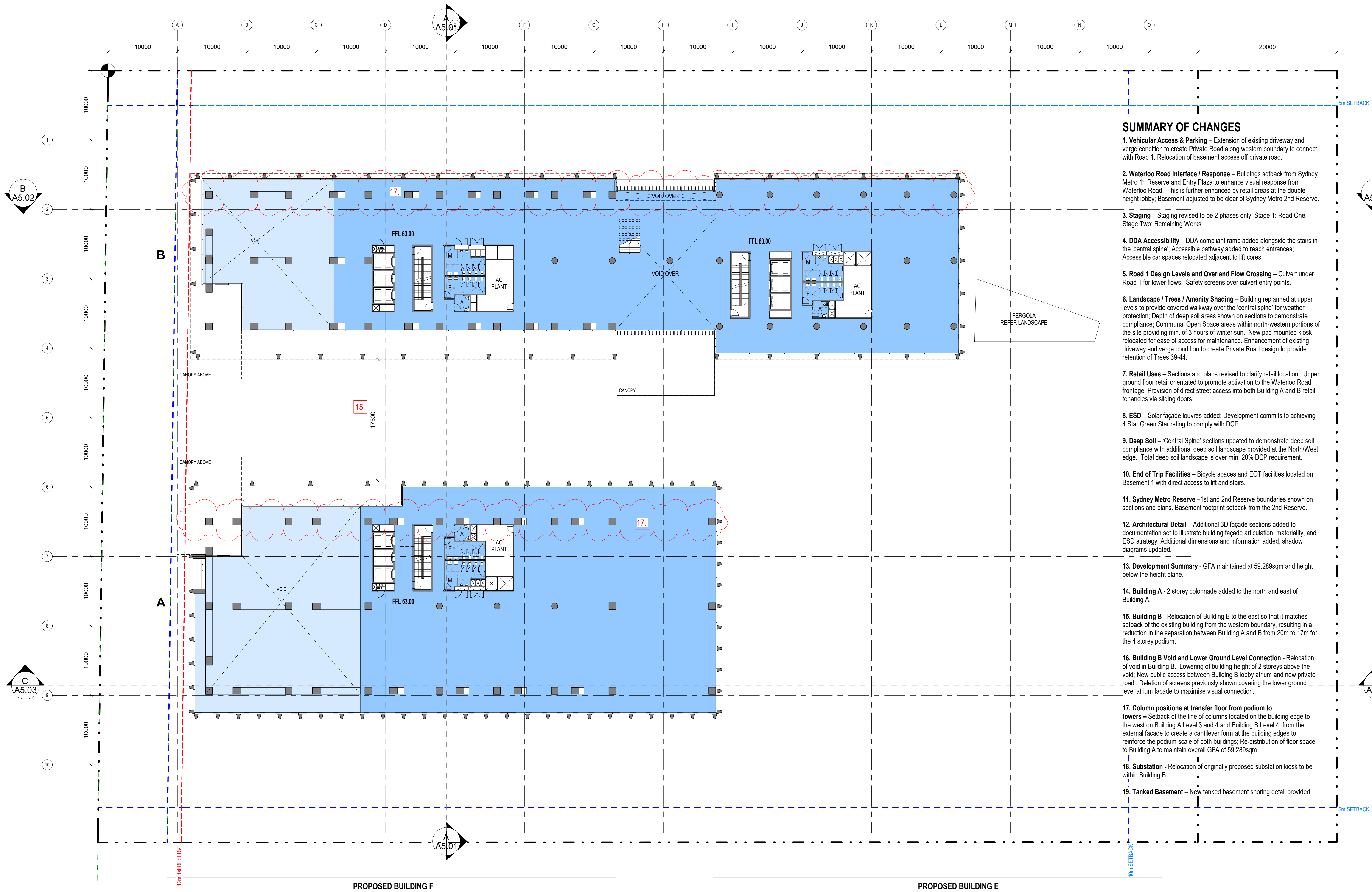
Rev	Description	Date
A	DA ISSUE	05/05/2021
B	S34 CONFERENCE	01/10/2021
C	AMENDED PLANS	29/10/2021
D	AMENDED PLANS	01/11/2021
E	AMENDED PLANS	09/12/2021

Project Name	63-71 Waterloo Road ,Macquarie Park
Client Name	UT 65 Pty Ltd



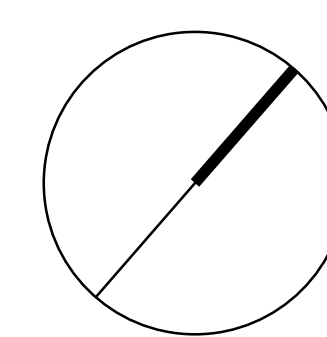
Drawing Title			Project No.
LEVEL UPPER GROUND			A21005
SCALE	Date	Drawing no:	ISSUE
1 : 250 @ A1	2021.10.29	A3.04	E





## SUMMARY OF CHANGES

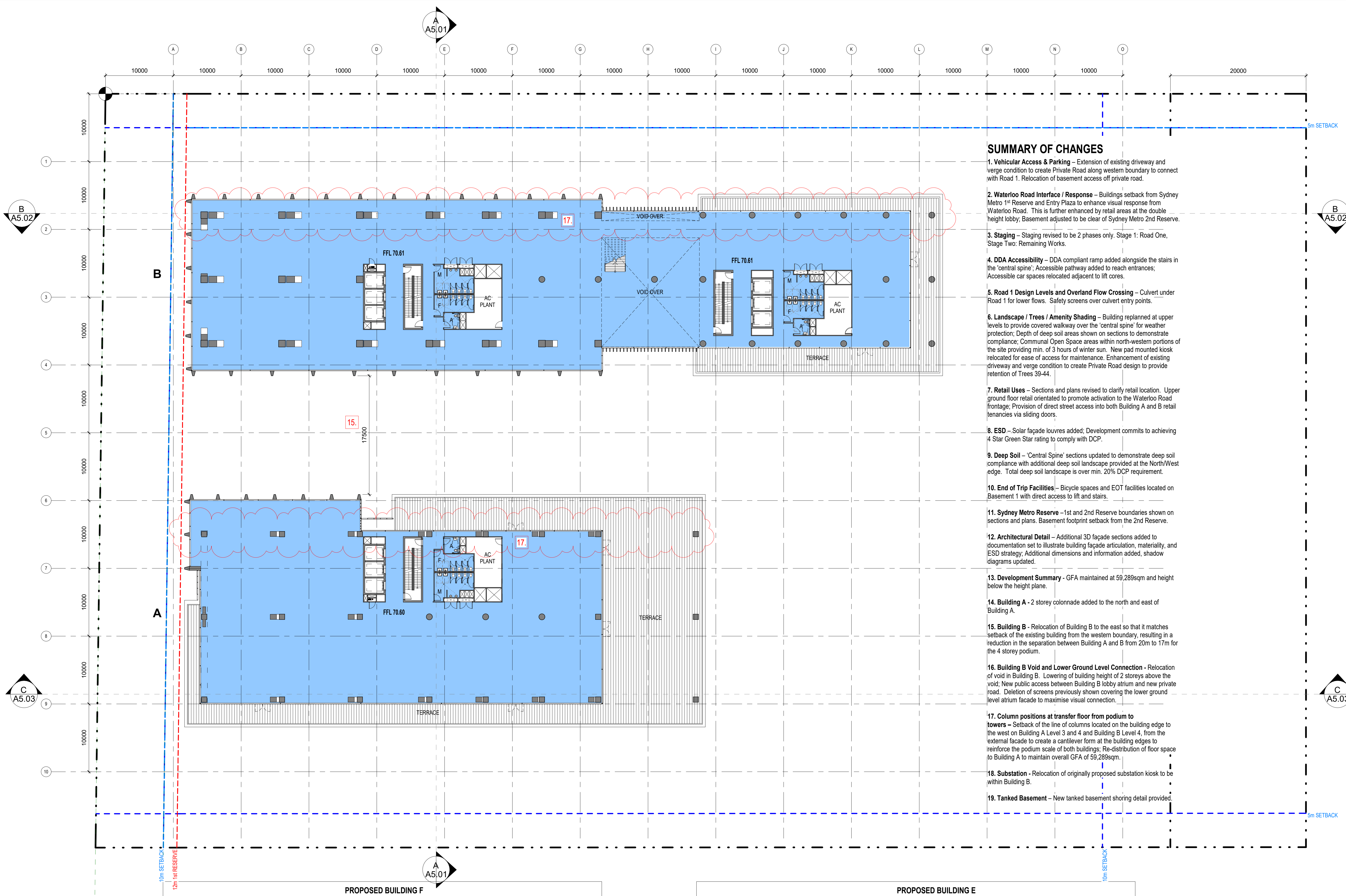
- 1. Vehicular Access & Parking** – Extension of existing driveway and verge condition to create Private Road along western boundary to connect with Road 1. Relocation of basement access off private road.
- 2. Waterloo Road Interface / Response** – Buildings setback from Sydney Metro 1<sup>st</sup> Reserve and Entry Plaza to enhance visual response from Waterloo Road. This is further enhanced by retail areas at the double height lobby; Basement adjusted to be clear of Sydney Metro 2<sup>nd</sup> Reserve.
- 3. Staging** – Staging revised to be 2 phases only. Stage 1: Road One, Stage Two: Remaining Works.
- 4. DDA Accessibility** – DDA compliant ramp added alongside the stairs in the 'central spine'; Accessible pathway added to reach entrances; Accessible car spaces relocated adjacent to lift cores.
- 5. Road 1 Design Levels and Overland Flow Crossing** – Culvert under Road 1 for lower flows. Safety screens over culvert entry points.
- 6. Landscape / Trees / Amenity Shading** – Building replanned at upper levels to provide covered walkway over the 'central spine' for weather protection; Depth of deep soil areas shown on sections to demonstrate compliance; Communal Open Space areas within north-western portions of the site providing min. of 3 hours of winter sun. New pad mounted kiosk relocated for ease of access for maintenance. Enhancement of existing driveway and verge condition to create Private Road design to provide retention of Trees 39-44.
- 7. Retail Uses** – Sections and plans revised to clarify retail location. Upper ground floor retail orientated to promote activation to the Waterloo Road frontage; Provision of direct street access into both Building A and B retail tenancies via sliding doors.
- 8. ESD** – Solar façade louvres added; Development commits to achieving 4 Star Green Star rating to comply with DCP.
- 9. Deep Soil** – 'Central Spine' sections updated to demonstrate deep soil compliance with additional deep soil landscape provided at the North/West edge. Total deep soil landscape is over min. 20% DCP requirement.
- 10. End of Trip Facilities** – Bicycle spaces and EOT facilities located on Basement 1 with direct access to lift and stairs.
- 11. Sydney Metro Reserve** – 1<sup>st</sup> and 2<sup>nd</sup> Reserve boundaries shown on sections and plans. Basement footprint setback from the 2<sup>nd</sup> Reserve.
- 12. Architectural Detail** – Additional 3D façade sections added to documentation set to illustrate building façade articulation, materiality, and ESD strategy; Additional dimensions and information added, shadow diagrams updated.
- 13. Development Summary** - GFA maintained at 59,289sqm and height below the height plane.
- 14. Building A** - 2 storey colonnade added to the north and east of Building A.
- 15. Building B** - Relocation of Building B to the east so that it matches setback of the existing building from the western boundary, resulting in a reduction in the separation between Building A and B from 20m to 17m for the 4 storey podium.
- 16. Building B Void and Lower Ground Level Connection** - Relocation of void in Building B. Lowering of building height of 2 storeys above the void; New public access between Building B lobby atrium and new private road. Deletion of screens previously shown covering the lower ground level atrium facade to maximise visual connection.
- 17. Column positions at transfer floor from podium to towers** – Setback of the line of columns located on the building edge to the west on Building A Level 3 and 4 and Building B Level 4, from the external facade to create a cantilever form at the building edges to reinforce the podium scale of both buildings; Re-distribution of floor space to Building A to maintain overall GFA of 59,289sqm.
- 18. Substation** - Relocation of originally proposed substation kiosk to be within Building B.
- 19. Tanked Basement** – New tanked basement shoring detail provided.









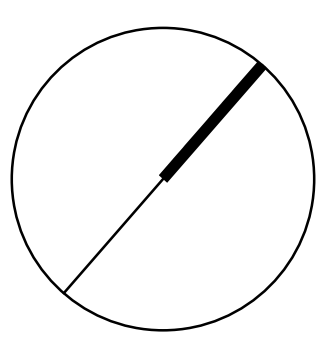


SUMMARY OF CHANGES

- 1. **Vehicular Access & Parking** – Extension of existing driveway and verge condition to create Private Road along western boundary to connect with Road 1. Relocation of basement access off private road.
- 2. **Waterloo Road Interface / Response** – Buildings setback from Sydney Metro 1<sup>st</sup> Reserve and Entry Plaza to enhance visual response from Waterloo Road. This is further enhanced by retail areas at the double height lobby; Basement adjusted to be clear of Sydney Metro 2nd Reserve.
- 3. **Staging** – Staging revised to be 2 phases only. Stage 1: Road One, Stage Two: Remaining Works.
- 4. **DDA Accessibility** – DDA compliant ramp added alongside the stairs in the 'central spine'; Accessible pathway added to reach entrances; Accessible car spaces relocated adjacent to lift cores.
- 5. **Road 1 Design Levels and Overland Flow Crossing** – Culvert under Road 1 for lower flows. Safety screens over culvert entry points.
- 6. **Landscape / Trees / Amenity Shading** – Building replanned at upper levels to provide covered walkway over the 'central spine' for weather protection; Depth of deep soil areas shown on sections to demonstrate compliance; Communal Open Space areas within north-western portions of the site providing min. of 3 hours of winter sun. New pad mounted kiosk relocated for ease of access for maintenance. Enhancement of existing driveway and verge condition to create Private Road design to provide retention of Trees 39-44.
- 7. **Retail Uses** – Sections and plans revised to clarify retail location. Upper ground floor retail orientated to promote activation to the Waterloo Road frontage; Provision of direct street access into both Building A and B retail tenancies via sliding doors.
- 8. **ESD** – Solar façade louvres added; Development commits to achieving 4 Star Green Star rating to comply with DCP.
- 9. **Deep Soil** – 'Central Spine' sections updated to demonstrate deep soil compliance with additional deep soil landscape provided at the North/West edge. Total deep soil landscape is over min. 20% DCP requirement.
- 10. **End of Trip Facilities** – Bicycle spaces and EOT facilities located on Basement 1 with direct access to lift and stairs.
- 11. **Sydney Metro Reserve** – 1st and 2nd Reserve boundaries shown on sections and plans. Basement footprint setback from the 2nd Reserve.
- 12. **Architectural Detail** – Additional 3D façade sections added to documentation set to illustrate building façade articulation, materiality, and ESD strategy; Additional dimensions and information added, shadow diagrams updated.
- 13. **Development Summary** - GFA maintained at 59,289sqm and height below the height plane.
- 14. **Building A** - 2 storey colonnade added to the north and east of Building A.
- 15. **Building B** - Relocation of Building B to the east so that it matches setback of the existing building from the western boundary, resulting in a reduction in the separation between Building A and B from 20m to 17m for the 4 storey podium.
- 16. **Building B Void and Lower Ground Level Connection** - Relocation of void in Building B. Lowering of building height of 2 storeys above the void; New public access between Building B lobby atrium and new private road. Deletion of screens previously shown covering the lower ground level atrium facade to maximise visual connection.
- 17. **Column positions at transfer floor from podium to towers** – Setback of the line of columns located on the building edge to the west on Building A Level 3 and 4 and Building B Level 4, from the external facade to create a cantilever form at the building edges to reinforce the podium scale of both buildings; Re-distribution of floor space to Building A to maintain overall GFA of 59,289sqm.
- 18. **Substation** - Relocation of originally proposed substation kiosk to be within Building B.
- 19. **Tanked Basement** – New tanked basement shoring detail provided.

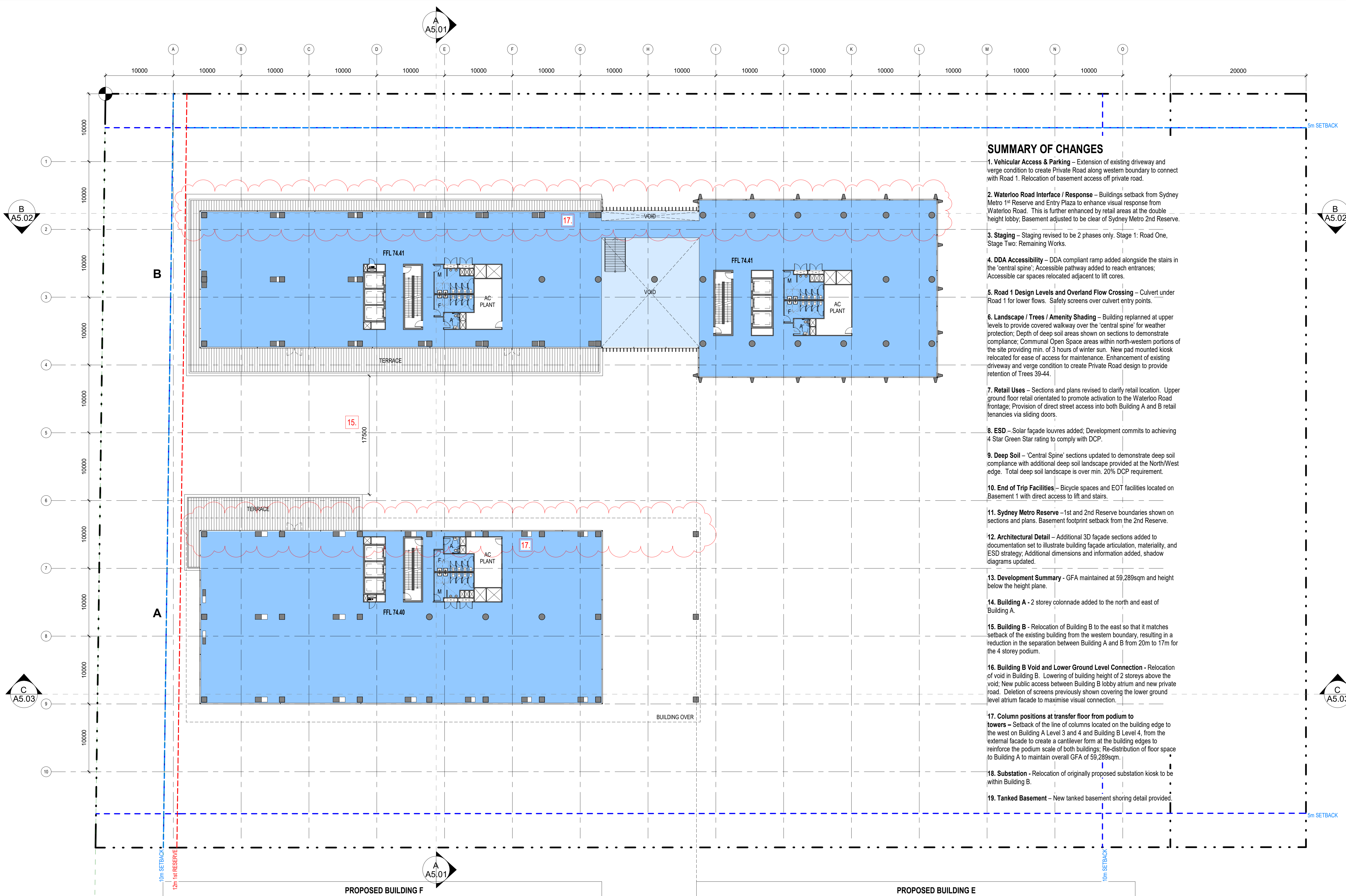
Rev	Description	Date
A	DA ISSUE	05/05/2021
B	S34 CONFERENCE	01/10/2021
C	AMENDED PLANS	29/10/2021
D	AMENDED PLANS	09/12/2021

Project Name  
63-71 Waterloo Road ,Macquarie Park  
Client Name  
UT 65 Pty Ltd



Drawing Title LEVEL 3			Project No. A21005
SCALE 1 : 250 @ A1	Date 2021.10.29	Drawing no: A3.07	ISSUE D



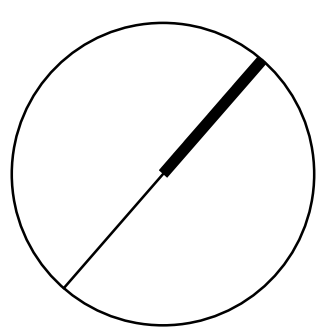


SUMMARY OF CHANGES

- 1. Vehicular Access & Parking** – Extension of existing driveway and verge condition to create Private Road along western boundary to connect with Road 1. Relocation of basement access off private road.
- 2. Waterloo Road Interface / Response** – Buildings setback from Sydney Metro 1<sup>st</sup> Reserve and Entry Plaza to enhance visual response from Waterloo Road. This is further enhanced by retail areas at the double height lobby; Basement adjusted to be clear of Sydney Metro 2nd Reserve.
- 3. Staging** – Staging revised to be 2 phases only. Stage 1: Road One, Stage Two: Remaining Works.
- 4. DDA Accessibility** – DDA compliant ramp added alongside the stairs in the 'central spine'; Accessible pathway added to reach entrances; Accessible car spaces relocated adjacent to lift cores.
- 5. Road 1 Design Levels and Overland Flow Crossing** – Culvert under Road 1 for lower flows. Safety screens over culvert entry points.
- 6. Landscape / Trees / Amenity Shading** – Building replanned at upper levels to provide covered walkway over the 'central spine' for weather protection; Depth of deep soil areas shown on sections to demonstrate compliance; Communal Open Space areas within north-western portions of the site providing min. of 3 hours of winter sun. New pad mounted kiosk relocated for ease of access for maintenance. Enhancement of existing driveway and verge condition to create Private Road design to provide retention of Trees 39-44.
- 7. Retail Uses** – Sections and plans revised to clarify retail location. Upper ground floor retail orientated to promote activation to the Waterloo Road frontage; Provision of direct street access into both Building A and B retail tenancies via sliding doors.
- 8. ESD** – Solar façade louvres added; Development commits to achieving 4 Star Green Star rating to comply with DCP.
- 9. Deep Soil** – 'Central Spine' sections updated to demonstrate deep soil compliance with additional deep soil landscape provided at the North/West edge. Total deep soil landscape is over min. 20% DCP requirement.
- 10. End of Trip Facilities** – Bicycle spaces and EOT facilities located on Basement 1 with direct access to lift and stairs.
- 11. Sydney Metro Reserve** – 1st and 2nd Reserve boundaries shown on sections and plans. Basement footprint setback from the 2nd Reserve.
- 12. Architectural Detail** – Additional 3D façade sections added to documentation set to illustrate building façade articulation, materiality, and ESD strategy; Additional dimensions and information added, shadow diagrams updated.
- 13. Development Summary** - GFA maintained at 59,289sqm and height below the height plane.
- 14. Building A** - 2 storey colonnade added to the north and east of Building A.
- 15. Building B** - Relocation of Building B to the east so that it matches setback of the existing building from the western boundary, resulting in a reduction in the separation between Building A and B from 20m to 17m for the 4 storey podium.
- 16. Building B Void and Lower Ground Level Connection** - Relocation of void in Building B. Lowering of building height of 2 storeys above the void; New public access between Building B lobby atrium and new private road. Deletion of screens previously shown covering the lower ground level atrium facade to maximise visual connection.
- 17. Column positions at transfer floor from podium to towers** – Setback of the line of columns located on the building edge to the west on Building A Level 3 and 4 and Building B Level 4, from the external facade to create a cantilever form at the building edges to reinforce the podium scale of both buildings; Re-distribution of floor space to Building A to maintain overall GFA of 59,289sqm.
- 18. Substation** - Relocation of originally proposed substation kiosk to be within Building B.
- 19. Tanked Basement** – New tanked basement shoring detail provided.

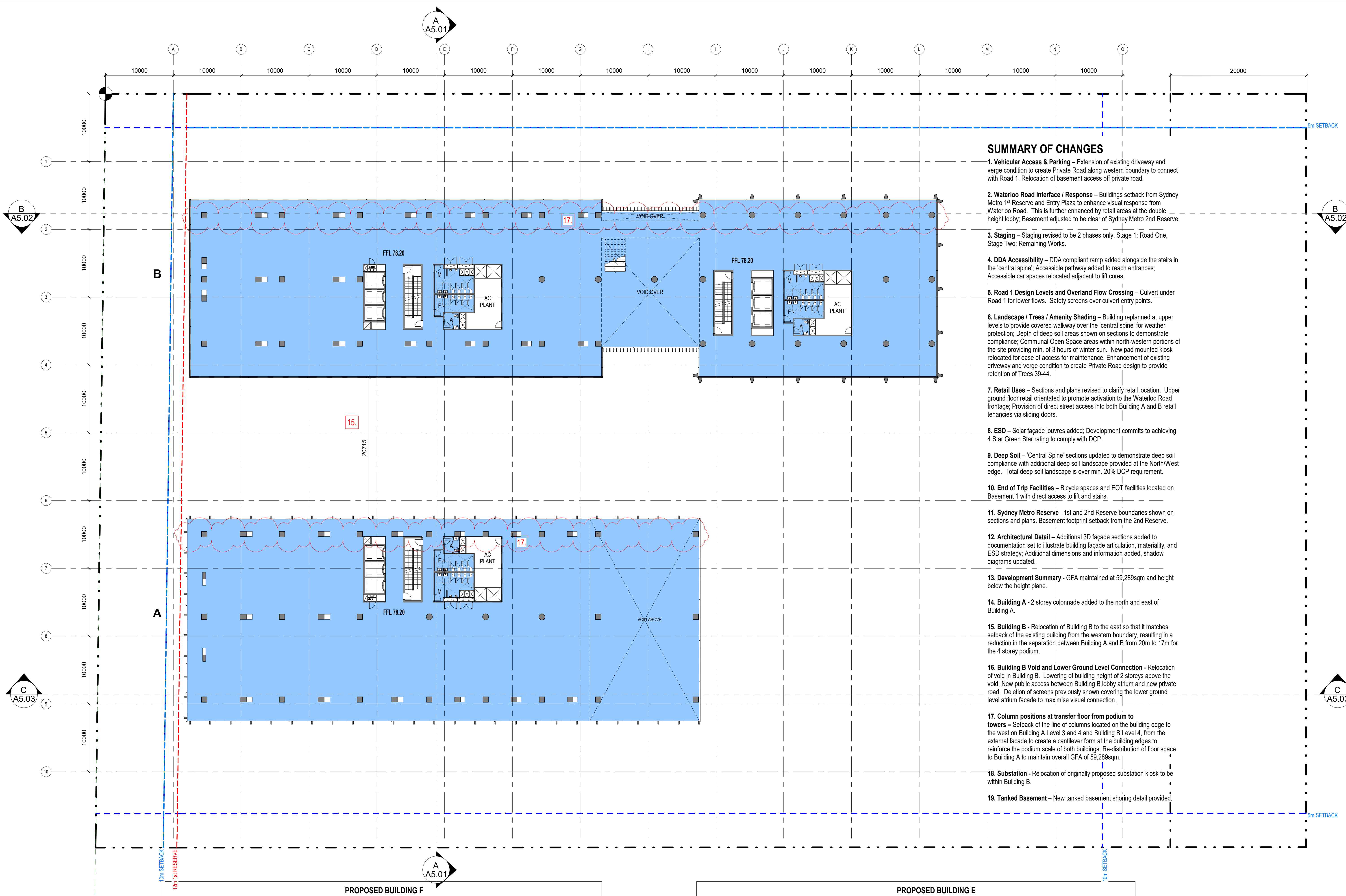
Rev	Description	Date
A	DA ISSUE	05/05/2021
B	S34 CONFERENCE	01/10/2021
C	AMENDED PLANS	29/10/2021
D	AMENDED PLANS	09/12/2021

Project Name  
63-71 Waterloo Road ,Macquarie Park  
Client Name  
UT 65 Pty Ltd



Drawing Title LEVEL 4			Project No. A21005
SCALE 1 : 250 @ A1	Date 2021.10.29	Drawing no: A3.08	ISSUE D





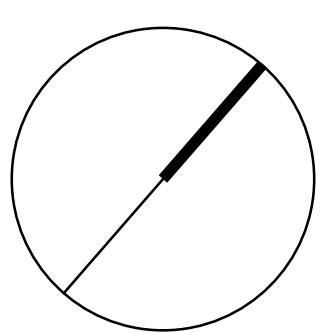
### SUMMARY OF CHANGES

- 1. Vehicular Access & Parking** – Extension of existing driveway and verge condition to create Private Road along western boundary to connect with Road 1. Relocation of basement access off private road.
- 2. Waterloo Road Interface / Response** – Buildings setback from Sydney Metro 1<sup>st</sup> Reserve and Entry Plaza to enhance visual response from Waterloo Road. This is further enhanced by retail areas at the double height lobby; Basement adjusted to be clear of Sydney Metro 2nd Reserve.
- 3. Staging** – Staging revised to be 2 phases only. Stage 1: Road One, Stage Two: Remaining Works.
- 4. DDA Accessibility** – DDA compliant ramp added alongside the stairs in the 'central spine'; Accessible pathway added to reach entrances; Accessible car spaces relocated adjacent to lift cores.
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- 6. Landscape / Trees / Amenity Shading** – Building replanned at upper levels to provide covered walkway over the 'central spine' for weather protection; Depth of deep soil areas shown on sections to demonstrate compliance; Communal Open Space areas within north-western portions of the site providing min. of 3 hours of winter sun. New pad mounted kiosk relocated for ease of access for maintenance. Enhancement of existing driveway and verge condition to create Private Road design to provide retention of Trees 39-44.
- 7. Retail Uses** – Sections and plans revised to clarify retail location. Upper ground floor retail orientated to promote activation to the Waterloo Road frontage; Provision of direct street access into both Building A and B retail tenancies via sliding doors.
- 8. ESD** – Solar façade louvres added; Development commits to achieving 4 Star Green Star rating to comply with DCP.
- 9. Deep Soil** – 'Central Spine' sections updated to demonstrate deep soil compliance with additional deep soil landscape provided at the North/West edge. Total deep soil landscape is over min. 20% DCP requirement.
- 10. End of Trip Facilities** – Bicycle spaces and EOT facilities located on Basement 1 with direct access to lift and stairs.
- 11. Sydney Metro Reserve** – 1st and 2nd Reserve boundaries shown on sections and plans. Basement footprint setback from the 2nd Reserve.
- 12. Architectural Detail** – Additional 3D façade sections added to documentation set to illustrate building façade articulation, materiality, and ESD strategy; Additional dimensions and information added, shadow diagrams updated.
- 13. Development Summary** - GFA maintained at 59,289sqm and height below the height plane.
- 14. Building A** - 2 storey colonnade added to the north and east of Building A.
- 15. Building B** - Relocation of Building B to the east so that it matches setback of the existing building from the western boundary, resulting in a reduction in the separation between Building A and B from 20m to 17m for the 4 storey podium.
- 16. Building B Void and Lower Ground Level Connection** - Relocation of void in Building B. Lowering of building height of 2 storeys above the void; New public access between Building B lobby atrium and new private road. Deletion of screens previously shown covering the lower ground level atrium facade to maximise visual connection.
- 17. Column positions at transfer floor from podium to towers** – Setback of the line of columns located on the building edge to the west on Building A Level 3 and 4 and Building B Level 4, from the external facade to create a cantilever form at the building edges to reinforce the podium scale of both buildings; Re-distribution of floor space to Building A to maintain overall GFA of 59,289sqm.
- 18. Substation** - Relocation of originally proposed substation kiosk to be within Building B.
- 19. Tanked Basement** – New tanked basement shoring detail provided.

Rev	Description	Date
A	DA ISSUE	05/05/2021
B	S34 CONFERENCE	01/10/2021
C	AMENDED PLANS	29/10/2021
D	AMENDED PLANS	09/12/2021

Project Name  
**63-71 Waterloo Road ,Macquarie Park**

Client Name  
**UT 65 Pty Ltd**



Drawing Title  
**LEVEL 5**

SCALE  
1 : 250 @ A1

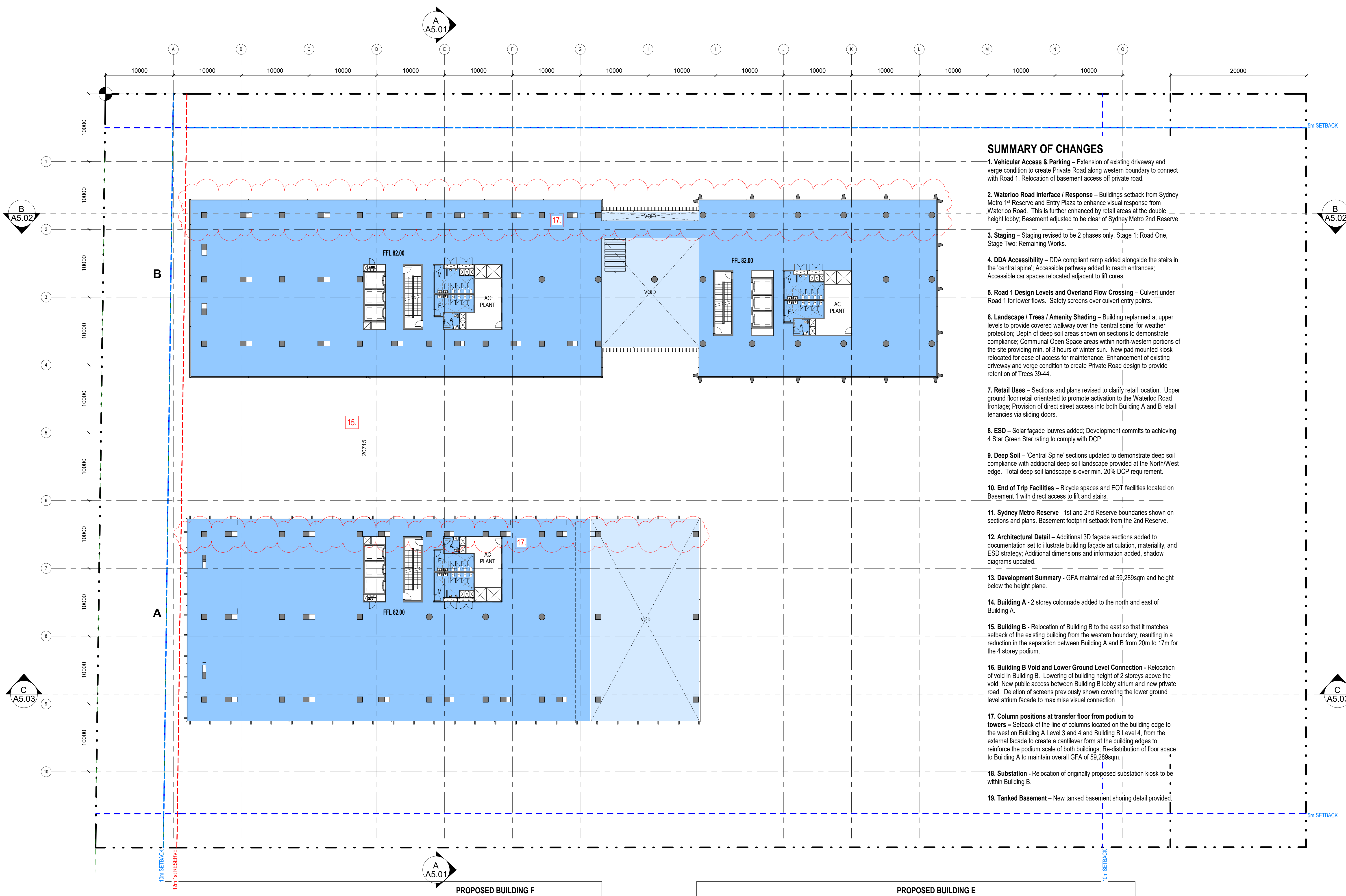
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Drawing no:  
A3.09

Project No.  
A21005

ISSUE  
D





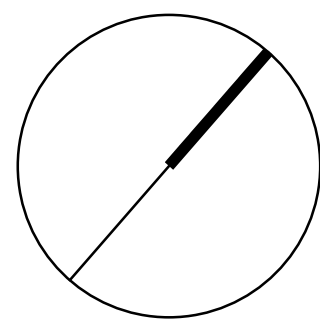
### SUMMARY OF CHANGES

- 1. Vehicular Access & Parking** – Extension of existing driveway and verge condition to create Private Road along western boundary to connect with Road 1. Relocation of basement access off private road.
- 2. Waterloo Road Interface / Response** – Buildings setback from Sydney Metro 1<sup>st</sup> Reserve and Entry Plaza to enhance visual response from Waterloo Road. This is further enhanced by retail areas at the double height lobby; Basement adjusted to be clear of Sydney Metro 2nd Reserve.
- 3. Staging** – Staging revised to be 2 phases only. Stage 1: Road One, Stage Two: Remaining Works.
- 4. DDA Accessibility** – DDA compliant ramp added alongside the stairs in the 'central spine'; Accessible pathway added to reach entrances; Accessible car spaces relocated adjacent to lift cores.
- 5. Road 1 Design Levels and Overland Flow Crossing** – Culvert under Road 1 for lower flows. Safety screens over culvert entry points.
- 6. Landscape / Trees / Amenity Shading** – Building replanned at upper levels to provide covered walkway over the 'central spine' for weather protection; Depth of deep soil areas shown on sections to demonstrate compliance; Communal Open Space areas within north-western portions of the site providing min. of 3 hours of winter sun. New pad mounted kiosk relocated for ease of access for maintenance. Enhancement of existing driveway and verge condition to create Private Road design to provide retention of Trees 39-44.
- 7. Retail Uses** – Sections and plans revised to clarify retail location. Upper ground floor retail orientated to promote activation to the Waterloo Road frontage; Provision of direct street access into both Building A and B retail tenancies via sliding doors.
- 8. ESD** – Solar façade louvres added; Development commits to achieving 4 Star Green Star rating to comply with DCP.
- 9. Deep Soil** – 'Central Spine' sections updated to demonstrate deep soil compliance with additional deep soil landscape provided at the North/West edge. Total deep soil landscape is over min. 20% DCP requirement.
- 10. End of Trip Facilities** – Bicycle spaces and EOT facilities located on Basement 1 with direct access to lift and stairs.
- 11. Sydney Metro Reserve** – 1st and 2nd Reserve boundaries shown on sections and plans. Basement footprint setback from the 2nd Reserve.
- 12. Architectural Detail** – Additional 3D façade sections added to documentation set to illustrate building façade articulation, materiality, and ESD strategy; Additional dimensions and information added, shadow diagrams updated.
- 13. Development Summary** - GFA maintained at 59,289sqm and height below the height plane.
- 14. Building A** - 2 storey colonnade added to the north and east of Building A.
- 15. Building B** - Relocation of Building B to the east so that it matches setback of the existing building from the western boundary, resulting in a reduction in the separation between Building A and B from 20m to 17m for the 4 storey podium.
- 16. Building B Void and Lower Ground Level Connection** - Relocation of void in Building B. Lowering of building height of 2 storeys above the void; New public access between Building B lobby atrium and new private road. Deletion of screens previously shown covering the lower ground level atrium facade to maximise visual connection.
- 17. Column positions at transfer floor from podium to towers** – Setback of the line of columns located on the building edge to the west on Building A Level 3 and 4 and Building B Level 4, from the external facade to create a cantilever form at the building edges to reinforce the podium scale of both buildings; Re-distribution of floor space to Building A to maintain overall GFA of 59,289sqm.
- 18. Substation** - Relocation of originally proposed substation kiosk to be within Building B.
- 19. Tanked Basement** – New tanked basement shoring detail provided.

Rev	Description	Date
A	DA ISSUE	05/05/2021
B	S34 CONFERENCE	01/10/2021
C	AMENDED PLANS	29/10/2021
D	AMENDED PLANS	09/12/2021

Project Name  
**63-71 Waterloo Road ,Macquarie Park**

Client Name  
**UT 65 Pty Ltd**



Drawing Title  
**LEVEL 6**

SCALE  
1 : 250 @ A1

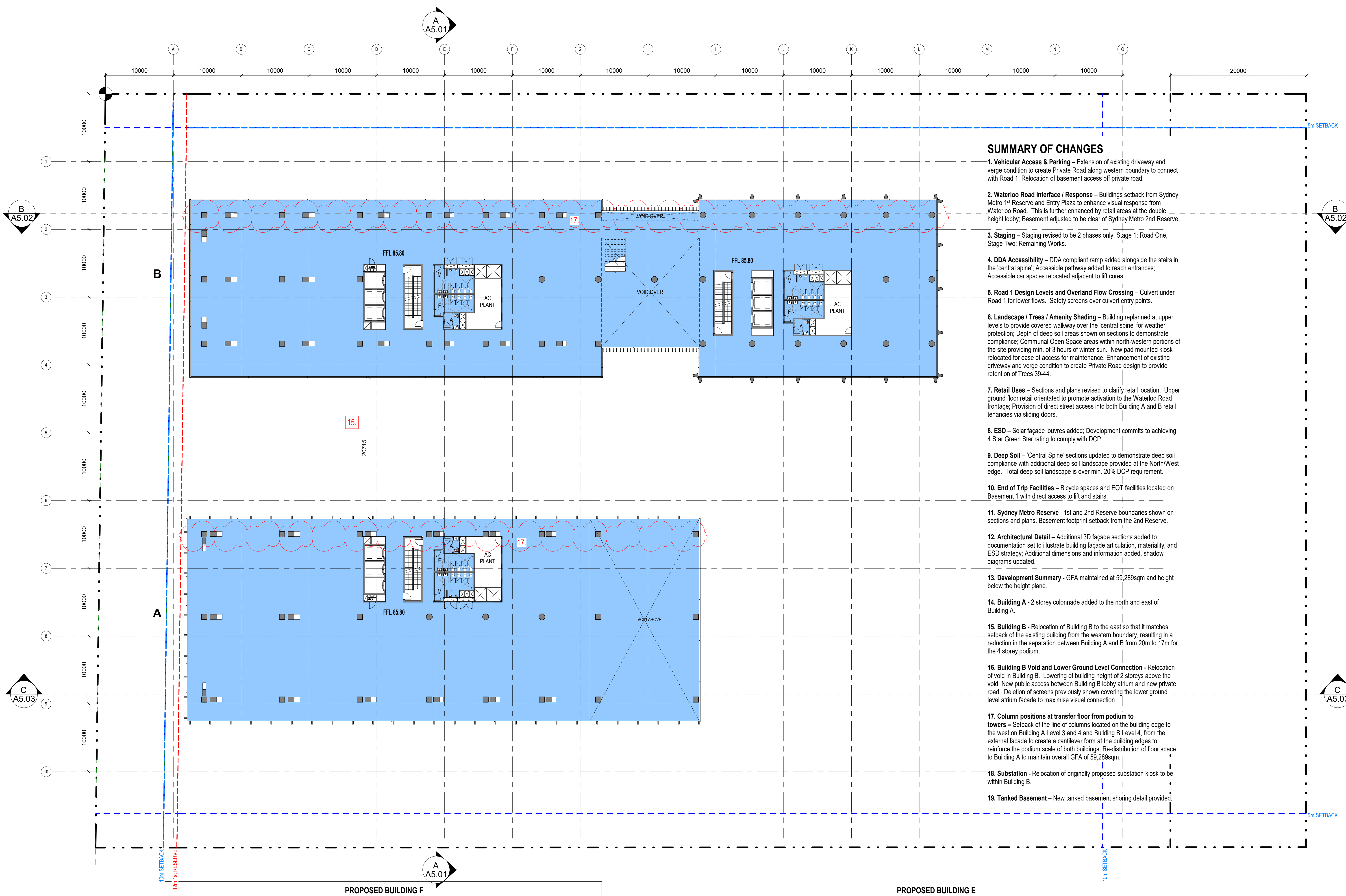
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Project No.  
A21005

ISSUE  
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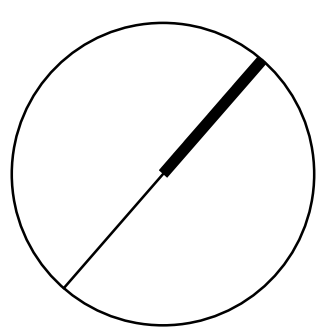
SUMMARY OF CHANGES

- 1. **Vehicular Access & Parking** – Extension of existing driveway and verge condition to create Private Road along western boundary to connect with Road 1. Relocation of basement access off private road.
- 2. **Waterloo Road Interface / Response** – Buildings setback from Sydney Metro 1<sup>st</sup> Reserve and Entry Plaza to enhance visual response from Waterloo Road. This is further enhanced by retail areas at the double height lobby; Basement adjusted to be clear of Sydney Metro 2nd Reserve.
- 3. **Staging** – Staging revised to be 2 phases only. Stage 1: Road One, Stage Two: Remaining Works.
- 4. **DDA Accessibility** – DDA compliant ramp added alongside the stairs in the 'central spine'; Accessible pathway added to reach entrances; Accessible car spaces relocated adjacent to lift cores.
- 5. **Road 1 Design Levels and Overland Flow Crossing** – Culvert under Road 1 for lower flows. Safety screens over culvert entry points.
- 6. **Landscape / Trees / Amenity Shading** – Building replanned at upper levels to provide covered walkway over the 'central spine' for weather protection; Depth of deep soil areas shown on sections to demonstrate compliance; Communal Open Space areas within north-western portions of the site providing min. of 3 hours of winter sun. New pad mounted kiosk relocated for ease of access for maintenance. Enhancement of existing driveway and verge condition to create Private Road design to provide retention of Trees 39-44.
- 7. **Retail Uses** – Sections and plans revised to clarify retail location. Upper ground floor retail orientated to promote activation to the Waterloo Road frontage; Provision of direct street access into both Building A and B retail tenancies via sliding doors.
- 8. **ESD** – Solar façade louvres added; Development commits to achieving 4 Star Green Star rating to comply with DCP.
- 9. **Deep Soil** – 'Central Spine' sections updated to demonstrate deep soil compliance with additional deep soil landscape provided at the North/West edge. Total deep soil landscape is over min. 20% DCP requirement.
- 10. **End of Trip Facilities** – Bicycle spaces and EOT facilities located on Basement 1 with direct access to lift and stairs.
- 11. **Sydney Metro Reserve** – 1st and 2nd Reserve boundaries shown on sections and plans. Basement footprint setback from the 2nd Reserve.
- 12. **Architectural Detail** – Additional 3D façade sections added to documentation set to illustrate building façade articulation, materiality, and ESD strategy; Additional dimensions and information added, shadow diagrams updated.
- 13. **Development Summary** - GFA maintained at 59,289sqm and height below the height plane.
- 14. **Building A** - 2 storey colonnade added to the north and east of Building A.
- 15. **Building B** - Relocation of Building B to the east so that it matches setback of the existing building from the western boundary, resulting in a reduction in the separation between Building A and B from 20m to 17m for the 4 storey podium.
- 16. **Building B Void and Lower Ground Level Connection** - Relocation of void in Building B. Lowering of building height of 2 storeys above the void; New public access between Building B lobby atrium and new private road. Deletion of screens previously shown covering the lower ground level atrium facade to maximise visual connection.
- 17. **Column positions at transfer floor from podium to towers** – Setback of the line of columns located on the building edge to the west on Building A Level 3 and 4 and Building B Level 4, from the external facade to create a cantilever form at the building edges to reinforce the podium scale of both buildings; Re-distribution of floor space to Building A to maintain overall GFA of 59,289sqm.
- 18. **Substation** - Relocation of originally proposed substation kiosk to be within Building B.
- 19. **Tanked Basement** – New tanked basement shoring detail provided.

Rev	Description	Date
A	DA ISSUE	05/05/2021
B	S34 CONFERENCE	01/10/2021
C	AMENDED PLANS	29/10/2021
D	AMENDED PLANS	09/12/2021

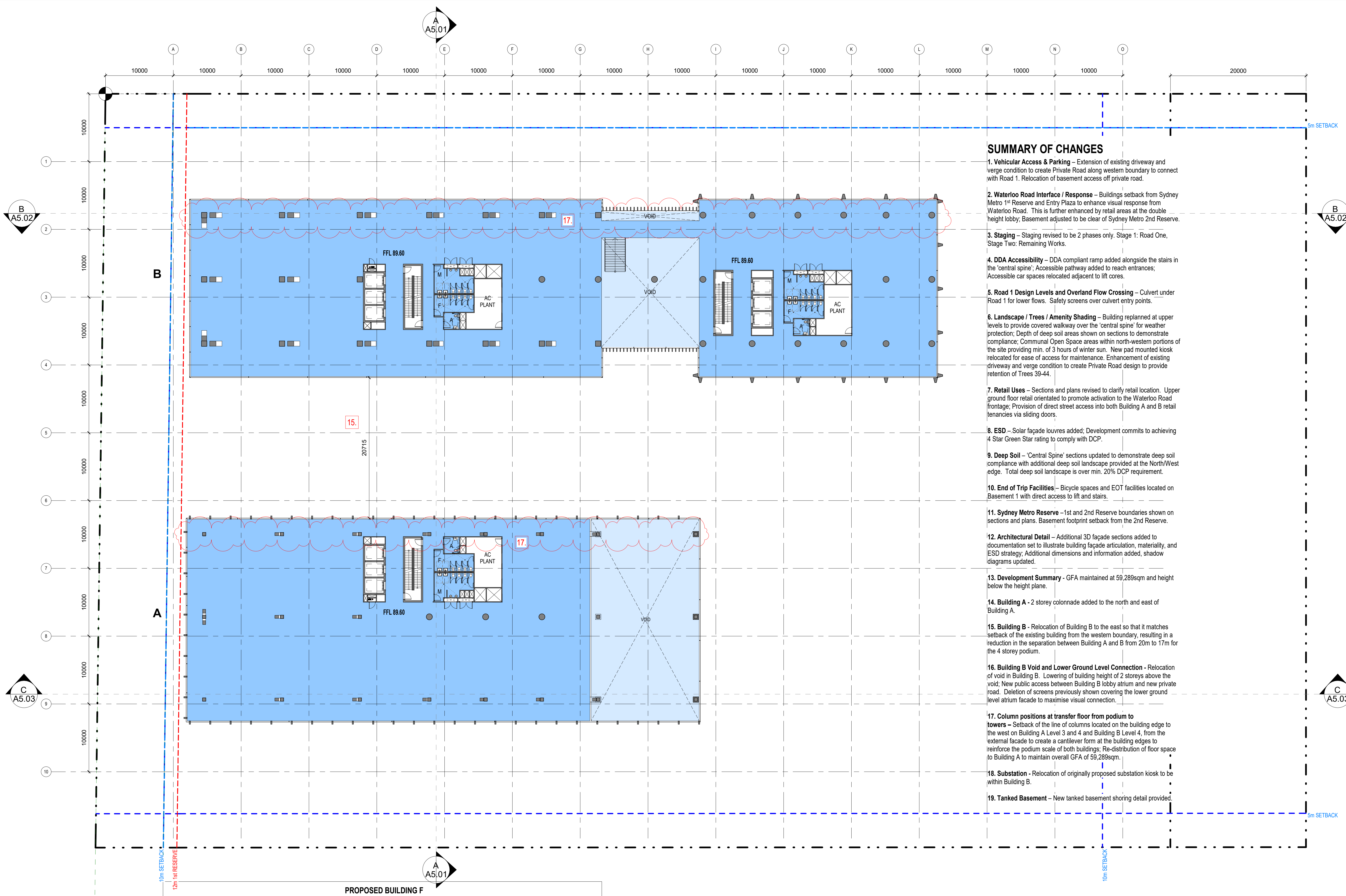
Project Name  
63-71 Waterloo Road ,Macquarie Park

Client Name  
UT 65 Pty Ltd



Drawing Title LEVEL 7			Project No. A21005
SCALE 1 : 250 @ A1	Date 2021.10.29	Drawing no: A3.11	ISSUE D



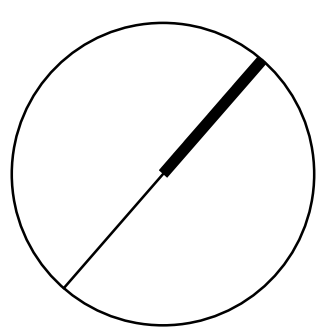


SUMMARY OF CHANGES

- 1. **Vehicular Access & Parking** – Extension of existing driveway and verge condition to create Private Road along western boundary to connect with Road 1. Relocation of basement access off private road.
- 2. **Waterloo Road Interface / Response** – Buildings setback from Sydney Metro 1<sup>st</sup> Reserve and Entry Plaza to enhance visual response from Waterloo Road. This is further enhanced by retail areas at the double height lobby; Basement adjusted to be clear of Sydney Metro 2nd Reserve.
- 3. **Staging** – Staging revised to be 2 phases only. Stage 1: Road One, Stage Two: Remaining Works.
- 4. **DDA Accessibility** – DDA compliant ramp added alongside the stairs in the 'central spine'; Accessible pathway added to reach entrances; Accessible car spaces relocated adjacent to lift cores.
- 5. **Road 1 Design Levels and Overland Flow Crossing** – Culvert under Road 1 for lower flows. Safety screens over culvert entry points.
- 6. **Landscape / Trees / Amenity Shading** – Building replanned at upper levels to provide covered walkway over the 'central spine' for weather protection; Depth of deep soil areas shown on sections to demonstrate compliance; Communal Open Space areas within north-western portions of the site providing min. of 3 hours of winter sun. New pad mounted kiosk relocated for ease of access for maintenance. Enhancement of existing driveway and verge condition to create Private Road design to provide retention of Trees 39-44.
- 7. **Retail Uses** – Sections and plans revised to clarify retail location. Upper ground floor retail orientated to promote activation to the Waterloo Road frontage; Provision of direct street access into both Building A and B retail tenancies via sliding doors.
- 8. **ESD** – Solar façade louvres added; Development commits to achieving 4 Star Green Star rating to comply with DCP.
- 9. **Deep Soil** – 'Central Spine' sections updated to demonstrate deep soil compliance with additional deep soil landscape provided at the North/West edge. Total deep soil landscape is over min. 20% DCP requirement.
- 10. **End of Trip Facilities** – Bicycle spaces and EOT facilities located on Basement 1 with direct access to lift and stairs.
- 11. **Sydney Metro Reserve** – 1st and 2nd Reserve boundaries shown on sections and plans. Basement footprint setback from the 2nd Reserve.
- 12. **Architectural Detail** – Additional 3D façade sections added to documentation set to illustrate building façade articulation, materiality, and ESD strategy; Additional dimensions and information added, shadow diagrams updated.
- 13. **Development Summary** - GFA maintained at 59,289sqm and height below the height plane.
- 14. **Building A** - 2 storey colonnade added to the north and east of Building A.
- 15. **Building B** - Relocation of Building B to the east so that it matches setback of the existing building from the western boundary, resulting in a reduction in the separation between Building A and B from 20m to 17m for the 4 storey podium.
- 16. **Building B Void and Lower Ground Level Connection** - Relocation of void in Building B. Lowering of building height of 2 storeys above the void; New public access between Building B lobby atrium and new private road. Deletion of screens previously shown covering the lower ground level atrium facade to maximise visual connection.
- 17. **Column positions at transfer floor from podium to towers** – Setback of the line of columns located on the building edge to the west on Building A Level 3 and 4 and Building B Level 4, from the external facade to create a cantilever form at the building edges to reinforce the podium scale of both buildings; Re-distribution of floor space to Building A to maintain overall GFA of 59,289sqm.
- 18. **Substation** - Relocation of originally proposed substation kiosk to be within Building B.
- 19. **Tanked Basement** – New tanked basement shoring detail provided.

Rev	Description	Date
A	DA ISSUE	05/05/2021
B	S34 CONFERENCE	01/10/2021
C	AMENDED PLANS	29/10/2021
D	AMENDED PLANS	09/12/2021

Project Name  
63-71 Waterloo Road ,Macquarie Park  
Client Name  
UT 65 Pty Ltd

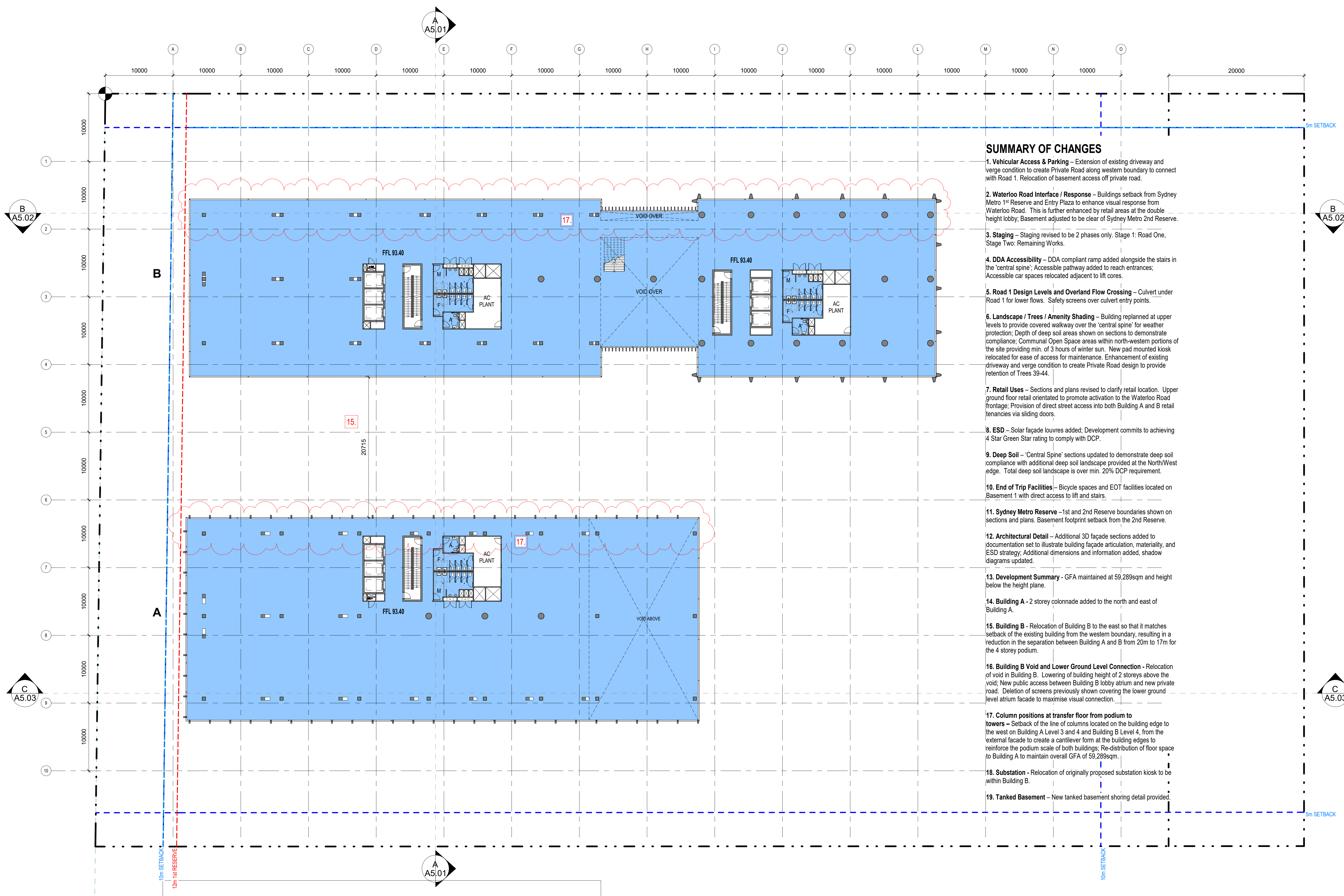


Drawing Title  
LEVEL 8

SCALE  
1 : 250 @ A1  
Date  
2021.10.29  
Drawing no:  
A3.12

Project No.  
A21005  
ISSUE  
D



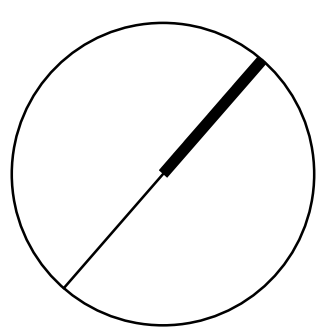


SUMMARY OF CHANGES

- 1. Vehicular Access & Parking** – Extension of existing driveway and verge condition to create Private Road along western boundary to connect with Road 1. Relocation of basement access off private road.
- 2. Waterloo Road Interface / Response** – Buildings setback from Sydney Metro 1<sup>st</sup> Reserve and Entry Plaza to enhance visual response from Waterloo Road. This is further enhanced by retail areas at the double height lobby; Basement adjusted to be clear of Sydney Metro 2nd Reserve.
- 3. Staging** – Staging revised to be 2 phases only. Stage 1: Road One, Stage Two: Remaining Works.
- 4. DDA Accessibility** – DDA compliant ramp added alongside the stairs in the 'central spine'; Accessible pathway added to reach entrances; Accessible car spaces relocated adjacent to lift cores.
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- 8. ESD** – Solar façade louvres added; Development commits to achieving 4 Star Green Star rating to comply with DCP.
- 9. Deep Soil** – 'Central Spine' sections updated to demonstrate deep soil compliance with additional deep soil landscape provided at the North/West edge. Total deep soil landscape is over min. 20% DCP requirement.
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- 12. Architectural Detail** – Additional 3D façade sections added to documentation set to illustrate building façade articulation, materiality, and ESD strategy; Additional dimensions and information added, shadow diagrams updated.
- 13. Development Summary** - GFA maintained at 59,289sqm and height below the height plane.
- 14. Building A** - 2 storey colonnade added to the north and east of Building A.
- 15. Building B** - Relocation of Building B to the east so that it matches setback of the existing building from the western boundary, resulting in a reduction in the separation between Building A and B from 20m to 17m for the 4 storey podium.
- 16. Building B Void and Lower Ground Level Connection** - Relocation of void in Building B. Lowering of building height of 2 storeys above the void; New public access between Building B lobby atrium and new private road. Deletion of screens previously shown covering the lower ground level atrium facade to maximise visual connection.
- 17. Column positions at transfer floor from podium to towers** – Setback of the line of columns located on the building edge to the west on Building A Level 3 and 4 and Building B Level 4, from the external facade to create a cantilever form at the building edges to reinforce the podium scale of both buildings; Re-distribution of floor space to Building A to maintain overall GFA of 59,289sqm.
- 18. Substation** - Relocation of originally proposed substation kiosk to be within Building B.
- 19. Tanked Basement** – New tanked basement shoring detail provided.

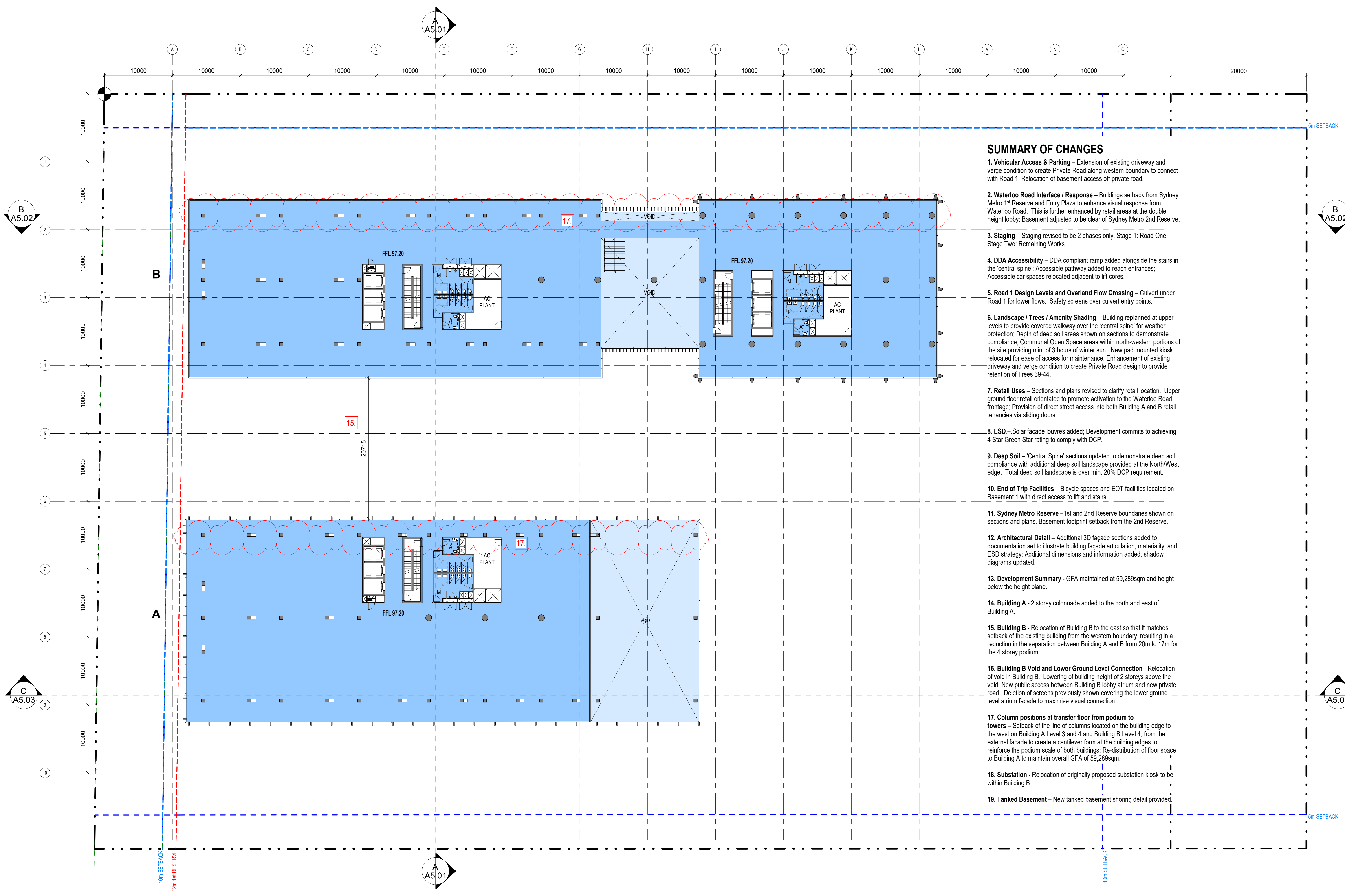
Rev	Description	Date
A	DA ISSUE	05/05/2021
B	S34 CONFERENCE	01/10/2021
C	AMENDED PLANS	29/10/2021
D	AMENDED PLANS	09/12/2021

Project Name  
63-71 Waterloo Road ,Macquarie Park  
Client Name  
UT 65 Pty Ltd



Drawing Title LEVEL 9			Project No. A21005
SCALE 1 : 250 @ A1	Date 2021.10.29	Drawing no: A3.13	ISSUE D





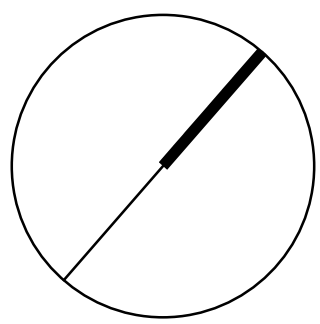
### SUMMARY OF CHANGES

- 1. Vehicular Access & Parking** – Extension of existing driveway and verge condition to create Private Road along western boundary to connect with Road 1. Relocation of basement access off private road.
- 2. Waterloo Road Interface / Response** – Buildings setback from Sydney Metro 1<sup>st</sup> Reserve and Entry Plaza to enhance visual response from Waterloo Road. This is further enhanced by retail areas at the double height lobby; Basement adjusted to be clear of Sydney Metro 2nd Reserve.
- 3. Staging** – Staging revised to be 2 phases only. Stage 1: Road One, Stage Two: Remaining Works.
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- 12. Architectural Detail** – Additional 3D façade sections added to documentation set to illustrate building façade articulation, materiality, and ESD strategy; Additional dimensions and information added, shadow diagrams updated.
- 13. Development Summary** - GFA maintained at 59,289sqm and height below the height plane.
- 14. Building A** - 2 storey colonnade added to the north and east of Building A.
- 15. Building B** - Relocation of Building B to the east so that it matches setback of the existing building from the western boundary, resulting in a reduction in the separation between Building A and B from 20m to 17m for the 4 storey podium.
- 16. Building B Void and Lower Ground Level Connection** - Relocation of void in Building B. Lowering of building height of 2 storeys above the void; New public access between Building B lobby atrium and new private road. Deletion of screens previously shown covering the lower ground level atrium facade to maximise visual connection.
- 17. Column positions at transfer floor from podium to towers** – Setback of the line of columns located on the building edge to the west on Building A Level 3 and 4 and Building B Level 4, from the external facade to create a cantilever form at the building edges to reinforce the podium scale of both buildings; Re-distribution of floor space to Building A to maintain overall GFA of 59,289sqm.
- 18. Substation** - Relocation of originally proposed substation kiosk to be within Building B.
- 19. Tanked Basement** – New tanked basement shoring detail provided.

Rev	Description	Date
A	DA ISSUE	05/05/2021
B	S34 CONFERENCE	01/10/2021
C	AMENDED PLANS	29/10/2021
D	AMENDED PLANS	09/12/2021

Project Name  
**63-71 Waterloo Road ,Macquarie Park**

Client Name  
**UT 65 Pty Ltd**



Drawing Title  
**LEVEL 10**

SCALE  
1 : 250 @ A1

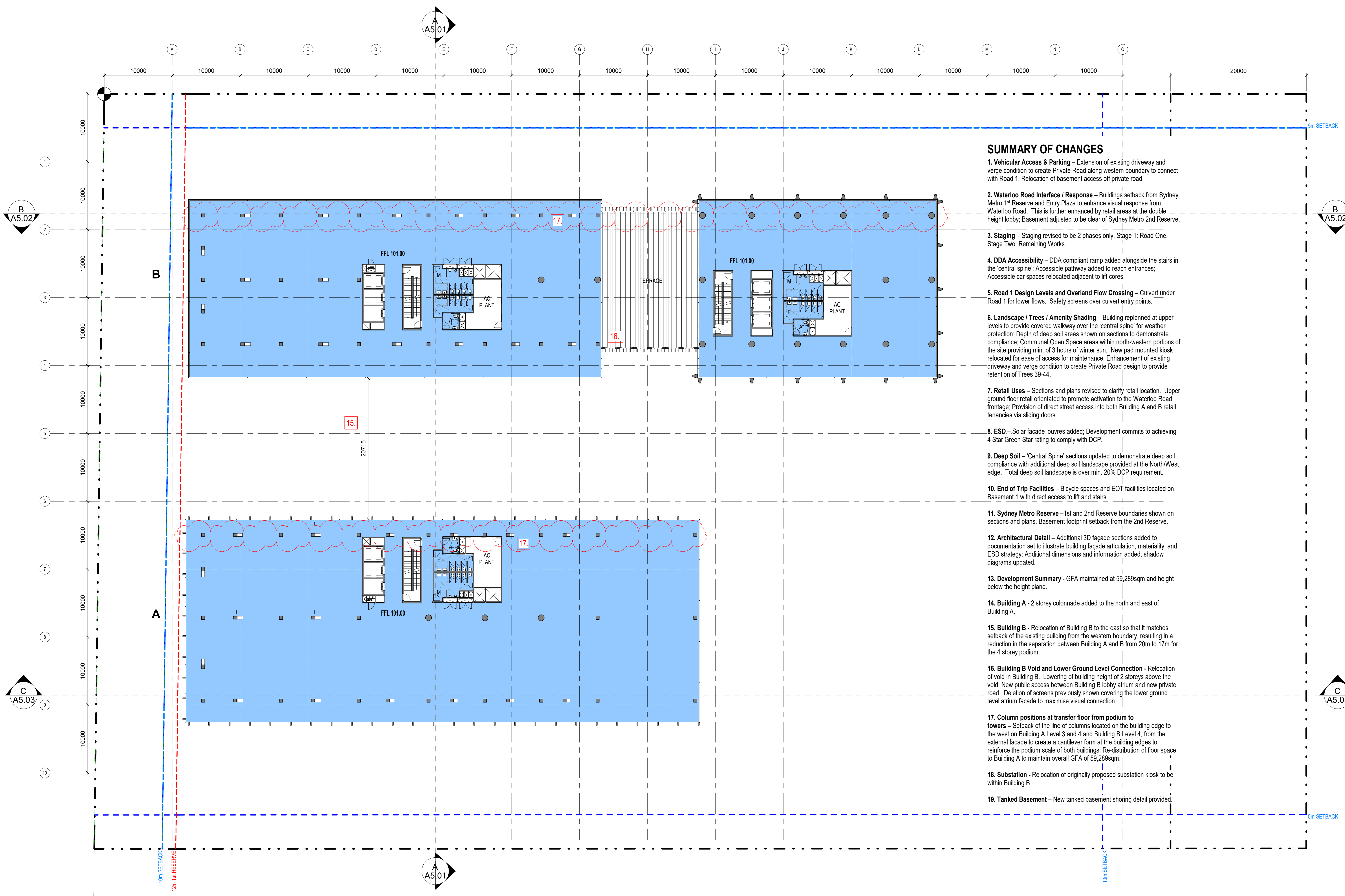
Date  
2021.10.29

Drawing no:  
A3.14

Project No.  
A21005

ISSUE  
D





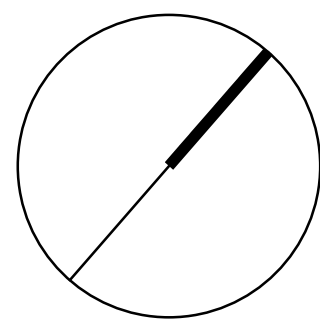
### SUMMARY OF CHANGES

- 1. Vehicular Access & Parking** – Extension of existing driveway and verge condition to create Private Road along western boundary to connect with Road 1. Relocation of basement access off private road.
- 2. Waterloo Road Interface / Response** – Buildings setback from Sydney Metro 1<sup>st</sup> Reserve and Entry Plaza to enhance visual response from Waterloo Road. This is further enhanced by retail areas at the double height lobby; Basement adjusted to be clear of Sydney Metro 2nd Reserve.
- 3. Staging** – Staging revised to be 2 phases only. Stage 1: Road One, Stage Two: Remaining Works.
- 4. DDA Accessibility** – DDA compliant ramp added alongside the stairs in the 'central spine'; Accessible pathway added to reach entrances; Accessible car spaces relocated adjacent to lift cores.
- 5. Road 1 Design Levels and Overland Flow Crossing** – Culvert under Road 1 for lower flows. Safety screens over culvert entry points.
- 6. Landscape / Trees / Amenity Shading** – Building replanned at upper levels to provide covered walkway over the 'central spine' for weather protection; Depth of deep soil areas shown on sections to demonstrate compliance; Communal Open Space areas within north-western portions of the site providing min. of 3 hours of winter sun. New pad mounted kiosk relocated for ease of access for maintenance. Enhancement of existing driveway and verge condition to create Private Road design to provide retention of Trees 39-44.
- 7. Retail Uses** – Sections and plans revised to clarify retail location. Upper ground floor retail orientated to promote activation to the Waterloo Road frontage; Provision of direct street access into both Building A and B retail tenancies via sliding doors.
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- 11. Sydney Metro Reserve** – 1st and 2nd Reserve boundaries shown on sections and plans. Basement footprint setback from the 2nd Reserve.
- 12. Architectural Detail** – Additional 3D façade sections added to documentation set to illustrate building façade articulation, materiality, and ESD strategy; Additional dimensions and information added, shadow diagrams updated.
- 13. Development Summary** - GFA maintained at 59,289sqm and height below the height plane.
- 14. Building A** - 2 storey colonnade added to the north and east of Building A.
- 15. Building B** - Relocation of Building B to the east so that it matches setback of the existing building from the western boundary, resulting in a reduction in the separation between Building A and B from 20m to 17m for the 4 storey podium.
- 16. Building B Void and Lower Ground Level Connection** - Relocation of void in Building B. Lowering of building height of 2 storeys above the void; New public access between Building B lobby atrium and new private road. Deletion of screens previously shown covering the lower ground level atrium facade to maximise visual connection.
- 17. Column positions at transfer floor from podium to towers** – Setback of the line of columns located on the building edge to the west on Building A Level 3 and 4 and Building B Level 4, from the external facade to create a cantilever form at the building edges to reinforce the podium scale of both buildings; Re-distribution of floor space to Building A to maintain overall GFA of 59,289sqm.
- 18. Substation** - Relocation of originally proposed substation kiosk to be within Building B.
- 19. Tanked Basement** – New tanked basement shoring detail provided.

Rev	Description	Date
A	DA ISSUE	05/05/2021
B	S34 CONFERENCE	01/10/2021
C	AMENDED PLANS	29/10/2021
D	AMENDED PLANS	09/12/2021

Project Name  
**63-71 Waterloo Road ,Macquarie Park**

Client Name  
**UT 65 Pty Ltd**



Drawing Title  
**LEVEL 11**

SCALE  
1 : 250 @ A1

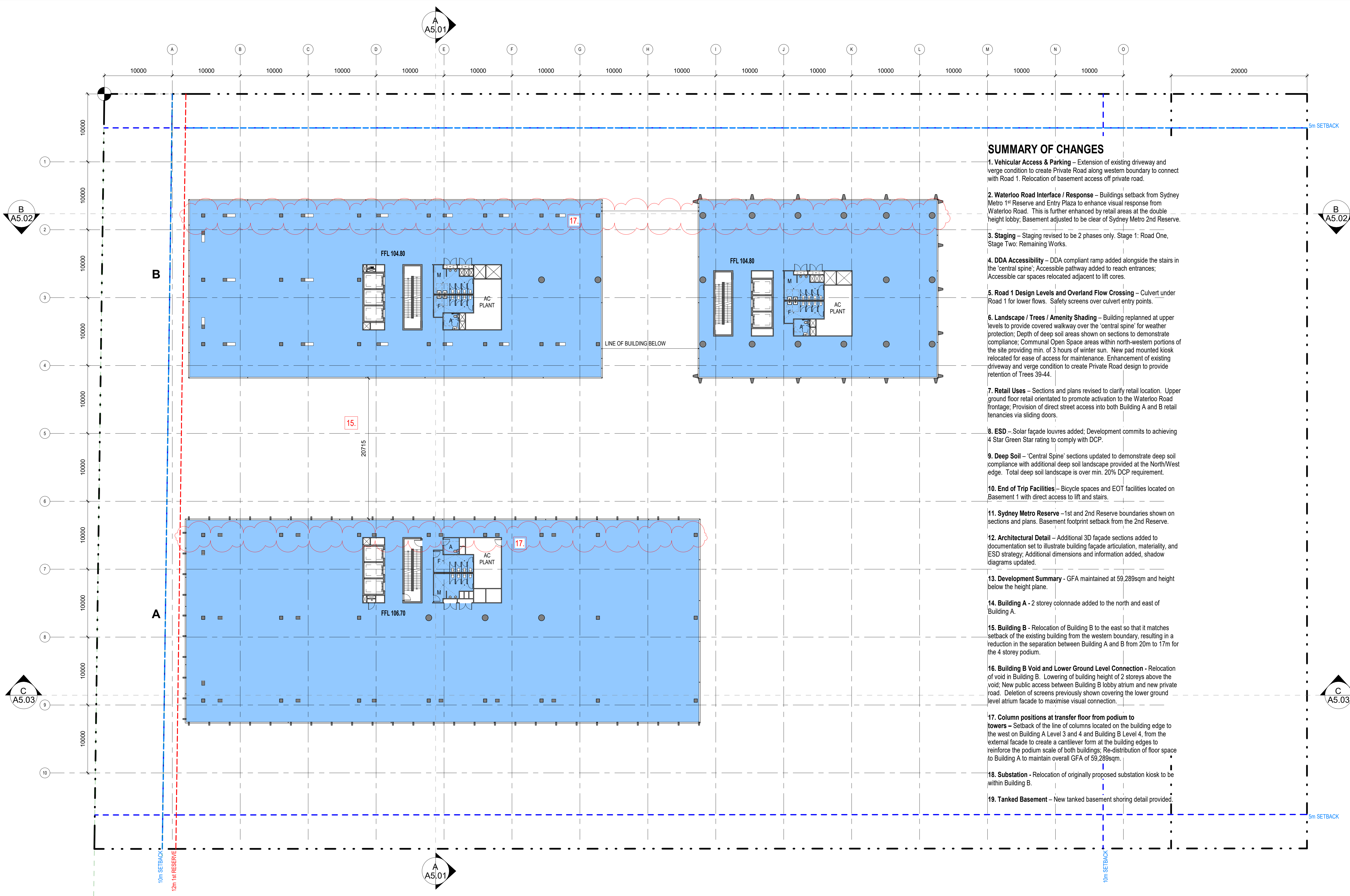
Date  
2021.10.29

Drawing no:  
A3.15

Project No.  
A21005

ISSUE  
D



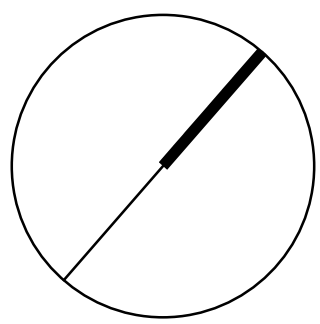


SUMMARY OF CHANGES

- 1. Vehicular Access & Parking** – Extension of existing driveway and verge condition to create Private Road along western boundary to connect with Road 1. Relocation of basement access off private road.
- 2. Waterloo Road Interface / Response** – Buildings setback from Sydney Metro 1<sup>st</sup> Reserve and Entry Plaza to enhance visual response from Waterloo Road. This is further enhanced by retail areas at the double height lobby; Basement adjusted to be clear of Sydney Metro 2nd Reserve.
- 3. Staging** – Staging revised to be 2 phases only. Stage 1: Road One, Stage Two: Remaining Works.
- 4. DDA Accessibility** – DDA compliant ramp added alongside the stairs in the 'central spine'; Accessible pathway added to reach entrances; Accessible car spaces relocated adjacent to lift cores.
- 5. Road 1 Design Levels and Overland Flow Crossing** – Culvert under Road 1 for lower flows. Safety screens over culvert entry points.
- 6. Landscape / Trees / Amenity Shading** – Building replanned at upper levels to provide covered walkway over the 'central spine' for weather protection; Depth of deep soil areas shown on sections to demonstrate compliance; Communal Open Space areas within north-western portions of the site providing min. of 3 hours of winter sun. New pad mounted kiosk relocated for ease of access for maintenance. Enhancement of existing driveway and verge condition to create Private Road design to provide retention of Trees 39-44.
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- 8. ESD** – Solar façade louvres added; Development commits to achieving 4 Star Green Star rating to comply with DCP.
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- 11. Sydney Metro Reserve** – 1st and 2nd Reserve boundaries shown on sections and plans. Basement footprint setback from the 2nd Reserve.
- 12. Architectural Detail** – Additional 3D façade sections added to documentation set to illustrate building façade articulation, materiality, and ESD strategy; Additional dimensions and information added, shadow diagrams updated.
- 13. Development Summary** - GFA maintained at 59,289sqm and height below the height plane.
- 14. Building A** - 2 storey colonnade added to the north and east of Building A.
- 15. Building B** - Relocation of Building B to the east so that it matches setback of the existing building from the western boundary, resulting in a reduction in the separation between Building A and B from 20m to 17m for the 4 storey podium.
- 16. Building B Void and Lower Ground Level Connection** - Relocation of void in Building B. Lowering of building height of 2 storeys above the void; New public access between Building B lobby atrium and new private road. Deletion of screens previously shown covering the lower ground level atrium facade to maximise visual connection.
- 17. Column positions at transfer floor from podium to towers** – Setback of the line of columns located on the building edge to the west on Building A Level 3 and 4 and Building B Level 4, from the external facade to create a cantilever form at the building edges to reinforce the podium scale of both buildings; Re-distribution of floor space to Building A to maintain overall GFA of 59,289sqm.
- 18. Substation** - Relocation of originally proposed substation kiosk to be within Building B.
- 19. Tanked Basement** – New tanked basement shoring detail provided.

Rev	Description	Date
A	DA ISSUE	05/05/2021
B	S34 CONFERENCE	01/10/2021
C	AMENDED PLANS	29/10/2021
D	AMENDED PLANS	01/11/2021
E	AMENDED PLANS	09/12/2021

Project Name  
63-71 Waterloo Road ,Macquarie Park  
Client Name  
UT 65 Pty Ltd



Drawing Title  
LEVEL 12

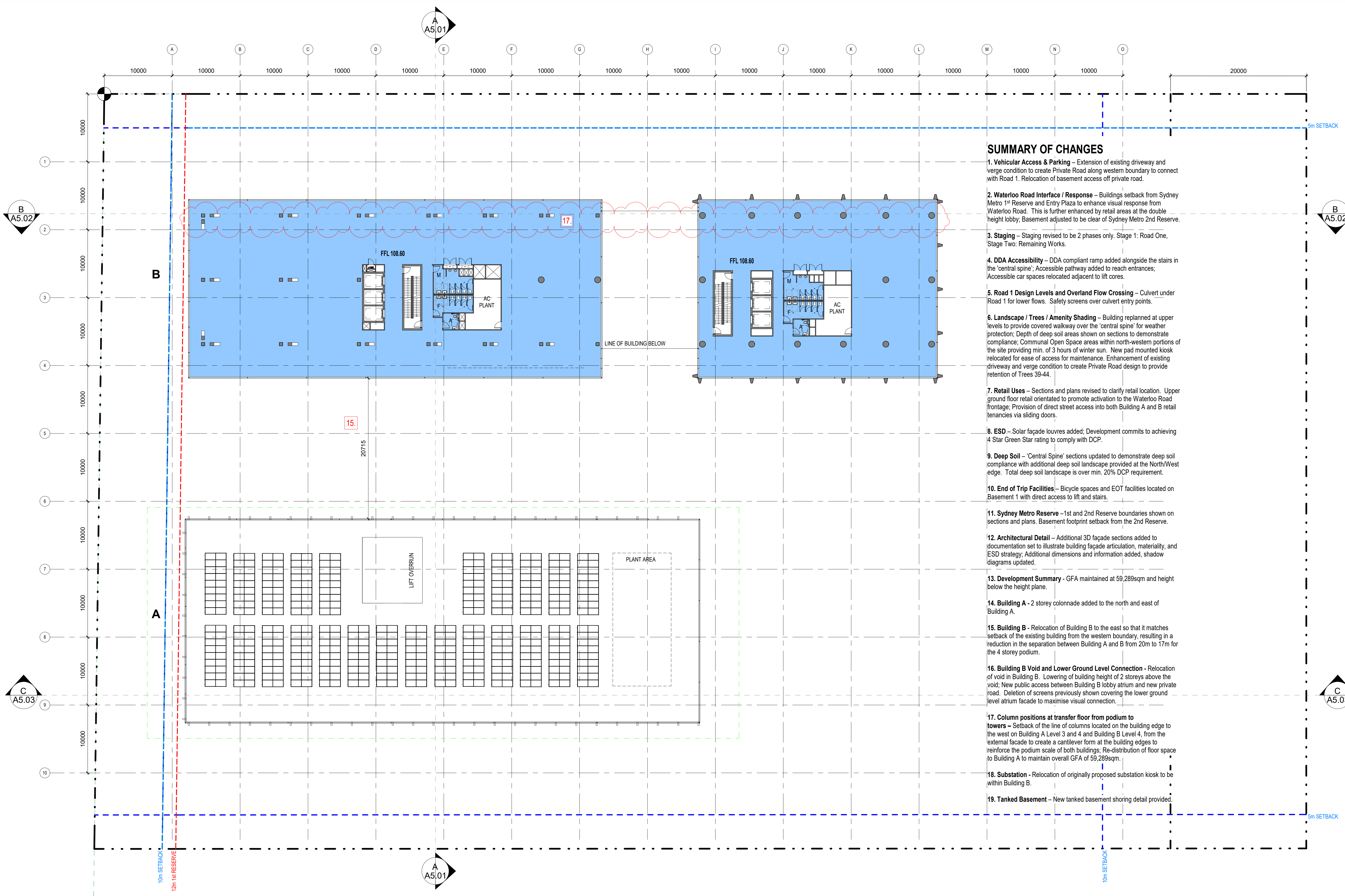
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Date  
2021.10.29

Drawing no:  
A3.16

Project No.  
A21005  
ISSUE  
E





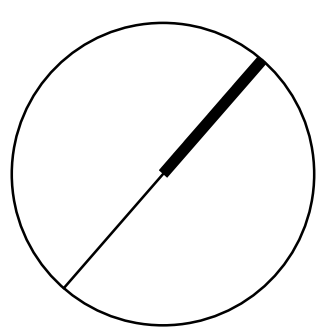
### SUMMARY OF CHANGES

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Rev	Description	Date
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C	AMENDED PLANS	29/10/2021
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E	AMENDED PLANS	09/12/2021

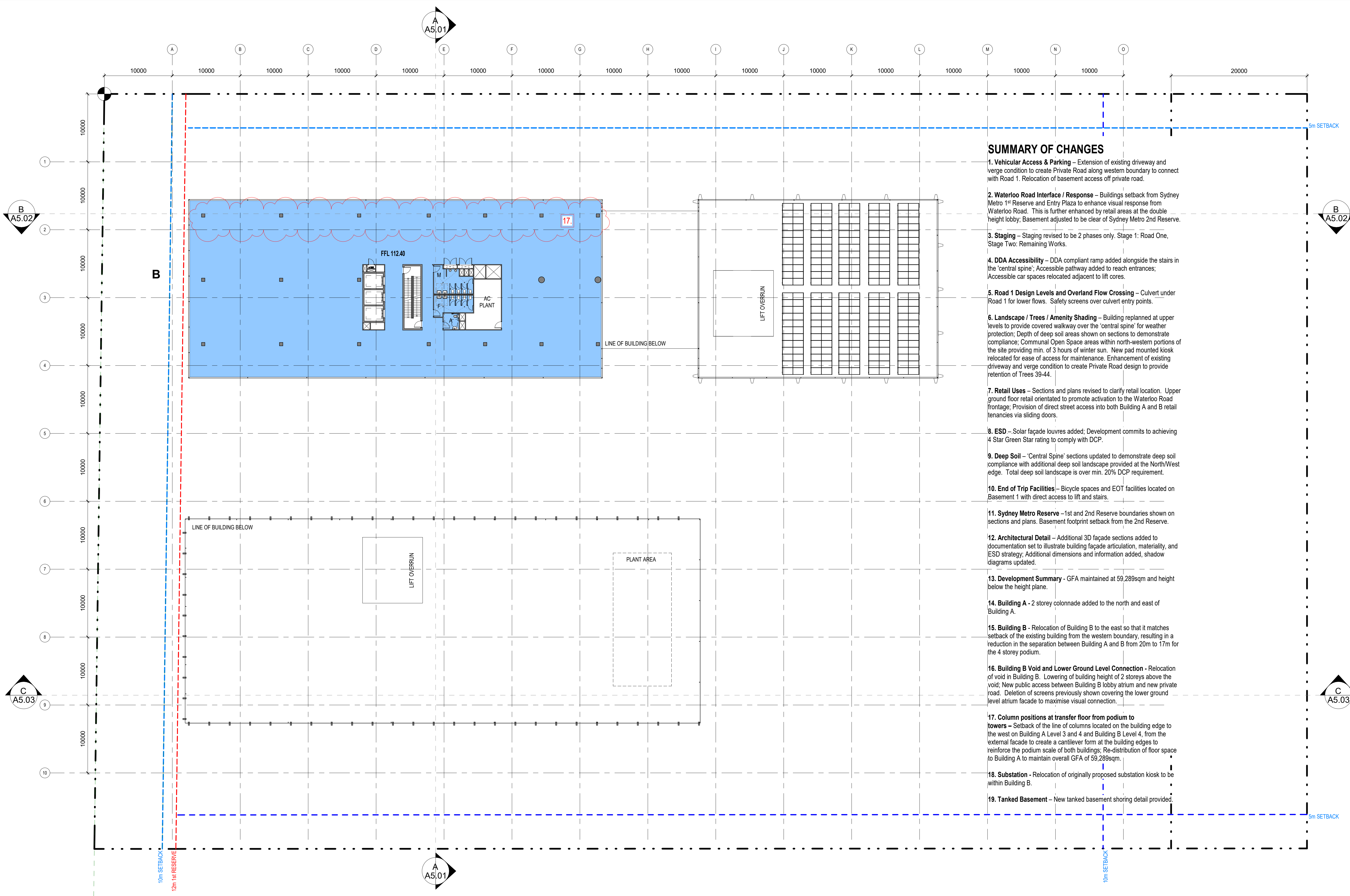
Project Name  
**63-71 Waterloo Road ,Macquarie Park**

Client Name  
**UT 65 Pty Ltd**



Drawing Title <b>LEVEL 13</b>			Project No. A21005
SCALE 1 : 250 @ A1	Date 2021.10.29	Drawing no: A3.17	ISSUE E





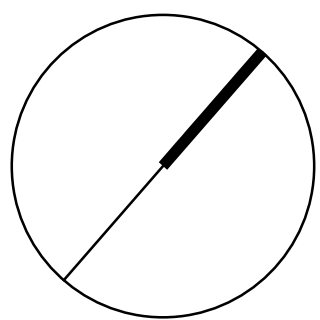
### SUMMARY OF CHANGES

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Rev	Description	Date
A	AMENDED PLANS	29/10/2021
B	AMENDED PLANS	01/11/2021
C	AMENDED PLANS	09/12/2021

Project Name  
**63-71 Waterloo Road ,Macquarie Park**

Client Name  
**UT 65 Pty Ltd**



Drawing Title  
**LEVEL 14**

SCALE  
1 : 250 @ A1

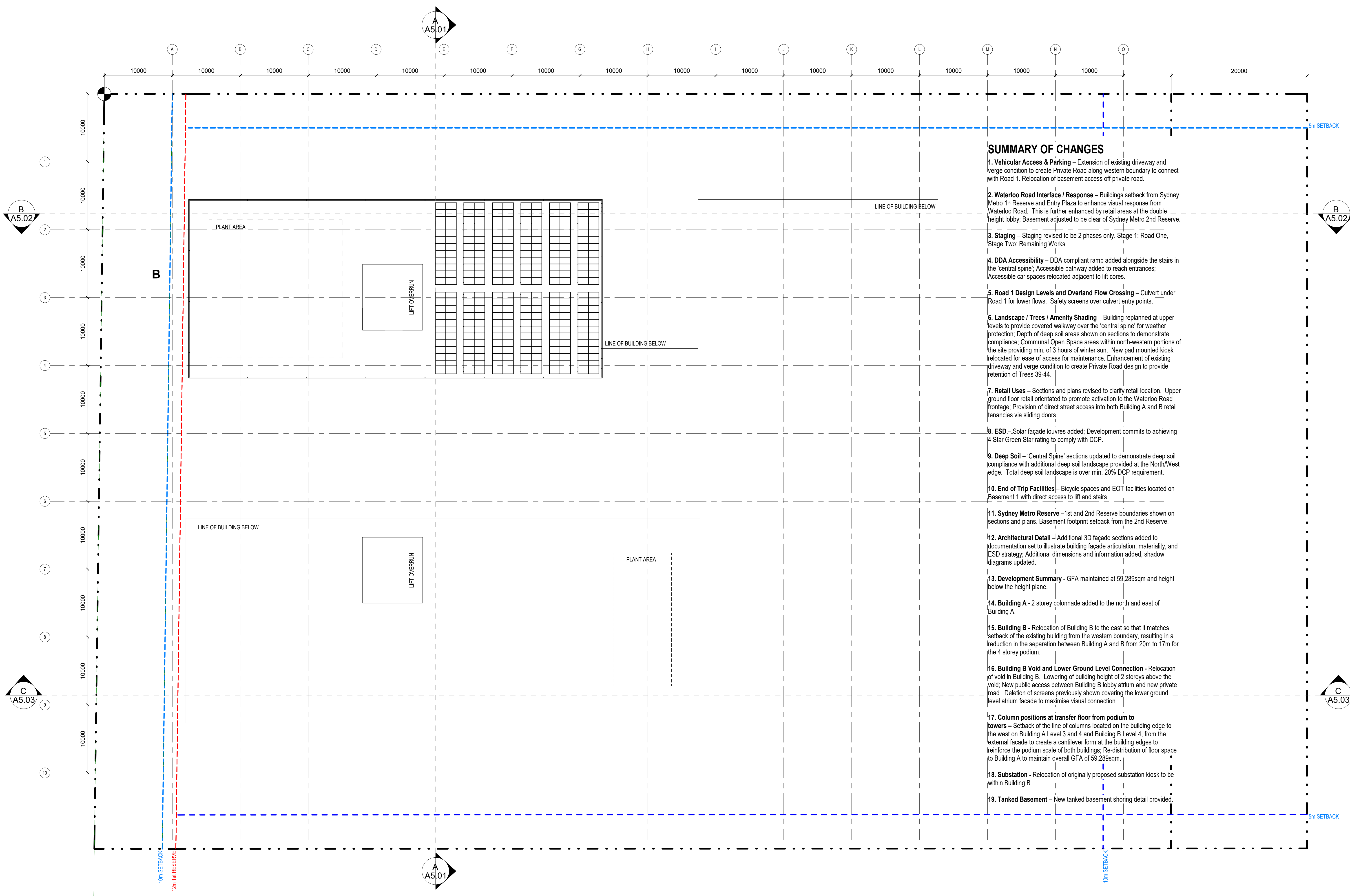
Date  
2021.10.29

Drawing no:  
A3.18

Project No.  
A21005

ISSUE  
C





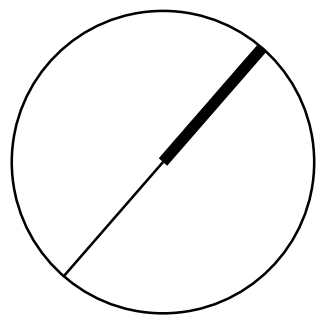
### SUMMARY OF CHANGES

- 1. Vehicular Access & Parking** – Extension of existing driveway and verge condition to create Private Road along western boundary to connect with Road 1. Relocation of basement access off private road.
- 2. Waterloo Road Interface / Response** – Buildings setback from Sydney Metro 1<sup>st</sup> Reserve and Entry Plaza to enhance visual response from Waterloo Road. This is further enhanced by retail areas at the double height lobby; Basement adjusted to be clear of Sydney Metro 2nd Reserve.
- 3. Staging** – Staging revised to be 2 phases only. Stage 1: Road One, Stage Two: Remaining Works.
- 4. DDA Accessibility** – DDA compliant ramp added alongside the stairs in the 'central spine'; Accessible pathway added to reach entrances; Accessible car spaces relocated adjacent to lift cores.
- 5. Road 1 Design Levels and Overland Flow Crossing** – Culvert under Road 1 for lower flows. Safety screens over culvert entry points.
- 6. Landscape / Trees / Amenity Shading** – Building replanned at upper levels to provide covered walkway over the 'central spine' for weather protection; Depth of deep soil areas shown on sections to demonstrate compliance; Communal Open Space areas within north-western portions of the site providing min. of 3 hours of winter sun. New pad mounted kiosk relocated for ease of access for maintenance. Enhancement of existing driveway and verge condition to create Private Road design to provide retention of Trees 39-44.
- 7. Retail Uses** – Sections and plans revised to clarify retail location. Upper ground floor retail orientated to promote activation to the Waterloo Road frontage; Provision of direct street access into both Building A and B retail tenancies via sliding doors.
- 8. ESD** – Solar façade louvres added; Development commits to achieving 4 Star Green Star rating to comply with DCP.
- 9. Deep Soil** – 'Central Spine' sections updated to demonstrate deep soil compliance with additional deep soil landscape provided at the North/West edge. Total deep soil landscape is over min. 20% DCP requirement.
- 10. End of Trip Facilities** – Bicycle spaces and EOT facilities located on Basement 1 with direct access to lift and stairs.
- 11. Sydney Metro Reserve** – 1st and 2nd Reserve boundaries shown on sections and plans. Basement footprint setback from the 2nd Reserve.
- 12. Architectural Detail** – Additional 3D façade sections added to documentation set to illustrate building façade articulation, materiality, and ESD strategy; Additional dimensions and information added, shadow diagrams updated.
- 13. Development Summary** - GFA maintained at 59,289sqm and height below the height plane.
- 14. Building A** - 2 storey colonnade added to the north and east of Building A.
- 15. Building B** - Relocation of Building B to the east so that it matches setback of the existing building from the western boundary, resulting in a reduction in the separation between Building A and B from 20m to 17m for the 4 storey podium.
- 16. Building B Void and Lower Ground Level Connection** - Relocation of void in Building B. Lowering of building height of 2 storeys above the void; New public access between Building B lobby atrium and new private road. Deletion of screens previously shown covering the lower ground level atrium facade to maximise visual connection.
- 17. Column positions at transfer floor from podium to towers** – Setback of the line of columns located on the building edge to the west on Building A Level 3 and 4 and Building B Level 4, from the external facade to create a cantilever form at the building edges to reinforce the podium scale of both buildings; Re-distribution of floor space to Building A to maintain overall GFA of 59,289sqm.
- 18. Substation** - Relocation of originally proposed substation kiosk to be within Building B.
- 19. Tanked Basement** – New tanked basement shoring detail provided.

Rev	Description	Date
A	AMENDED PLANS	29/10/2021
B	AMENDED PLANS	01/11/2021

Project Name  
**63-71 Waterloo Road ,Macquarie Park**

Client Name  
**UT 65 Pty Ltd**



Drawing Title  
**LEVEL ROOF**

SCALE  
1 : 250 @ A1

Date  
2021.10.29

Drawing no:  
A3.19

Project No.  
A21005

ISSUE  
B





### SUMMARY OF CHANGES

- Vehicular Access & Parking** – Extension of existing driveway and verge condition to create Private Road along western boundary to connect with Road 1. Relocation of basement access off private road.
- Waterloo Road Interface / Response** – Buildings setback from Sydney Metro 1<sup>st</sup> Reserve and Entry Plaza to enhance visual response from Waterloo Road. This is further enhanced by retail areas at the double height lobby; Basement adjusted to be clear of Sydney Metro 2nd Reserve.
- Staging** – Staging revised to be 2 phases only. Stage 1: Road One, Stage Two: Remaining Works.
- DDA Accessibility** – DDA compliant ramp added alongside the stairs in the 'central spine'; Accessible pathway added to reach entrances; Accessible car spaces relocated adjacent to lift cores.
- Road 1 Design Levels and Overland Flow Crossing** – Culvert under Road 1 for lower flows. Safety screens over culvert entry points.
- Landscape / Trees / Amenity Shading** – Building replanned at upper levels to provide covered walkway over the 'central spine' for weather protection; Depth of deep soil areas shown on sections to demonstrate compliance; Communal Open Space areas within north-western portions of the site providing min. of 3 hours of winter sun. New pad mounted kiosk relocated for ease of access for maintenance. Enhancement of existing driveway and verge condition to create Private Road design to provide retention of Trees 39-44.
- Retail Uses** – Sections and plans revised to clarify retail location. Upper ground floor retail orientated to promote activation to the Waterloo Road frontage; Provision of direct street access into both Building A and B retail tenancies via sliding doors.
- ESD** – Solar façade louvres added; Development commits to achieving 4 Star Green Star rating to comply with DCP.
- Deep Soil** – 'Central Spine' sections updated to demonstrate deep soil compliance with additional deep soil landscape provided at the North/West edge. Total deep soil landscape is over min. 20% DCP requirement. achieve a 4 storey podium character.
- End of Trip Facilities** – Bicycle spaces and EOT facilities located on Basement 1 with direct access to lift and stairs.
- Sydney Metro Reserve** – 1st and 2nd Reserve boundaries shown on sections and plans. Basement footprint setback from the 2nd Reserve.
- Architectural Detail** – Additional 3D façade sections added to documentation set to illustrate building façade articulation, materiality, and ESD strategy; Additional dimensions and information added, shadow diagrams updated.
- Development Summary** – GFA maintained at 59,289sqm and height below the height plane.
- Building A** – 2 storey colonnade added to the north and east of Building A.
- Building B** – Relocation of Building B to the east so that it matches setback of the existing building from the western boundary, resulting in a reduction in the separation between Building A and B from 20m to 17m for the 4 storey podium.
- Building B Void and Lower Ground Level Connection** – Relocation of void in Building B. Lowering of building height of 2 storeys above the void; New public access between Building B lobby atrium and new private road. Deletion of screens previously shown covering the lower ground level atrium facade to maximise visual connection.
- Column positions at transfer floor from podium to towers** – Setback of the line of columns located on the building edge to the west on Building A Level 3 and 4 and Building B Level 4, from the external facade to create a cantilever form at the building edges to reinforce the podium scale of both buildings; Re-distribution of floor space to Building A to maintain overall GFA of 59,289sqm.
- Substation** – Relocation of originally proposed substation kiosk to be within Building B.
- Tanked Basement** – New tanked basement shoring detail provided.

Rev	Description	Date
A	DA ISSUE	05/05/2021
B	S34 CONFERENCE	01/10/2021
C	AMENDED PLANS	29/10/2021
D	AMENDED PLANS	01/11/2021
E	AMENDED PLANS	09/12/2021

Project Name  
**63-71 Waterloo Road ,Macquarie Park**

Client Name  
**UT 65 Pty Ltd**

Drawing Title  
**ELEVATION - WEST - BUILDING B**

SCALE  
1 : 250 @ A1

Date  
2021.10.29

Drawing no:  
A4.01

Project No.  
A21005

ISSUE  
E





SUMMARY OF CHANGES

- 1. Vehicular Access & Parking** – Extension of existing driveway and verge condition to create Private Road along western boundary to connect with Road 1. Relocation of basement access off private road.

**2. Waterloo Road Interface / Response** – Buildings setback from Sydney Metro 1<sup>st</sup> Reserve and Entry Plaza to enhance visual response from Waterloo Road. This is further enhanced by retail areas at the double height lobby; Basement adjusted to be clear of Sydney Metro 2nd Reserve.

**3. Staging** – Staging revised to be 2 phases only. Stage 1: Road One, Stage Two: Remaining Works.

**4. DDA Accessibility** – DDA compliant ramp added alongside the stairs in the 'central spine'; Accessible pathway added to reach entrances; Accessible car spaces relocated adjacent to lift cores.

**5. Road 1 Design Levels and Overland Flow Crossing** – Culvert under Road 1 for lower flows. Safety screens over culvert entry points.
- 6. Landscape / Trees / Amenity Shading** – Building replanned at upper levels to provide covered walkway over the 'central spine' for weather protection; Depth of deep soil areas shown on sections to demonstrate compliance; Communal Open Space areas within north-western portions of the site providing min. of 3 hours of winter sun. New pad mounted kiosk relocated for ease of access for maintenance. Enhancement of existing driveway and verge condition to create Private Road design to provide retention of Trees 39-44.

**7. Retail Uses** – Sections and plans revised to clarify retail location. Upper ground floor retail orientated to promote activation to the Waterloo Road frontage; Provision of direct street access into both Building A and B retail tenancies via sliding doors.

**8. ESD** – Solar façade louvres added; Development commits to achieving 4 Star Green Star rating to comply with DCP.

**9. Deep Soil** – 'Central Spine' sections updated to demonstrate deep soil compliance with additional deep soil landscape provided at the North/West edge. Total deep soil landscape is over min. 20% DCP requirement.achieve a 4 storey podium character.
- 10. End of Trip Facilities** – Bicycle spaces and EOT facilities located on Basement 1 with direct access to lift and stairs.

**11. Sydney Metro Reserve** – 1st and 2nd Reserve boundaries shown on sections and plans. Basement footprint setback from the 2nd Reserve.

**12. Architectural Detail** – Additional 3D façade sections added to documentation set to illustrate building façade articulation, materiality, and ESD strategy; Additional dimensions and information added, shadow diagrams updated.

**13. Development Summary** - GFA maintained at 59,289sqm and height below the height plane.

**14. Building A** - 2 storey colonnade added to the north and east of Building A.

**15. Building B** - Relocation of Building B to the east so that it matches setback of the existing building from the western boundary, resulting in a reduction in the separation between Building A and B from 20m to 17m for the 4 storey podium.
- 16. Building B Void and Lower Ground Level Connection** - Relocation of void in Building B. Lowering of building height of 2 storeys above the void; New public access between Building B lobby atrium and new private road. Deletion of screens previously shown covering the lower ground level atrium facade to maximise visual connection.

**17. Column positions at transfer floor from podium to towers** – Setback of the line of columns located on the building edge to the west on Building A Level 3 and 4 and Building B Level 4, from the external facade to create a cantilever form at the building edges to reinforce the podium scale of both buildings; Re-distribution of floor space to Building A to maintain overall GFA of 59,289sqm.

**18. Substation** - Relocation of originally proposed substation kiosk to be within Building B.

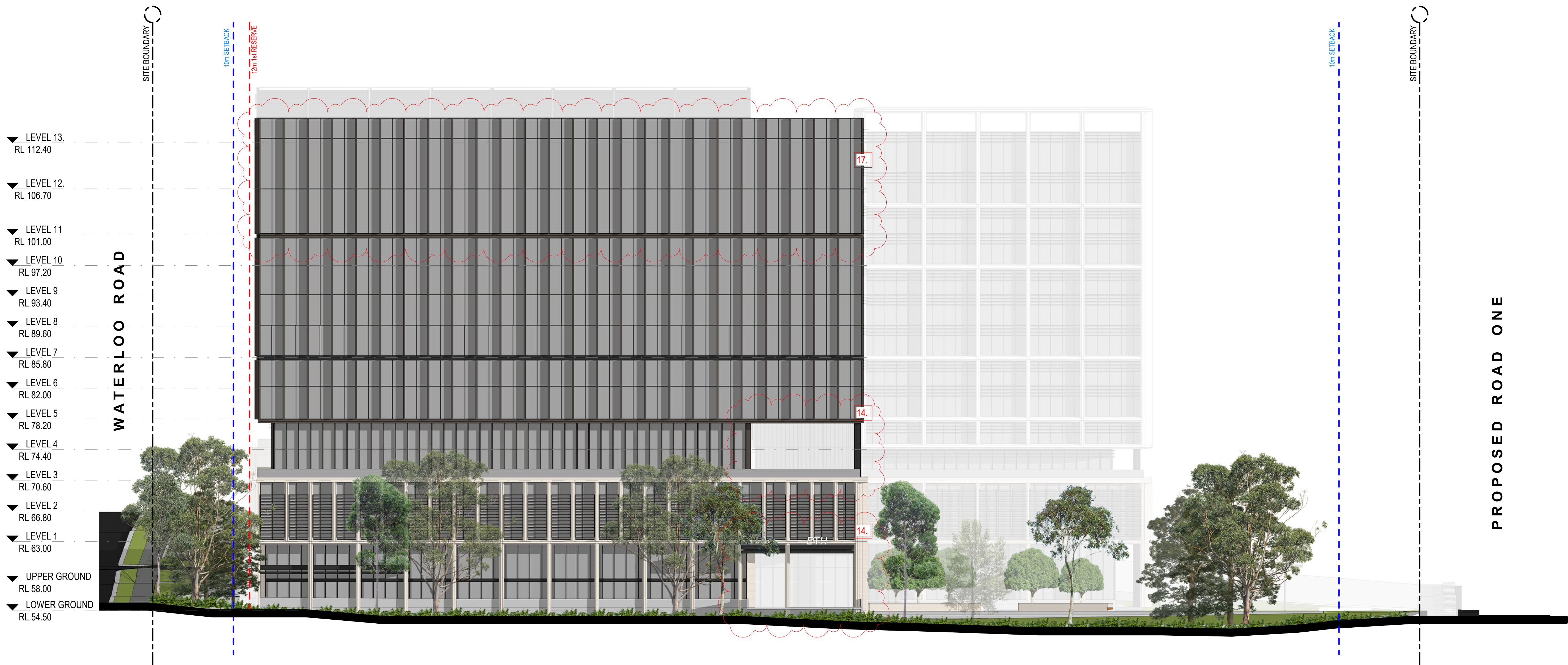
**19. Tanked Basement** – New tanked basement shoring detail provided.

Rev	Description	Date
A	DA ISSUE	05/05/2021
B	S34 CONFERENCE	01/10/2021
C	AMENDED PLANS	29/10/2021
D	AMENDED PLANS	01/11/2021
E	AMENDED PLANS	09/12/2021

Project Name	63-71 Waterloo Road ,Macquarie Park
Client Name	UT 65 Pty Ltd

Drawing Title			Project No.
ELEVATION - NORTH			A21005
SCALE	Date	Drawing no:	ISSUE
1 : 250 @ A1	2021.10.29	A4.02	E





SUMMARY OF CHANGES

- 1. Vehicular Access & Parking** – Extension of existing driveway and verge condition to create Private Road along western boundary to connect with Road 1. Relocation of basement access off private road.

**2. Waterloo Road Interface / Response** – Buildings setback from Sydney Metro 1<sup>st</sup> Reserve and Entry Plaza to enhance visual response from Waterloo Road. This is further enhanced by retail areas at the double height lobby; Basement adjusted to be clear of Sydney Metro 2nd Reserve.

**3. Staging** – Staging revised to be 2 phases only. Stage 1: Road One, Stage Two: Remaining Works.

**4. DDA Accessibility** – DDA compliant ramp added alongside the stairs in the 'central spine'; Accessible pathway added to reach entrances; Accessible car spaces relocated adjacent to lift cores.

**5. Road 1 Design Levels and Overland Flow Crossing** – Culvert under Road 1 for lower flows. Safety screens over culvert entry points.
- 6. Landscape / Trees / Amenity Shading** – Building replanned at upper levels to provide covered walkway over the 'central spine' for weather protection; Depth of deep soil areas shown on sections to demonstrate compliance; Communal Open Space areas within north-western portions of the site providing min. of 3 hours of winter sun. New pad mounted kiosk relocated for ease of access for maintenance. Enhancement of existing driveway and verge condition to create Private Road design to provide retention of Trees 39-44.

**7. Retail Uses** – Sections and plans revised to clarify retail location. Upper ground floor retail orientated to promote activation to the Waterloo Road frontage; Provision of direct street access into both Building A and B retail tenancies via sliding doors.

**8. ESD** – Solar façade louvres added; Development commits to achieving 4 Star Green Star rating to comply with DCP.

**9. Deep Soil** – 'Central Spine' sections updated to demonstrate deep soil compliance with additional deep soil landscape provided at the North/West edge. Total deep soil landscape is over min. 20% DCP requirement.achieve a 4 storey podium character.
- 10. End of Trip Facilities** – Bicycle spaces and EOT facilities located on Basement 1 with direct access to lift and stairs.

**11. Sydney Metro Reserve** –1st and 2nd Reserve boundaries shown on sections and plans. Basement footprint setback from the 2nd Reserve.

**12. Architectural Detail** – Additional 3D façade sections added to documentation set to illustrate building façade articulation, materiality, and ESD strategy; Additional dimensions and information added, shadow diagrams updated.

**13. Development Summary** - GFA maintained at 59,289sqm and height below the height plane.

**14. Building A** - 2 storey colonnade added to the north and east of Building A.

**15. Building B** - Relocation of Building B to the east so that it matches setback of the existing building from the western boundary, resulting in a reduction in the separation between Building A and B from 20m to 17m for the 4 storey podium.
- 16. Building B Void and Lower Ground Level Connection** - Relocation of void in Building B. Lowering of building height of 2 storeys above the void; New public access between Building B lobby atrium and new private road. Deletion of screens previously shown covering the lower ground level atrium facade to maximise visual connection.

**17. Column positions at transfer floor from podium to towers** – Setback of the line of columns located on the building edge to the west on Building A Level 3 and 4 and Building B Level 4, from the external facade to create a cantilever form at the building edges to reinforce the podium scale of both buildings; Re-distribution of floor space to Building A to maintain overall GFA of 59,289sqm.

**18. Substation** - Relocation of originally proposed substation kiosk to be within Building B.

**19. Tanked Basement** – New tanked basement shoring detail provided.

Rev	Description	Date
A	DA ISSUE	05/05/2021
B	S34 CONFERENCE	01/10/2021
C	AMENDED PLANS	29/10/2021
D	AMENDED PLANS	01/11/2021
E	AMENDED PLANS	09/12/2021

Project Name

63-71 Waterloo Road ,Macquarie Park

Client Name

UT 65 Pty Ltd

Drawing Title

ELEVATION - EAST - BUILDING A

SCALE	Date	Drawing no:
1 : 250 @ A1	2021.10.29	A4.03

Project No.

A21005

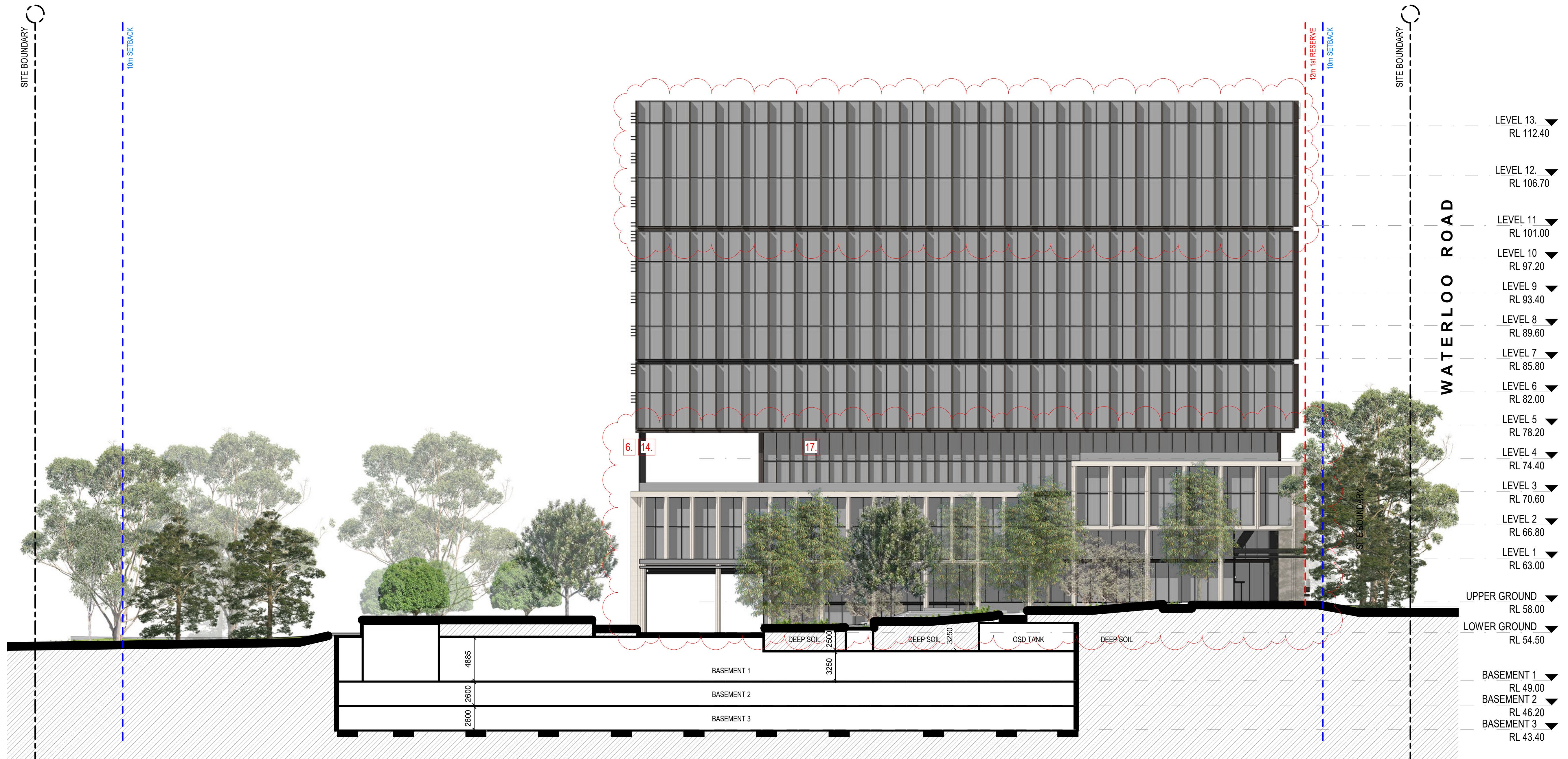
ISSUE

E









SUMMARY OF CHANGES

- 1. Vehicular Access & Parking** – Extension of existing driveway and verge condition to create Private Road along western boundary to connect with Road 1. Relocation of basement access off private road.

**2. Waterloo Road Interface / Response** – Buildings setback from Sydney Metro 1<sup>st</sup> Reserve and Entry Plaza to enhance visual response from Waterloo Road. This is further enhanced by retail areas at the double height lobby; Basement adjusted to be clear of Sydney Metro 2nd Reserve.

**3. Staging** – Staging revised to be 2 phases only. Stage 1: Road One, Stage Two: Remaining Works.

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**7. Retail Uses** – Sections and plans revised to clarify retail location. Upper ground floor retail orientated to promote activation to the Waterloo Road frontage; Provision of direct street access into both Building A and B retail tenancies via sliding doors.

**8. ESD** – Solar façade louvres added; Development commits to achieving 4 Star Green Star rating to comply with DCP.

**9. Deep Soil** – 'Central Spine' sections updated to demonstrate deep soil compliance with additional deep soil landscape provided at the North/West edge. Total deep soil landscape is over min. 20% DCP requirement. achieve a 4 storey podium character.
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**11. Sydney Metro Reserve** – 1st and 2nd Reserve boundaries shown on sections and plans. Basement footprint setback from the 2nd Reserve.

**12. Architectural Detail** – Additional 3D façade sections added to documentation set to illustrate building façade articulation, materiality, and ESD strategy; Additional dimensions and information added, shadow diagrams updated.

**13. Development Summary** - GFA maintained at 59,289sqm and height below the height plane.

**14. Building A** - 2 storey colonnade added to the north and east of Building A.

**15. Building B** - Relocation of Building B to the east so that it matches setback of the existing building from the western boundary, resulting in a reduction in the separation between Building A and B from 20m to 17m for the 4 storey podium.
- 16. Building B Void and Lower Ground Level Connection** - Relocation of void in Building B. Lowering of building height of 2 storeys above the void; New public access between Building B lobby atrium and new private road. Deletion of screens previously shown covering the lower ground level atrium facade to maximise visual connection.

**17. Column positions at transfer floor from podium to towers** – Setback of the line of columns located on the building edge to the west on Building A Level 3 and 4 and Building B Level 4, from the external facade to create a cantilever form at the building edges to reinforce the podium scale of both buildings; Re-distribution of floor space to Building A to maintain overall GFA of 59,289sqm.

**18. Substation** - Relocation of originally proposed substation kiosk to be within Building B.

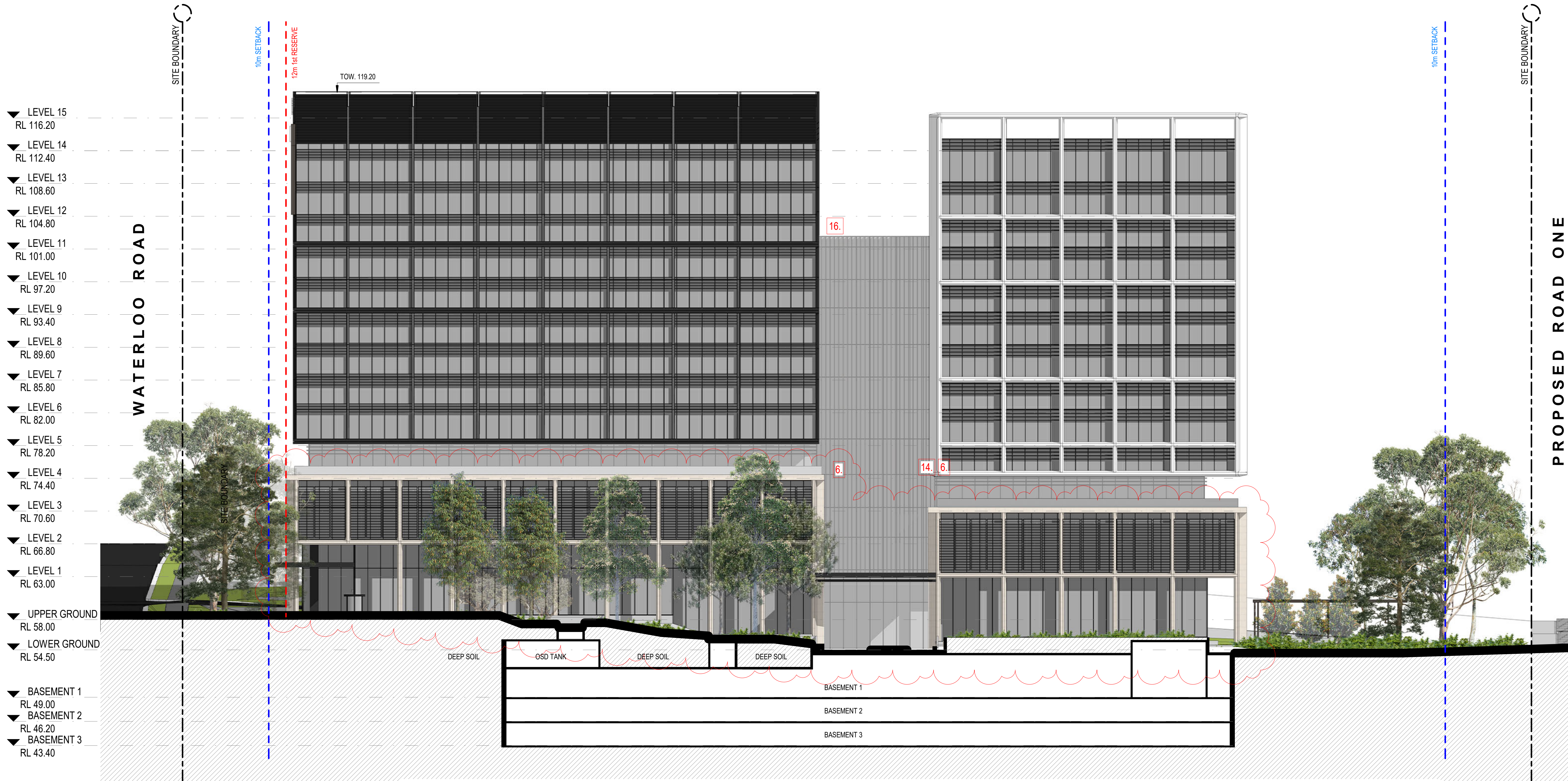
**19. Tanked Basement** – New tanked basement shoring detail provided.

Rev	Description	Date
A	DA ISSUE	05/05/2021
B	S34 CONFERENCE	01/10/2021
C	AMENDED PLANS	29/10/2021
D	AMENDED PLANS	01/11/2021
E	AMENDED PLANS	09/12/2021

Project Name
63-71 Waterloo Road ,Macquarie Park
Client Name
UT 65 Pty Ltd

Drawing Title			Project No.
ELEVATION - WEST - BUILDING A			A21005
SCALE	Date	Drawing no:	ISSUE
1 : 250 @ A1	2021.10.29	A4.05	E





SUMMARY OF CHANGES

- 1. Vehicular Access & Parking** – Extension of existing driveway and verge condition to create Private Road along western boundary to connect with Road 1. Relocation of basement access off private road.

**2. Waterloo Road Interface / Response** – Buildings setback from Sydney Metro 1<sup>st</sup> Reserve and Entry Plaza to enhance visual response from Waterloo Road. This is further enhanced by retail areas at the double height lobby; Basement adjusted to be clear of Sydney Metro 2nd Reserve.

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**12. Architectural Detail** – Additional 3D façade sections added to documentation set to illustrate building façade articulation, materiality, and ESD strategy; Additional dimensions and information added, shadow diagrams updated.

**13. Development Summary** - GFA maintained at 59,289sqm and height below the height plane.

**14. Building A** - 2 storey colonnade added to the north and east of Building A.

**15. Building B** - Relocation of Building B to the east so that it matches setback of the existing building from the western boundary, resulting in a reduction in the separation between Building A and B from 20m to 17m for the 4 storey podium.
- 16. Building B Void and Lower Ground Level Connection** - Relocation of void in Building B. Lowering of building height of 2 storeys above the void; New public access between Building B lobby atrium and new private road. Deletion of screens previously shown covering the lower ground level atrium facade to maximise visual connection.

**17. Column positions at transfer floor from podium to towers** – Setback of the line of columns located on the building edge to the west on Building A Level 3 and 4 and Building B Level 4, from the external facade to create a cantilever form at the building edges to reinforce the podium scale of both buildings; Re-distribution of floor space to Building A to maintain overall GFA of 59,289sqm.

**18. Substation** - Relocation of originally proposed substation kiosk to be within Building B.

**19. Tanked Basement** – New tanked basement shoring detail provided.

Rev	Description	Date
A	DA ISSUE	05/05/2021
B	S34 CONFERENCE	01/10/2021
C	AMENDED PLANS	29/10/2021
D	AMENDED PLANS	01/11/2021
E	AMENDED PLANS	09/12/2021

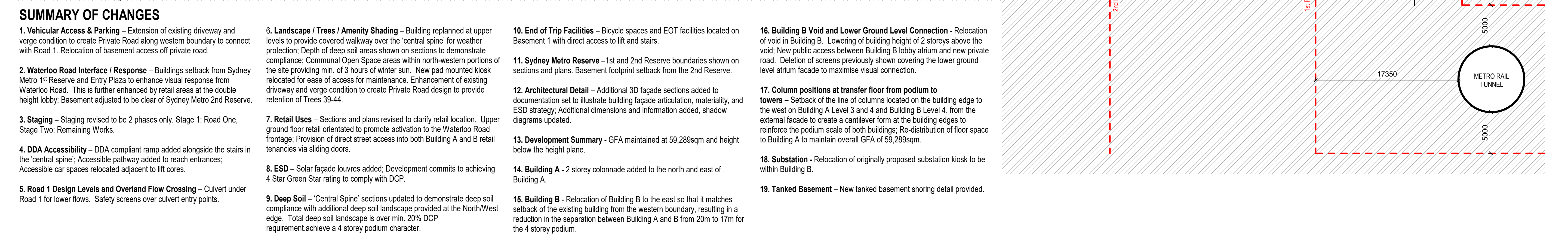
Project Name	63-71 Waterloo Road ,Macquarie Park
Client Name	UT 65 Pty Ltd

Drawing Title			Project No.
ELEVATION - EAST - BUILDING B			A21005
SCALE	Date	Drawing no:	ISSUE
1 : 250 @ A1	2021.10.29	A4.06	E

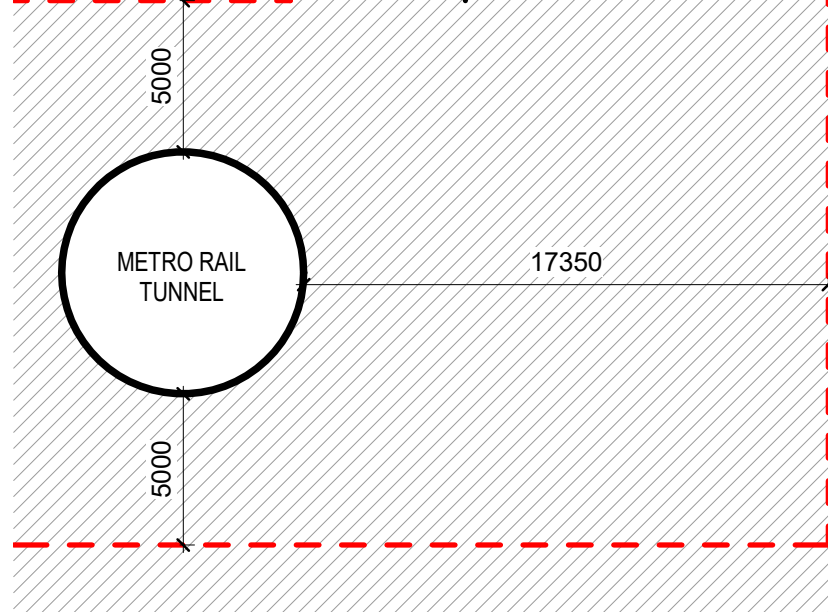




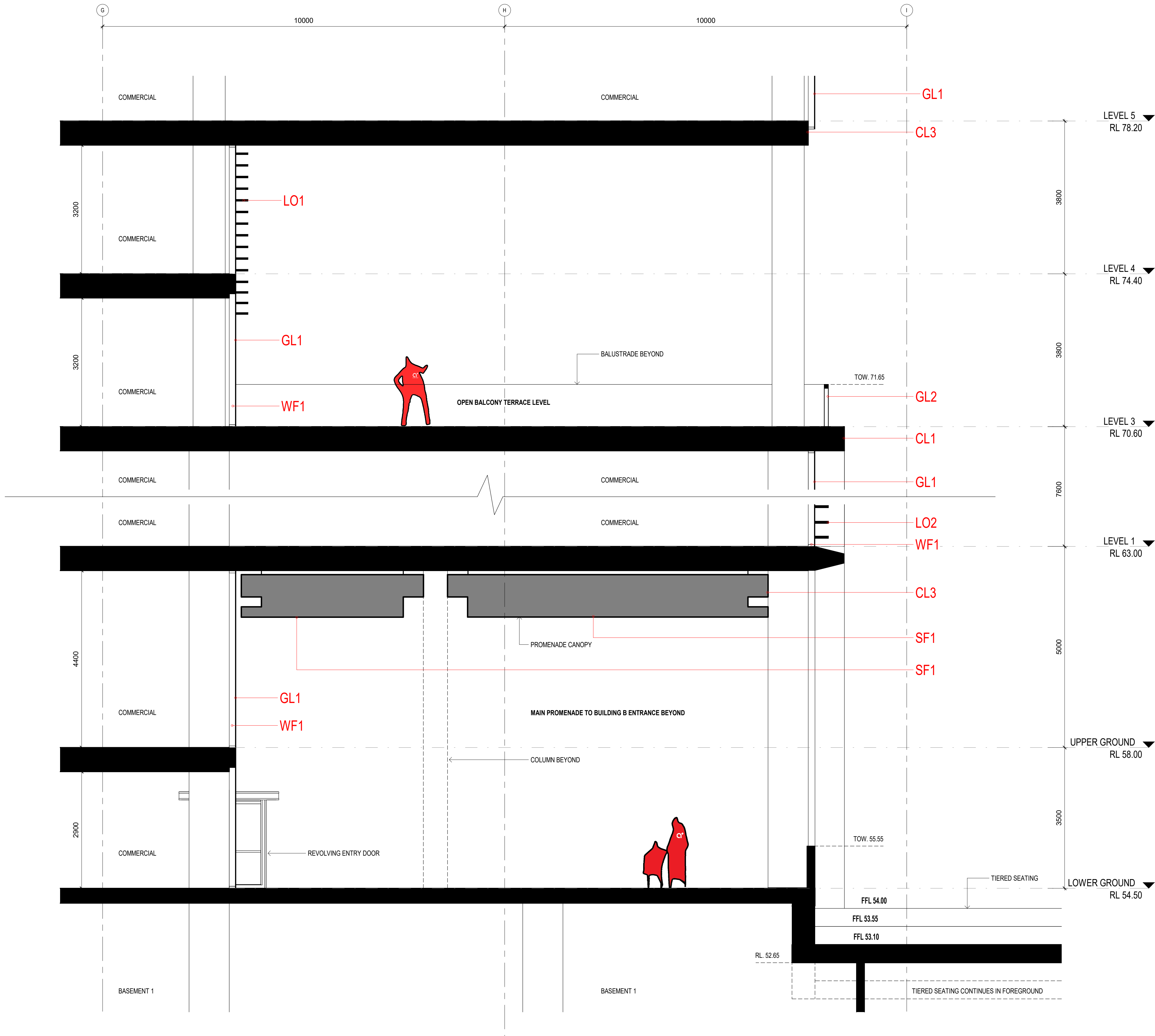












<b>WT1</b> <b>LANDSCAPE ELEMENTS</b> IN-SITU CONCRETE  FINISH: OFF-FORMED SMOOTH FINISH  NOTE: All concrete pour batches to match same colour tone.	<b>SF1</b> <b>SOFFIT</b> FIBRE CEMENT SHEETING  SIMILAR TO: CEMINTEL 'COMMERCIAL SOFFITLINE'  FINISH: DULUX LEXICON QUARTER PAINTED FINISH
<b>LO1</b> <b>VERTICAL LOUVRES</b> PREFABRICATED ALUMINIUM ELEMENTS  FINISH: DULUX MONUMENT GREY POWDER COAT FINISH  ESD: Material and finish aims to address: - Reduction of glare, solar heat gain, light pollution.	<b>WF1</b> <b>WINDOW FRAME</b> ALUMINIUM WINDOW FRAMING  FINISH: DULUX MONUMENT GREY POWDER COAT FINISH  ESD: Material and finish aims to address: - Reduction of thermal transmission to outside.
<b>LO2</b> <b>HORIZONTAL LOUVRES</b> PREFABRICATED ALUMINIUM ELEMENTS  FINISH: DULUX MONUMENT GREY POWDER COAT FINISH  ESD: Material and finish aims to address: - Reduction of glare, solar heat gain, light pollution.	<b>GL1</b> <b>PERFORMANCE GLAZING - CLEAR</b> NATURAL BLACK HUE  ESD: Material and finish aims to address: - Reduction of internal noise levels, acoustic reverberation, glare reduction, solar heat gain, light pollution. - Maximises incorporation of cell shading technologies, indoor air quality, ventilation.
<b>CL1</b> <b>NON-STRUCTURAL FACADE CLADDING</b> SANDSTONE CLADDING PANELS  SIMILAR TO: ARMSTONE LANCASTER WALL CLADDING  FINISH: GANGSAW FINISH	<b>GL2</b> <b>GLASS BALUSTRADE - CLEAR</b> NATURAL BLACK HUE  ESD: - Toughened glass balustrade with SHS top rail.
<b>CL2</b> <b>NON-STRUCTURAL FACADE CLADDING</b> FIBRE CEMENT SHEETING  SIMILAR TO: COMTEX CLADDING PANEL BY JAMES HARDY FLUSH PANEL BUTT JOINT TO MANUFACTURER  FINISH: DULUX LEXICON QUARTER PAINTED FINISH	<b>CL3</b> <b>FASCIA AND COLUMN CLADDING</b> FIBRE CEMENT SHEETING  SIMILAR TO: CEMINTEL 'COMMERCIAL EXPRESSPANEL'  FINISH: DULUX MONUMENT GREY PAINTED FINISH

Rev	Description	Date
A	S34 CONFERENCE	01/10/2021
B	AMENDED PLANS	29/10/2021
C	AMENDED PLANS	01/11/2021

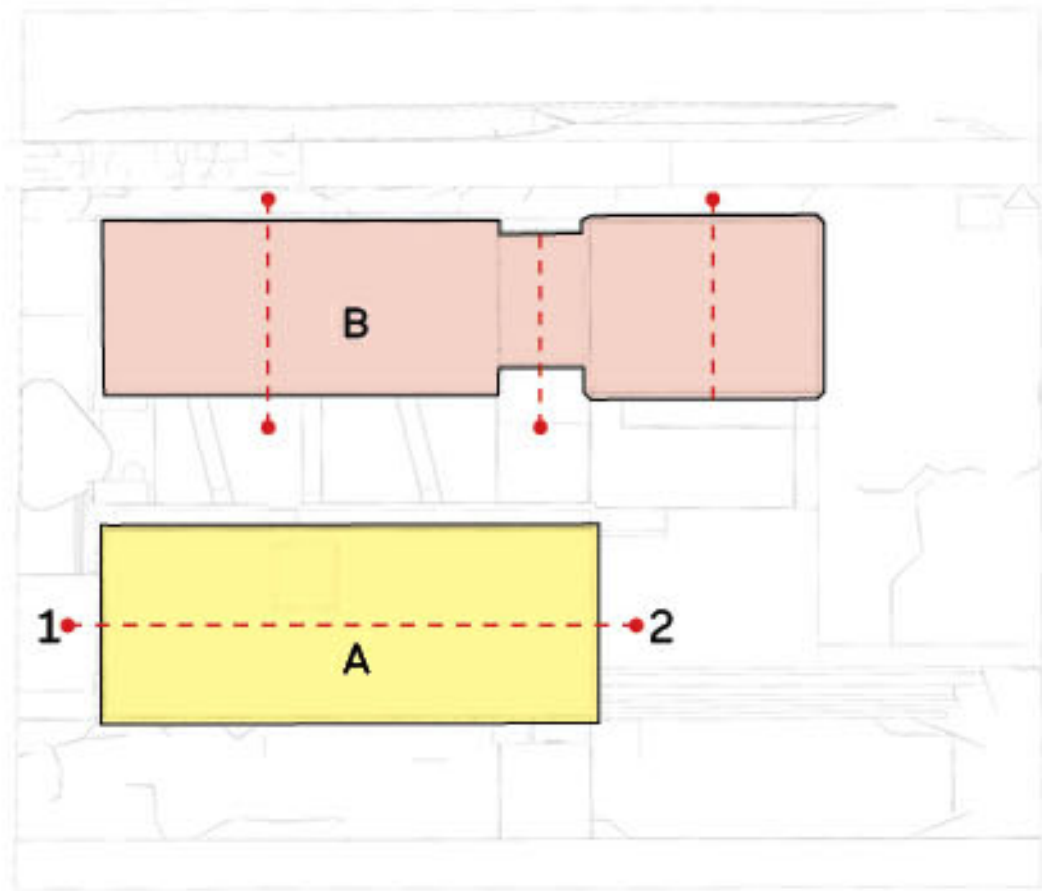
Project Name  
63-71 Waterloo Road ,Macquarie Park

Client Name  
UT 65 Pty Ltd

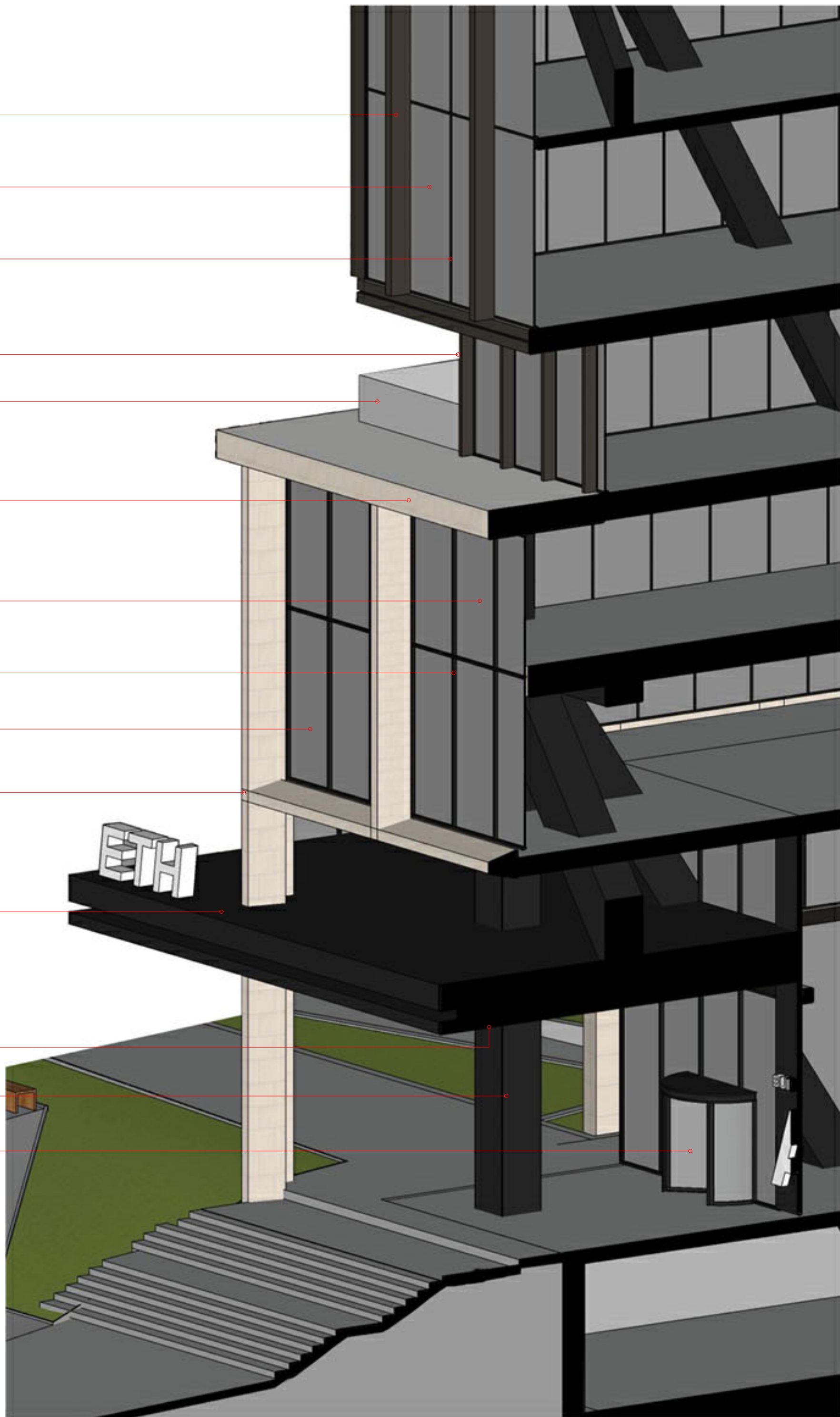
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FACADE SECTION

SCALE As indicated @ A1	Date 2021.10.29	Drawing no: A5.10	Project No. A21005
			ISSUE C





- LO1
- GL1
- WF1
- LO1
- GL2
- CL1
- GL2
- WF1
- GL1
- CL1
- CL3
- SF1
- CL3
- GL1



FACADE SECTION 1

- LO2
- WF1
- GL1
- CL3
- LO2
- CL3
- GL2
- CL1
- CL1
- GL1
- LO2
- SF1
- CL3
- GL1
- CL1



FACADE SECTION 2

WT1

LANDSCAPE ELEMENTS

IN-SITU CONCRETE

FINISH:  
OFF-FORMED SMOOTH FINISH

NOTE: All concrete pour batches to match same colour tone.

SF1

SOFFIT

FIBRE CEMENT SHEETING

SIMILAR TO:  
CEMINTEL 'COMMERCIAL SOFFITLINE'

FINISH:  
DULUX LEXICON QUARTER  
PAINTED FINISH

WF1

WINDOW FRAME

ALUMINIUM WINDOW FRAMING

FINISH:  
DULUX MONUMENT GREY  
POWDER COAT FINISH

ESD:  
Material and finish aims to address:  
- Reduction of thermal transmission to outside.

LO1

VERTICAL LOUVRES

PREFABRICATED ALUMINIUM ELEMENTS

FINISH:  
DULUX MONUMENT GREY  
POWDER COAT FINISH

ESD:  
Material and finish aims to address:  
- Reduction of glare, solar heat gain, light pollution.

LO2

HORIZONTAL LOUVRES

PREFABRICATED ALUMINIUM ELEMENTS

FINISH:  
DULUX MONUMENT GREY  
POWDER COAT FINISH

ESD:  
Material and finish aims to address:  
- Reduction of glare, solar heat gain, light pollution.

GL1

PERFORMANCE GLAZING - CLEAR

NATURAL BLACK HUE

ESD:  
Material and finish aims to address:  
- Reduction of internal noise levels, acoustic reverberation, glare reduction, solar heat gain, light pollution.  
- Maximises incorporation of cell shading technologies, indoor air quality, ventilation.

GL2

GLASS BALUSTRADE - CLEAR

NATURAL BLACK HUE

ESD:  
- Toughened glass balustrade with SHS top rail.

CL1

NON-STRUCTURAL FACADE CLADDING

SANDSTONE CLADDING PANELS

SIMILAR TO:  
ARMSTONE LANCASTER WALL CLADDING  
FINISH:  
GANGSAW FINISH

CL2

NON-STRUCTURAL FACADE CLADDING

FIBRE CEMENT SHEETING

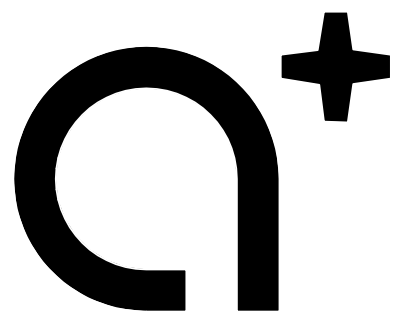
SIMILAR TO:  
COMTEX CLADDING PANEL BY JAMES HARDY  
FLUSH PANEL BUTT JOINT TO MANUFACTURER  
FINISH:  
DULUX LEXICON QUARTER  
PAINTED FINISH

CL3

FASCIA AND COLUMN CLADDING

FIBRE CEMENT SHEETING

SIMILAR TO:  
CEMINTEL 'COMMERCIAL EXPRESSPANEL'  
FINISH:  
DULUX MONUMENT GREY  
PAINTED FINISH



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Rev	Description	Date
A	S34 CONFERENCE	01/10/2021
B	AMENDED PLANS	29/10/2021
C	AMENDED PLANS	01/11/2021
D	AMENDED PLANS	09/12/2021

Project Name  
63-71 Waterloo Road ,Macquarie Park

Client Name  
UT 65 Pty Ltd

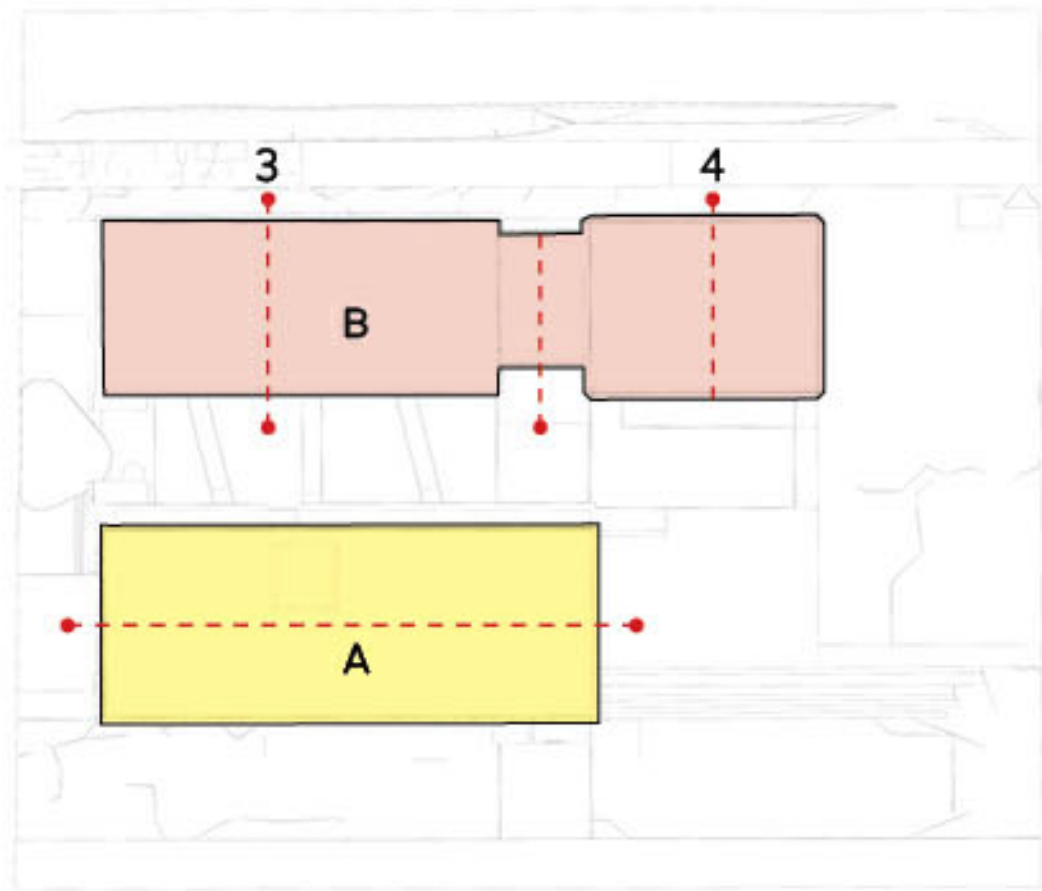
Drawing Title  
FACADE ILLUSTRATIONS - BUILDING A

SCALE  
Date  
2021.10.29  
Drawing no:  
A5.11

Project No.  
A21005

ISSUE  
D





LO2

GL1

WF1

CL3

LO1

GL2

CL1

GL1

CL1

LO1

CL1

CL1

WF1

GL1

WT1

FACADE SECTION 3

WF1

LO2

GL1

CL2

WF1

CL2

GL1

GL2

CL1

LO2

CL1

GL1

CL1

CL1

WF1

CL1

WT1

FACADE SECTION 4

## WT1

## LANDSCAPE ELEMENTS

IN-SITU CONCRETE

FINISH:  
OFF-FORMED SMOOTH FINISHNOTE: All concrete pour batches to match  
same colour tone.

## SF1

## SOFFIT

FIBRE CEMENT SHEETING

SIMILAR TO:  
CEMINTEL 'COMMERCIAL SOFFITLINE'FINISH:  
DULUX LEXICON QUARTER  
PAINTED FINISH

## WF1

## WINDOW FRAME

ALUMINIUM WINDOW FRAMING

FINISH:  
DULUX MONUMENT GREY  
POWDER COAT FINISHESD:  
Material and finish aims to address:  
- Reduction of thermal transmission  
to outside.

## LO1

## VERTICAL LOUVRES

PREFABRICATED ALUMINIUM ELEMENTS

FINISH:  
DULUX MONUMENT GREY  
POWDER COAT FINISHESD:  
Material and finish aims to address:  
- Reduction of glare, solar heat gain,  
light pollution.

## LO2

## HORIZONTAL LOUVRES

PREFABRICATED ALUMINIUM ELEMENTS

FINISH:  
DULUX MONUMENT GREY  
POWDER COAT FINISHESD:  
Material and finish aims to address:  
- Reduction of glare, solar heat gain,  
light pollution.

## GL1

## PERFORMANCE GLAZING - CLEAR

NATURAL BLACK HUE

ESD:  
Material and finish aims to address:  
- Reduction of internal noise levels, acoustic  
reverberation, glare reduction, solar heat gain,  
light pollution.  
- Maximises incorporation of cell shading  
technologies,  
indoor air quality, ventilation.

## GL2

## GLASS BALUSTRADE - CLEAR

NATURAL BLACK HUE

ESD:  
- Toughened glass balustrade with  
SHS top rail.

## CL1

## NON-STRUCTURAL FACADE CLADDING

SANDSTONE CLADDING PANELS

SIMILAR TO:  
ARMSTONE LANCASTER WALL CLADDINGFINISH:  
GANGSAW FINISH

## CL2

## NON-STRUCTURAL FACADE CLADDING

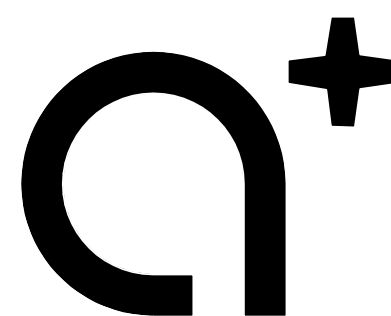
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SIMILAR TO:  
COMTEX CLADDING PANEL BY JAMES HARDY  
FLUSH PANEL BUTT JOINT TO MANUFACTURERFINISH:  
DULUX LEXICON QUARTER  
PAINTED FINISH

## CL3

## FASCIA AND COLUMN CLADDING

FIBRE CEMENT SHEETING

SIMILAR TO:  
CEMINTEL 'COMMERCIAL EXPRESSPANEL'FINISH:  
DULUX MONUMENT GREY  
PAINTED FINISH

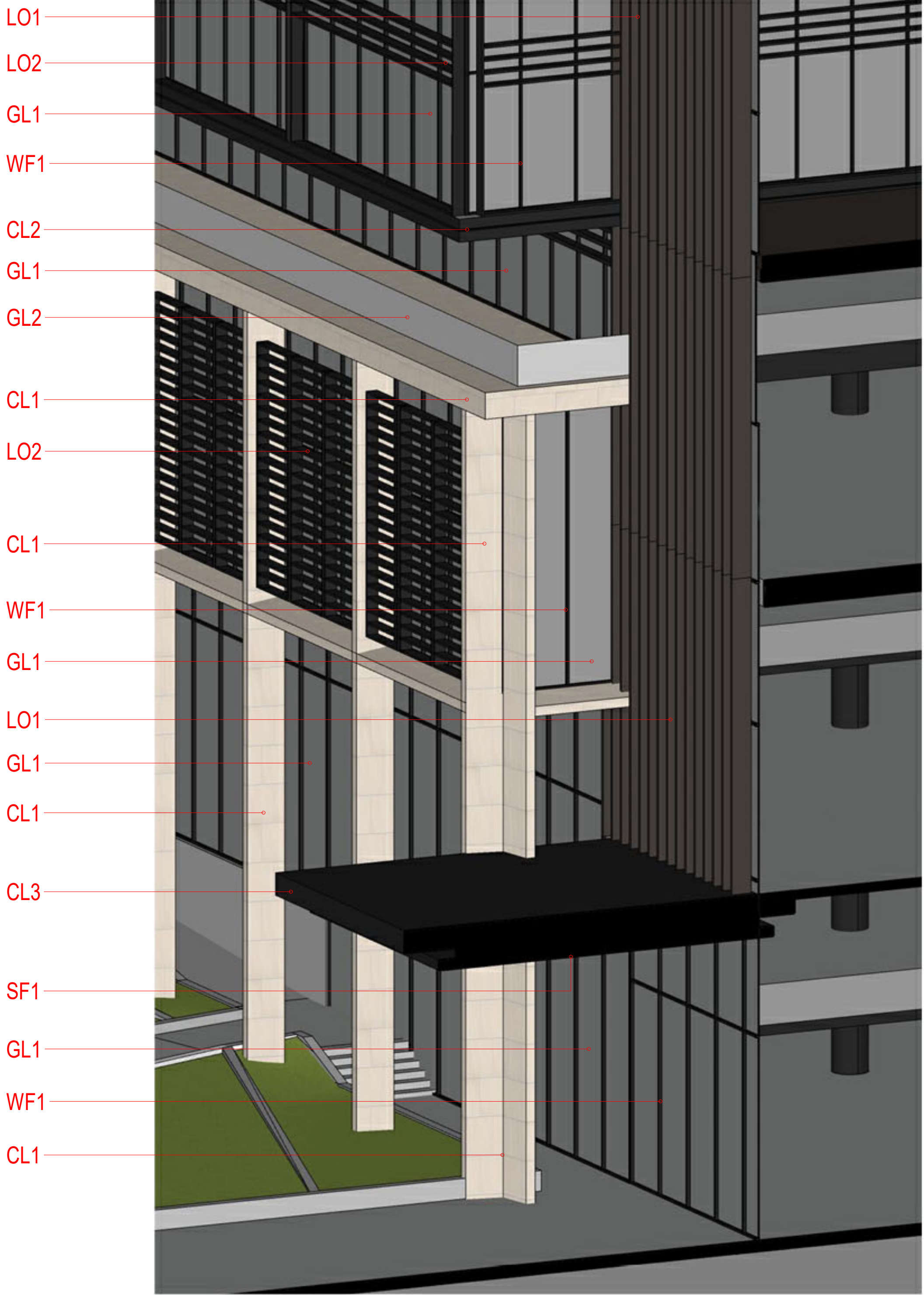
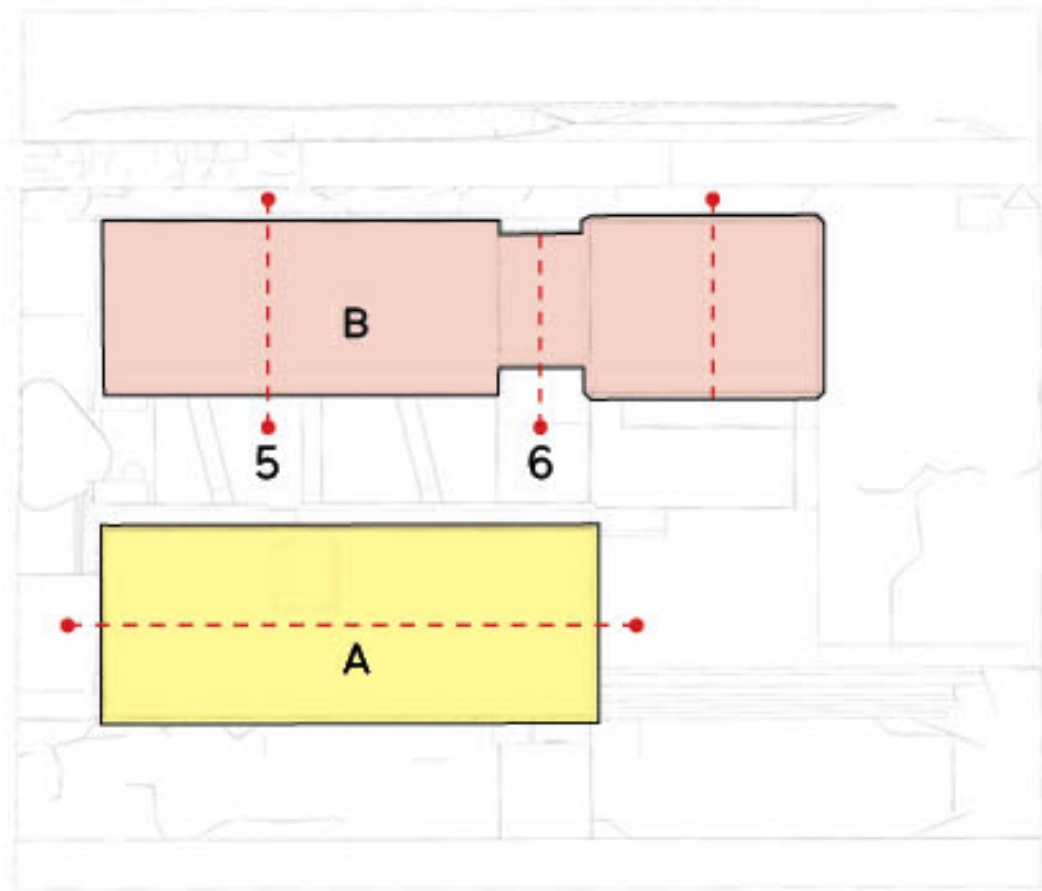
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SYDNEY, NSW 2000  
NOMINATED ARCHITECT-TONY LEUNG NSW 7133

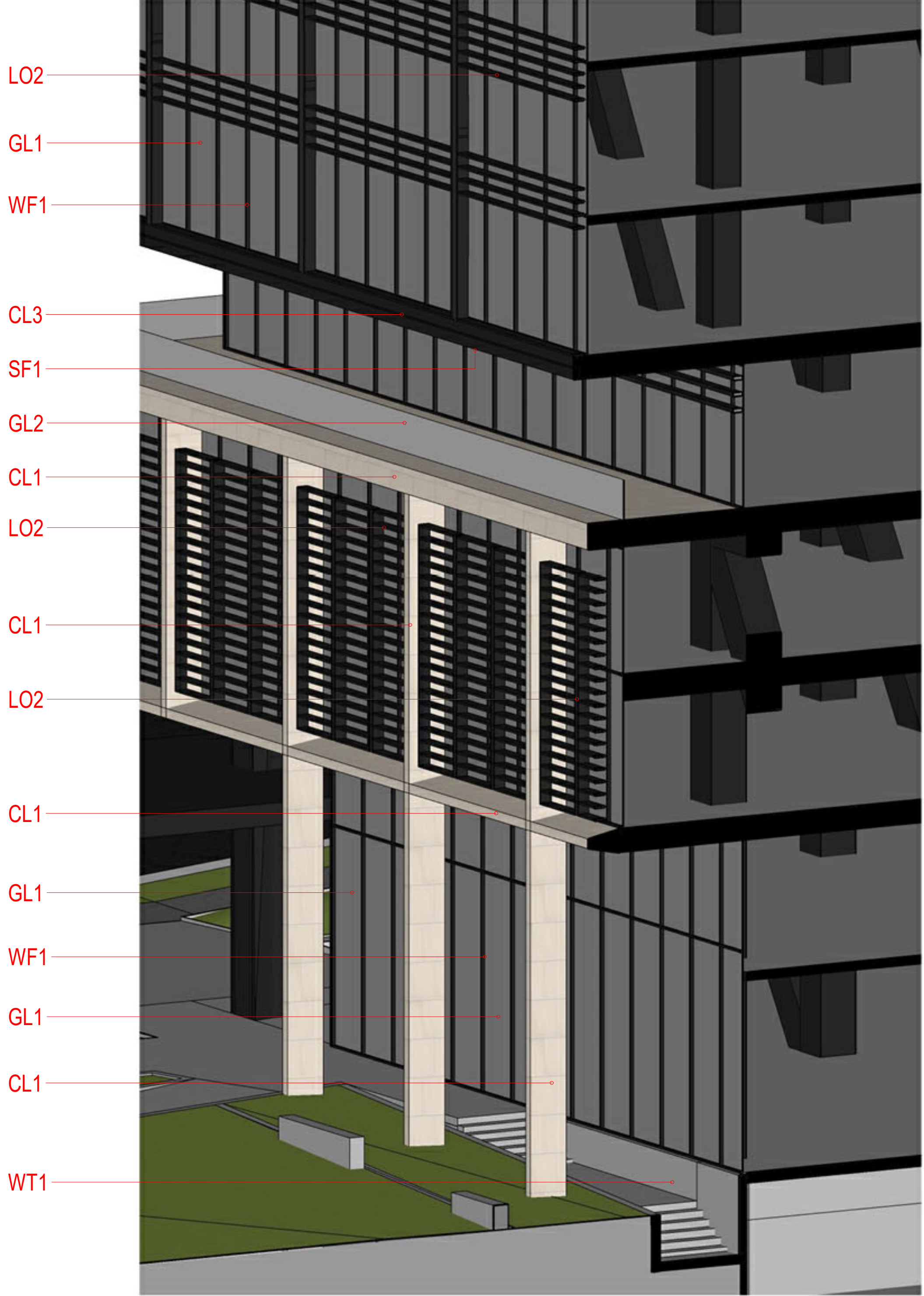
Rev	Description	Date
A	AMENDED PLANS	29/10/2021
B	AMENDED PLANS	01/11/2021
C	AMENDED PLANS	09/12/2021

Project Name  
63-71 Waterloo Road ,Macquarie ParkClient Name  
UT 65 Pty LtdDrawing Title  
FACADE ILLUSTRATIONS - BUILDING BSCALE  
Date  
2021.10.29  
Drawing no:  
A5.12Project No.  
A21005ISSUE  
C





FACADE SECTION 5



FACADE SECTION 6

WT1

LANDSCAPE ELEMENTS

IN-SITU CONCRETE

FINISH:  
OFF-FORMED SMOOTH FINISH

NOTE: All concrete pour batches to match  
same colour tone.

SF1

SOFFIT

FIBRE CEMENT SHEETING

SIMILAR TO:  
CEMINTEL 'COMMERCIAL SOFFITLINE'

FINISH:  
DULUX LEXICON QUARTER  
PAINTED FINISH

WF1

WINDOW FRAME

ALUMINIUM WINDOW FRAMING

FINISH:  
DULUX MONUMENT GREY  
POWDER COAT FINISH

ESD:  
Material and finish aims to address:  
- Reduction of thermal transmission  
to outside.

LO1

VERTICAL LOUVRES

PREFABRICATED ALUMINIUM ELEMENTS

FINISH:  
DULUX MONUMENT GREY  
POWDER COAT FINISH

ESD:  
Material and finish aims to address:  
- Reduction of glare, solar heat gain,  
light pollution.

LO2

HORIZONTAL LOUVRES

PREFABRICATED ALUMINIUM ELEMENTS

FINISH:  
DULUX MONUMENT GREY  
POWDER COAT FINISH

ESD:  
Material and finish aims to address:  
- Reduction of glare, solar heat gain,  
light pollution.

GL1

PERFORMANCE GLAZING - CLEAR

NATURAL BLACK HUE

ESD:  
Material and finish aims to address:  
- Reduction of internal noise levels, acoustic  
reverberation, glare reduction, solar heat gain,  
light pollution.  
- Maximises incorporation of cell shading  
technologies,  
indoor air quality, ventilation.

GL2

GLASS BALUSTRADE - CLEAR

NATURAL BLACK HUE

ESD:  
- Toughened glass balustrade with  
SHS top rail.

CL1

NON-STRUCTURAL FACADE CLADDING

SANDSTONE CLADDING PANELS

SIMILAR TO:  
ARMSTONE LANCASTER WALL CLADDING

FINISH:  
GANGSAW FINISH

CL2

NON-STRUCTURAL FACADE CLADDING

FIBRE CEMENT SHEETING

SIMILAR TO:  
COMTEX CLADDING PANEL BY JAMES HARDY  
FLUSH PANEL BUTT JOINT TO MANUFACTURER

FINISH:  
DULUX LEXICON QUARTER  
PAINTED FINISH

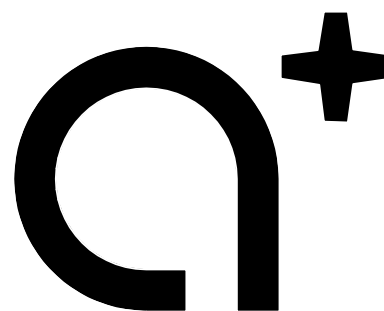
CL3

FASCIA AND COLUMN CLADDING

FIBRE CEMENT SHEETING

SIMILAR TO:  
CEMINTEL 'COMMERCIAL EXPRESSPANEL'

FINISH:  
DULUX MONUMENT GREY  
PAINTED FINISH



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Rev	Description	Date
A	AMENDED PLANS	29/10/2021
B	AMENDED PLANS	01/11/2021
C	AMENDED PLANS	09/12/2021

Project Name  
63-71 Waterloo Road ,Macquarie Park

Client Name  
UT 65 Pty Ltd

Drawing Title  
FACADE ILLUSTRATIONS - BUILDING B

SCALE  
Date  
2021.10.29  
Drawing no:  
A5.13

Project No.  
A21005

ISSUE  
C



WT1



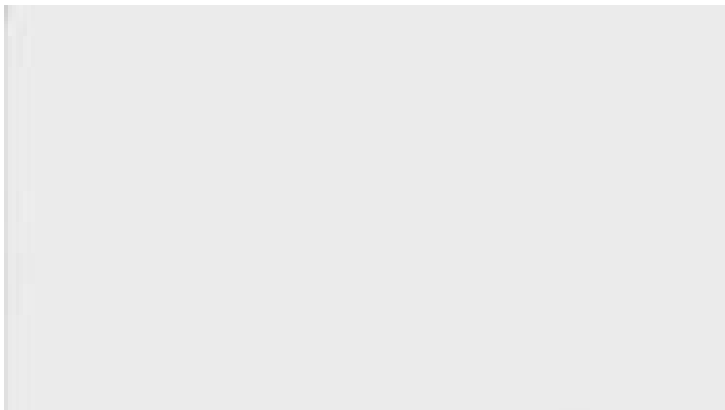
LANDSCAPE ELEMENTS

IN-SITU CONCRETE

FINISH:  
OFF-FORMED SMOOTH FINISH

NOTE: All concrete pour batches to match same colour tone.

SF1



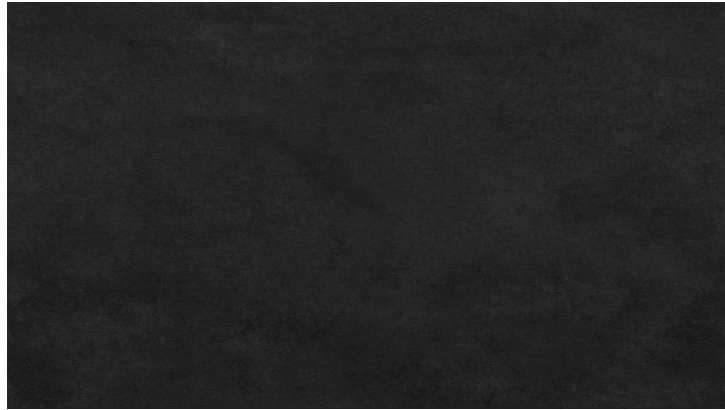
SOFFIT

FIBRE CEMENT SHEETING

SIMILAR TO:  
CEMINTEL 'COMMERCIAL SOFFITLINE'

FINISH:  
DULUX LEXICON QUARTER  
PAINTED FINISH

WF1



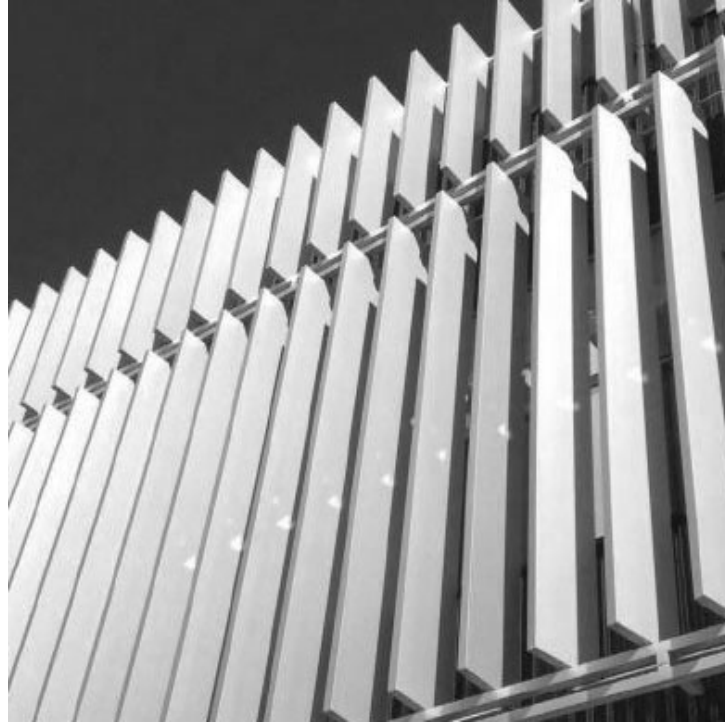
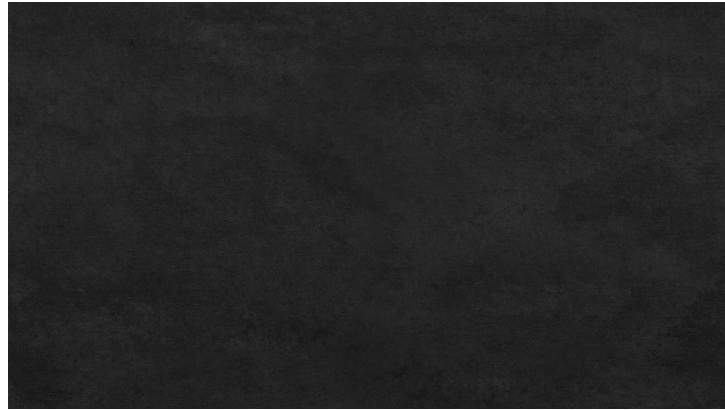
WINDOW FRAME

ALUMINIUM WINDOW FRAMING

FINISH:  
DULUX MONUMENT GREY  
POWDER COAT FINISH

ESD:  
Material and finish aims to address:  
- Reduction of thermal transmission to outside.

L01



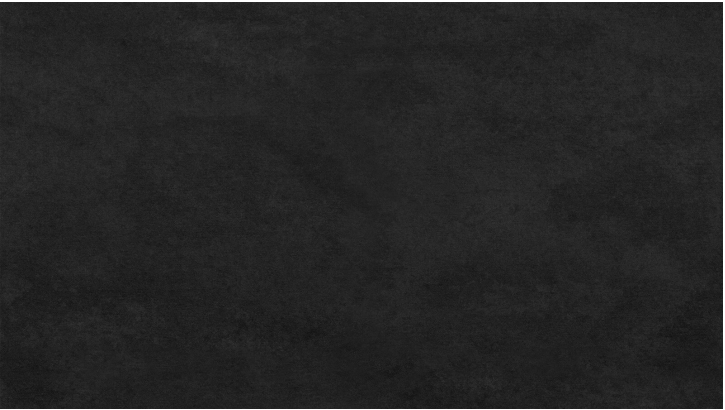
VERTICAL LOUVRES

PREFABRICATED ALUMINIUM ELEMENTS

FINISH:  
DULUX MONUMENT GREY  
POWDER COAT FINISH

ESD:  
Material and finish aims to address:  
- Reduction of glare, solar heat gain,  
light pollution.

L02



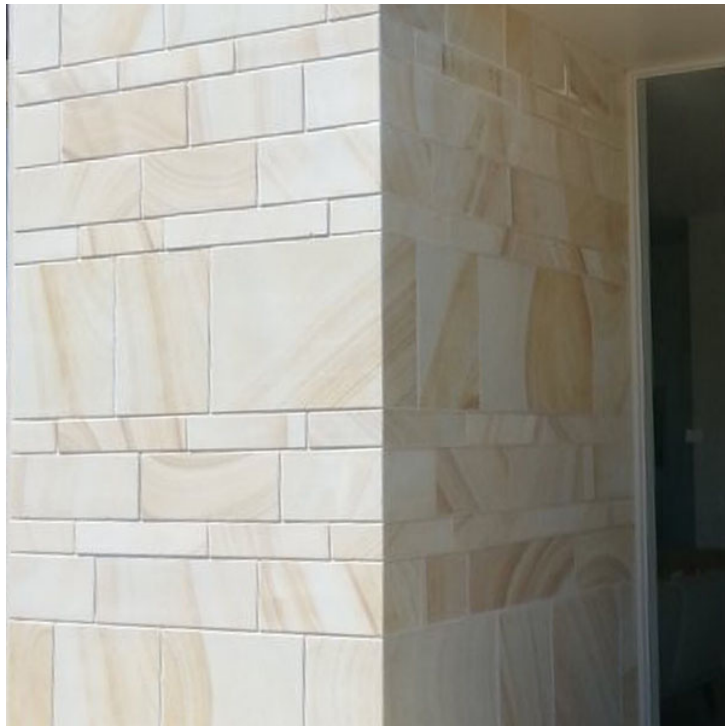
HORIZONTAL LOUVRES

PREFABRICATED ALUMINIUM ELEMENTS

FINISH:  
DULUX MONUMENT GREY  
POWDER COAT FINISH

ESD:  
Material and finish aims to address:  
- Reduction of glare, solar heat gain,  
light pollution.

CL1



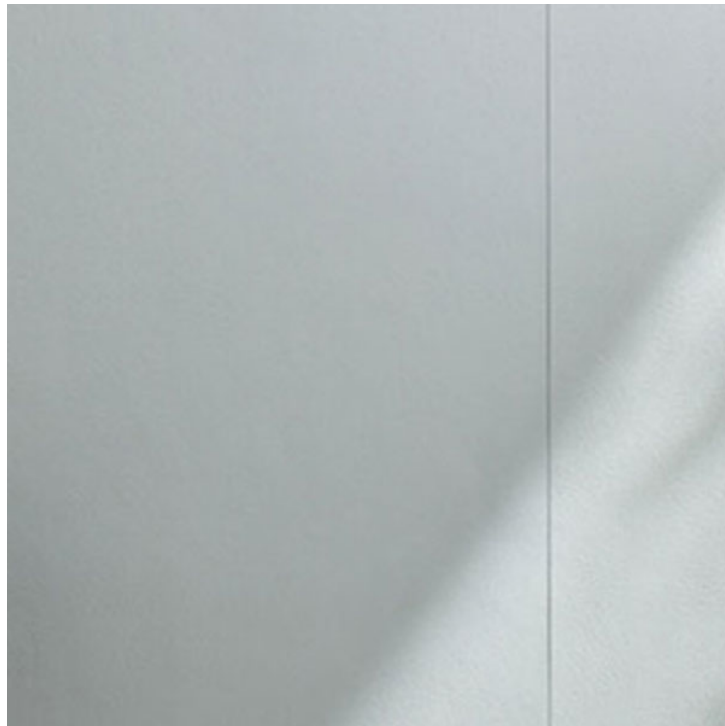
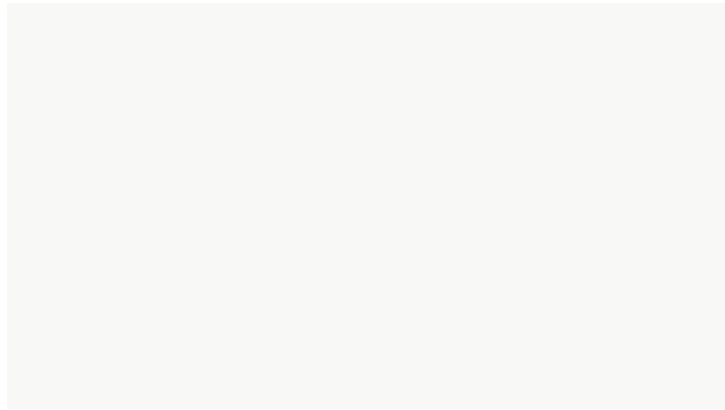
NON-STRUCTURAL FACADE CLADDING

SANDSTONE CLADDING PANELS

SIMILAR TO:  
ARMSTONE LANCASTER WALL CLADDING

FINISH:  
GANGSAW FINISH

CL2



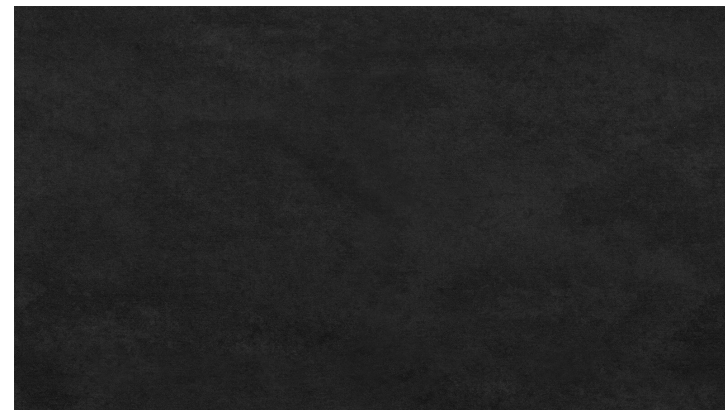
NON-STRUCTURAL FACADE CLADDING

FIBRE CEMENT SHEETING

SIMILAR TO:  
COMTEX CLADDING PANEL BY JAMES HARDY  
FLUSH PANEL BUTT JOINT TO MANUFACTURER

FINISH:  
DULUX LEXICON QUARTER  
PAINTED FINISH

CL3



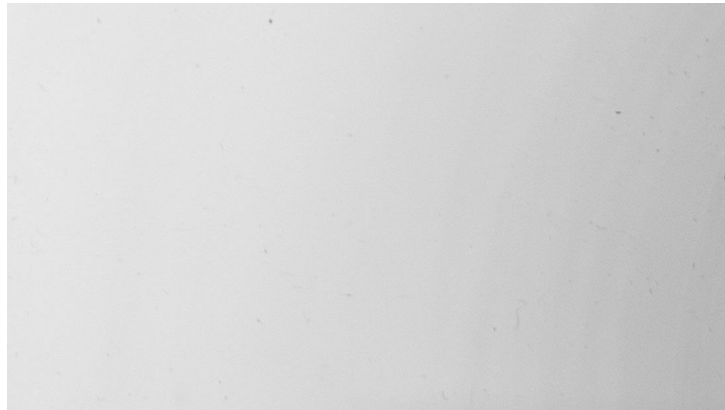
FASCIA AND COLUMN CLADDING

FIBRE CEMENT SHEETING

SIMILAR TO:  
CEMINTEL 'COMMERCIAL EXPRESSPANEL'

FINISH:  
DULUX MONUMENT GREY  
PAINTED FINISH

GL1

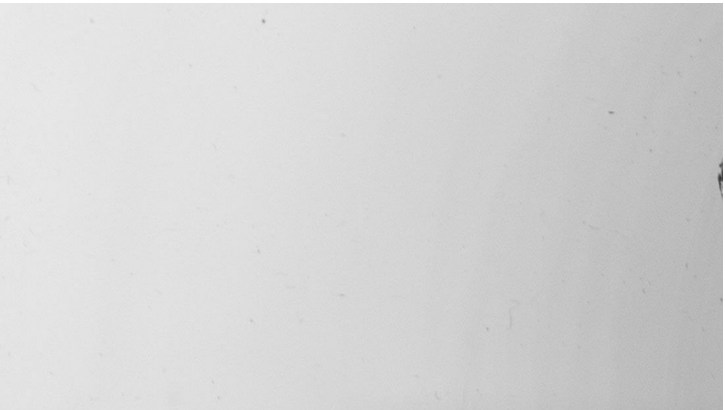


PERFORMANCE GLAZING - CLEAR

NATURAL BLACK HUE

ESD:  
Material and finish aims to address:  
- Reduction of internal noise levels, acoustic  
reverberation, glare reduction, solar heat gain,  
light pollution.  
- Maximises incorporation of cell shading technologies,  
indoor air quality, ventilation.

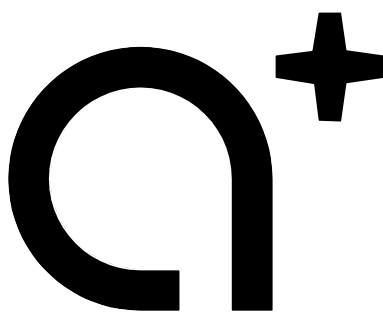
GL2



GLASS BALUSTRADE - CLEAR

NATURAL BLACK HUE

ESD:  
- Toughened glass balustrade with SHS top rail.



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Rev	Description	Date
A	DA ISSUE	05/05/2021
B	AMENDED PLANS	29/10/2021
C	AMENDED PLANS	01/11/2021

Project Name  
63-71 Waterloo Road ,Macquarie Park

Client Name  
UT 65 Pty Ltd

Drawing Title  
SCHEDULE OF MATERIALS & FINISHES

SCALE	Date 2021.10.29	Drawing no: A6.01
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Project No.  
A21005

ISSUE  
C





SUMMARY OF CHANGES

- 1. Vehicular Access & Parking** – Extension of existing driveway and verge condition to create Private Road along western boundary to connect with Road 1. Relocation of basement access off private road.

**2. Waterloo Road Interface / Response** – Buildings setback from Sydney Metro 1<sup>st</sup> Reserve and Entry Plaza to enhance visual response from Waterloo Road. This is further enhanced by retail areas at the double height lobby; Basement adjusted to be clear of Sydney Metro 2nd Reserve.

**3. Staging** – Staging revised to be 2 phases only. Stage 1: Road One, Stage Two: Remaining Works.

**4. DDA Accessibility** – DDA compliant ramp added alongside the stairs in the 'central spine'; Accessible pathway added to reach entrances; Accessible car spaces relocated adjacent to lift cores.

**5. Road 1 Design Levels and Overland Flow Crossing** – Culvert under Road 1 for lower flows. Safety screens over culvert entry points.

**6. Landscape / Trees / Amenity Shading** – Building replanned at upper levels to provide covered walkway over the 'central spine' for weather protection; Depth of deep soil areas shown on sections to demonstrate compliance; Communal Open Space areas within north-western portions of the site providing min. of 3 hours of winter sun. New pad mounted kiosk relocated for ease of access for maintenance. Enhancement of existing driveway and verge condition to create Private Road design to provide retention of Trees 39-44.

**7. Retail Uses** – Sections and plans revised to clarify retail location. Upper ground floor retail orientated to promote activation to the Waterloo Road frontage; Provision of direct street access into both Building A and B retail tenancies via sliding doors.

**8. ESD** – Solar façade louvres added; Development commits to achieving 4 Star Green Star rating to comply with DCP.

**9. Deep Soil** – 'Central Spine' sections updated to demonstrate deep soil compliance with additional deep soil landscape provided at the North/West edge. Total deep soil landscape is over min. 20% DCP requirement.achieve a 4 storey podium character.

**10. End of Trip Facilities** – Bicycle spaces and EOT facilities located on Basement 1 with direct access to lift and stairs.

**11. Sydney Metro Reserve** –1st and 2nd Reserve boundaries shown on sections and plans. Basement footprint setback from the 2nd Reserve.

**12. Architectural Detail** – Additional 3D façade sections added to documentation set to illustrate building façade articulation, materiality, and ESD strategy; Additional dimensions and information added, shadow diagrams updated.

**13. Development Summary** - GFA maintained at 59,289sqm and height below the height plane.

**14. Building A** - 2 storey colonnade added to the north and east of Building A.

**15. Building B** - Relocation of Building B to the east so that it matches setback of the existing building from the western boundary, resulting in a reduction in the separation between Building A and B from 20m to 17m for the 4 storey podium.

**16. Building B Void and Lower Ground Level Connection** - Relocation of void in Building B. Lowering of building height of 2 storeys above the void; New public access between Building B lobby atrium and new private road. Deletion of screens previously shown covering the lower ground level atrium facade to maximise visual connection.

**17. Column positions at transfer floor from podium to towers** – Setback of the line of columns located on the building edge to the west on Building A Level 3 and 4 and Building B Level 4, from the external facade to create a cantilever form at the building edges to reinforce the podium scale of both buildings; Re-distribution of floor space to Building A to maintain overall GFA of 59,289sqm.

**18. Substation** - Relocation of originally proposed substation kiosk to be within Building B.

**19. Tanked Basement** – New tanked basement shoring detail provided.

Rev	Description	Date
A	DA ISSUE	05/05/2021
B	S34 CONFERENCE	01/10/2021
C	AMENDED PLANS	29/10/2021
D	AMENDED PLANS	01/11/2021
E	AMENDED PLANS	09/12/2021

Project Name
63-71 Waterloo Road ,Macquarie Park
Client Name
UT 65 Pty Ltd

Drawing Title			Project No.
CGI - WATERLOO ROAD			A21005
SCALE	Date	Drawing no:	ISSUE
	2021.10.29	A7.01	E





SUMMARY OF CHANGES

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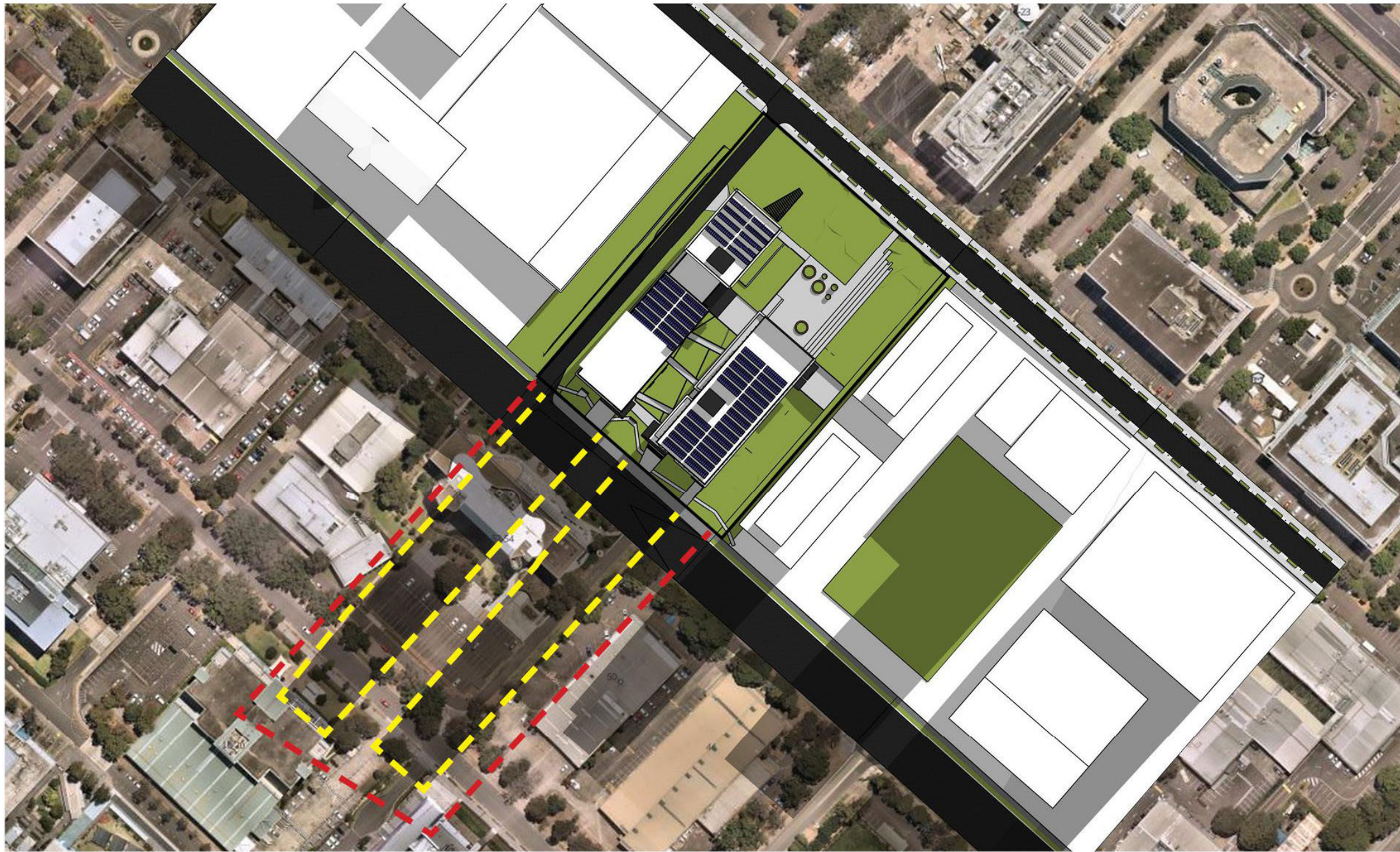
**19. Tanked Basement** – New tanked basement shoring detail provided.

Rev	Description	Date
A	S34 CONFERENCE	01/10/2021
B	AMENDED PLANS	29/10/2021
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D	AMENDED PLANS	09/12/2021

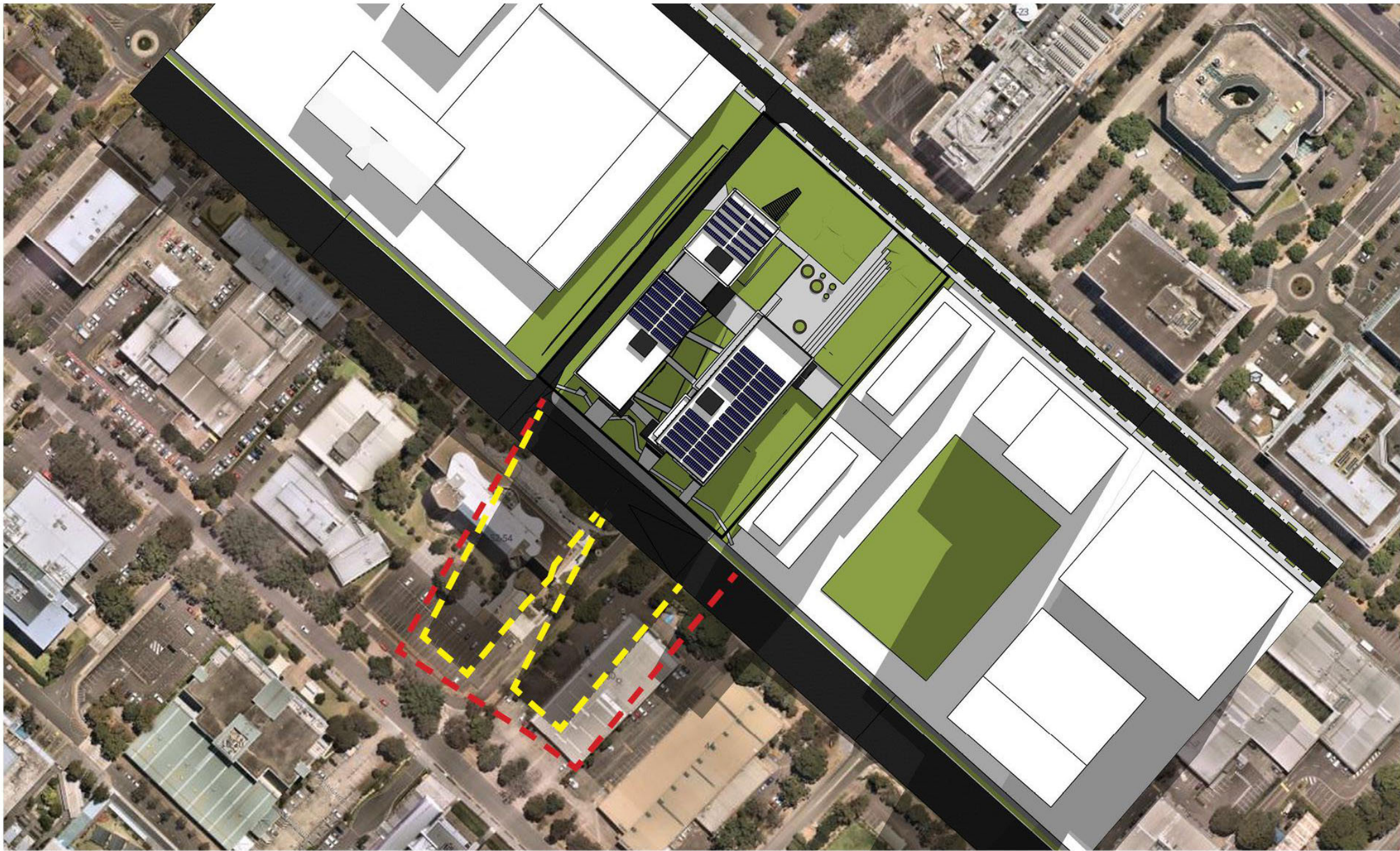
Project Name
63-71 Waterloo Road ,Macquarie Park
Client Name
UT 65 Pty Ltd

Drawing Title			Project No.
CGI - 'CENTRAL PARK'			A21005
SCALE	Date	Drawing no:	ISSUE
	2021.10.29	A7.02	D

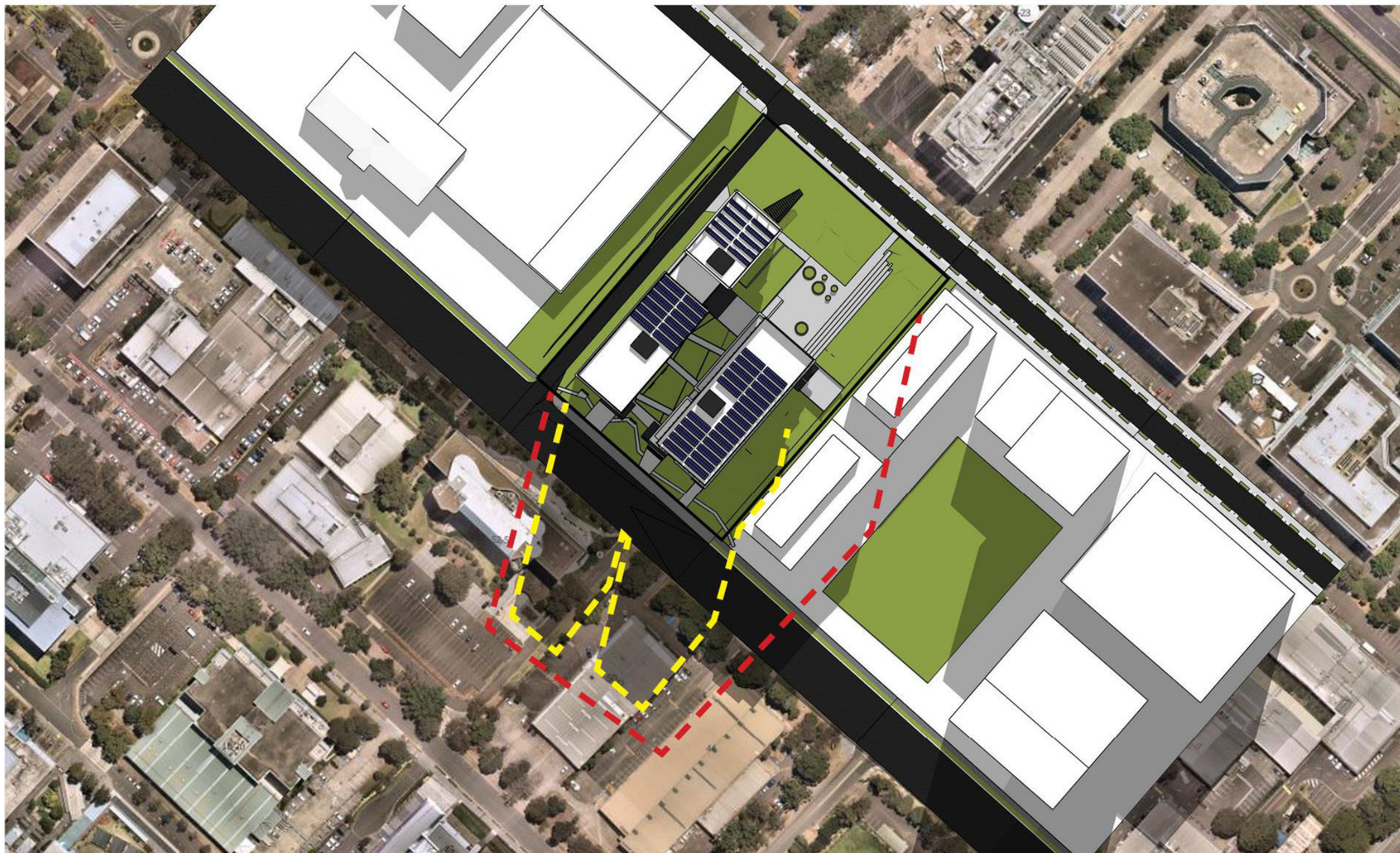




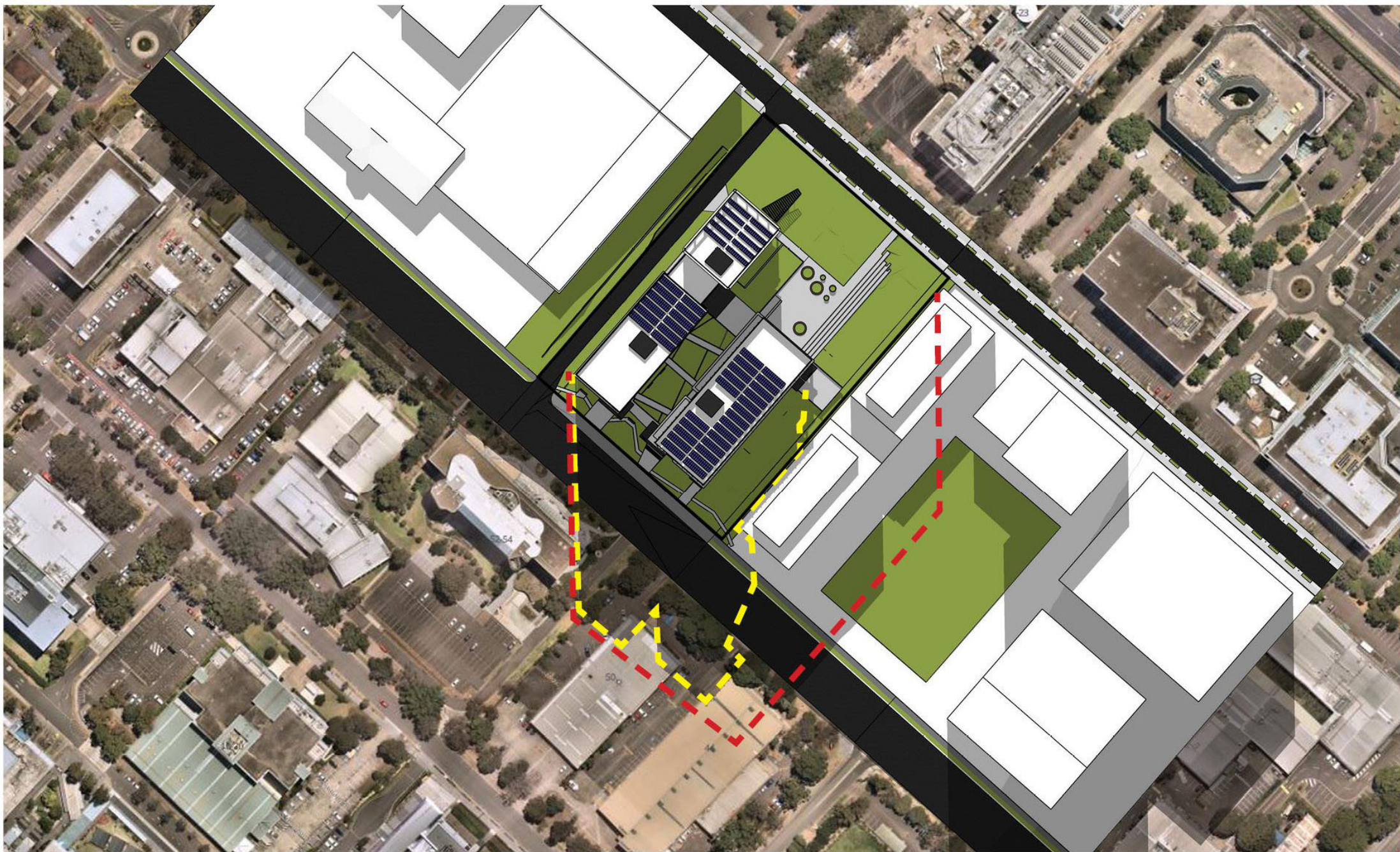
JUNE 21 ST - PROPOSED BUILDING - 9 AM



JUNE 21 ST - PROPOSED BUILDING - 10 AM



JUNE 21 ST - PROPOSED BUILDING - 11 AM

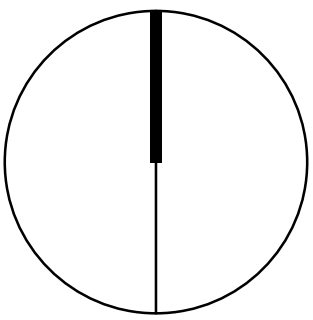


JUNE 21 ST - PROPOSED BUILDING - 12 PM

**LEGEND**

- DCP COMPLIANT ENVELOPE SHADOW OUTLINE
- PROPOSED BUILDING SHADOW OUTLINE

THE PROPOSED BUILDING IS WITHIN THE COUNCIL ENVELOPE, AS ILLUSTRATED AND DOES NOT CREATE ADDITIONAL OVERSHADOWING BEYOND WHAT IS ANTICIPATED AS THE COUNCIL LEP CONTROL







JUNE 21 ST - PROPOSED BUILDING - 01 PM



JUNE 21 ST - PROPOSED BUILDING - 02 PM



JUNE 21 ST - PROPOSED BUILDING - 03 PM

**LEGEND**

--- DCP COMPLIANT ENVELOPE SHADOW OUTLINE

--- PROPOSED BUILDING SHADOW OUTLINE

THE PROPOSED BUILDING IS WITHIN THE COUNCIL ENVELOPE, AS ILLUSTRATED AND DOES NOT CREATE ADDITIONAL OVERSHADOWING BEYOND WHAT IS ANTICIPATED AS THE COUNCIL LEP CONTROL

